

# NEWBERRY PARK TND - BLOCK 1 - PHASE II

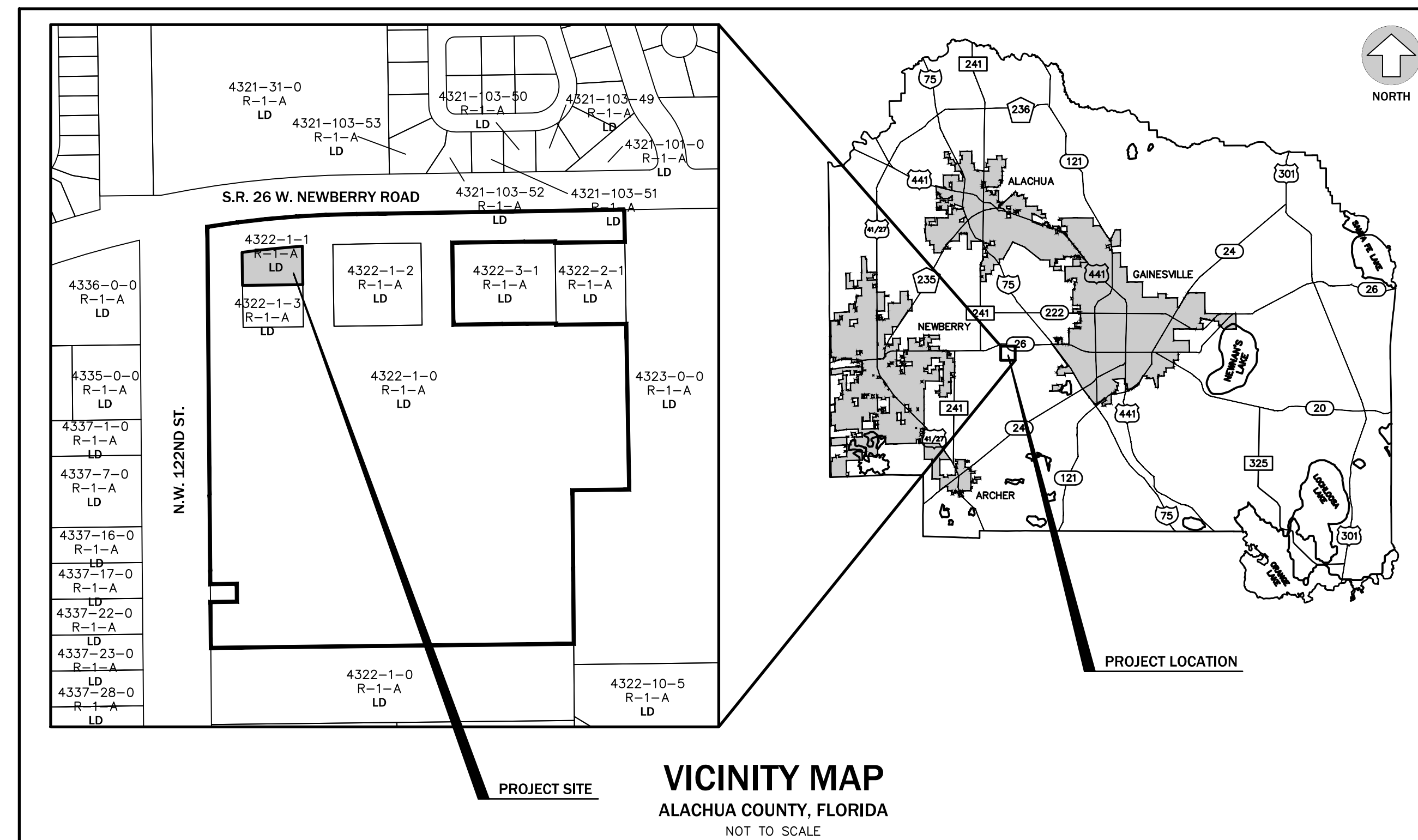
## ALACHUA COUNTY, FLORIDA



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DEVELOPMENT INFORMATION	
1. NAME OF PROJECT:	NEWBERRY PARK TND - BLOCK 1 - PHASE II
2. PROJECT DESCRIPTION:	PROPOSED 2 STORY 11,600 S.F. OFFICE AND DAYCARE BUILDING WITH OUTDOOR PLAY AREA AND ASSOCIATED IMPROVEMENTS.
3. PROJECT ADDRESS:	11995 BLOCK OF WEST NEWBERRY ROAD GAINESVILLE, FL
4. TAX PARCEL NUMBER:	04322-001-001
5. SECTION/TOWNSHIP/RANGE:	SECTION 01, TOWNSHIP 10 SOUTH, RANGE 18 EAST
6. ZONING:	RESIDENTIAL SINGLE FAMILY (R-1A)
7. FUTURE LAND DESIGNATION:	LOW DENSITY RESIDENTIAL

CONTACT INFORMATION	
1. PROPERTY OWNER:	HITCHCOCK & SONS, INC. 29220 N.W. 122ND STREET ALACHUA, FLORIDA 32615
2. DEVELOPER:	CONCEPT COMPANIES 3324 WEST UNIVERSITY AVE GAINESVILLE, FLORIDA 32607 CONTACT: BRIAN CRAWFORD
3. CONSULTANT ENGINEER:	eda consultants inc. 720 S.W. 2nd AVE. SOUTH TOWER, SUITE 300 GAINESVILLE, FL 32601 (352) 373-3541 CONTACT: SERGIO REYES, P.E.
4. PLANNER:	eda consultants inc. 720 S.W. 2nd AVE. SOUTH TOWER, SUITE 300 GAINESVILLE, FL 32601 (352) 373-3541 CONTACT: CLAY SWEGER, AICP, LEED AP
5. SURVEYOR:	eda consultants inc. 720 S.W. 2nd AVE. SOUTH TOWER, SUITE 300 GAINESVILLE, FL 32601 (352) 373-3541 CONTACT: BOB GRAVER, PSM
6. ARCHITECT:	LEVEL ARCHITECTURE 720 SW 2ND AVENUE, SUITE 105, GAINESVILLE, FL 32601 WWW.LEVELDESIGN.CO (352) 448-7788 CONTACT: JAMES BLYTHE



**LEGEND**  
ZONING:  
PD - PLANNED DEVELOPMENT  
R-1A - RESIDENTIAL SINGLE FAMILY  
RE-1 - RESIDENTIAL SINGLE FAMILY ESTATE  
FUTURE LAND USE:  
C - COMMERCIAL  
LD - LOW DENSITY RESIDENTIAL

### LEGAL DESCRIPTION

A PORTION OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 10 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCE AT THE NORTHWEST CORNER OF SECTION 1, TOWNSHIP 10 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA AND RUN THENCE SOUTH 00°28'21" EAST, ALONG THE WEST LINE OF SAID SECTION 1, A DISTANCE OF 161.33 FEET; THENCE NORTH 89°31'39" EAST, 246.52 FEET TO THE POINT OF BEGINNING, SAID POINT LYING ON THE ARC OF A CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 2707.36 FEET; THENCE EASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 03°35'06", AN ARC DISTANCE OF 169.40 FEET, SAID ARC BEING SUBTENDED BY A CHORD, HAVING A BEARING AND DISTANCE OF NORTH 84°13'03" EAST, 169.37 FEET; THENCE SOUTH 00°46'11" EAST, 107.47 FEET; THENCE SOUTH 89°13'49" WEST, 168.72 FEET; THENCE NORTH 00°46'11" WEST, 92.67 FEET TO THE POINT OF BEGINNING.  
CONTAINING 0.391 ACRES (17,033 SQUARE FEET), MORE OR LESS.

IMPERVIOUS AREA CALCULATIONS				
#	DESCRIPTION	SQUARE FOOTAGE (S.F.)	ACREAGE (AC.)	PERCENTAGE (%)
1.	TOTAL SITE AREA:	17,033	0.39	100%
2.	PROPOSED BUILDING COVERAGE:	11,600	0.27	68.1%
3.	PAVEMENT AND SIDEWALK AREA:	582	0.01	3.4%
4.	TOTAL IMPERVIOUS AREA:	12,182	0.28	71.5%
5.	OPEN AREA:	4,851	0.11	28.5%

UTILITIES TO BE PROVIDED AND PROVIDER		
1.	ELECTRIC:	GAINESVILLE REGIONAL UTILITIES (GRU)
2.	NATURAL GAS:	GAINESVILLE REGIONAL UTILITIES (GRU)
3.	POTABLE WATER:	GAINESVILLE REGIONAL UTILITIES (GRU)
4.	WASTE WATER:	GAINESVILLE REGIONAL UTILITIES (GRU)
5.	CABLE:	COX COMMUNICATIONS
6.	TELEPHONE:	BELLSOUTH
7.	FIRE SUPPRESSION WATER SUPPLY:	GAINESVILLE REGIONAL UTILITIES (GRU)
8.	HIGH SPEED INTERNET:	COX COMMUNICATIONS OR BELLSOUTH OR GRU

DIMENSIONAL REQUIREMENTS - BLOCK 1	
1.	BUILD TO LINE: VARIES 15' MIN. - 50' MAX.
2.	HEIGHT: 1-2 STORY NON-RESIDENTIAL
3.	SINGLE TENANT BUILDING FOOTPRINT: 50,000 S.F. MAX. ALL PROPOSED BUILDINGS ARE LESS THAN 50,000 S.F.
4.	BLOCK PERIMETER: (ULDC 407.68.1) - MAXIMUM PERMITTED: 2,000 L.F. - PROPOSED: 774 L.F.
5.	BLOCK PERIMETER PERCENTAGE: (ULDC 407.68.(c)(2)(c)) - MINIMUM REQUIRED: 75% (640 L.F.) - PROPOSED: 100% (774 L.F.) - NOTE: THE TOTAL PERIMETER INCLUDES THE OUTLINE OF THE BLOCK PERIMETER FOR THE ENTIRE BLOCK 1.

### GRU NOTES

- CERTIFICATION BY ENGINEER-OF-RECORD THAT WATER, WASTEWATER, AND RECLAIMED WATER SYSTEMS ARE IN ACCORDANCE WITH GRU DESIGN STANDARDS.
- ELECTRIC DESIGN PROVIDED BY GRU ENERGY DELIVERY.
- NOTIFY GRU ELECTRIC INSPECTIONS 48 HOURS PRIOR TO CONSTRUCTION ☉ 352-339-0430. IF PROPER NOTIFICATION IS NOT MADE, CONTRACTOR SUBJECT TO BE SHUT DOWN.
- NOTIFY GRU WASTEWATER ENGINEERING 48 HOURS PRIOR TO CONSTRUCTION ☉ 352-393-1633. IF PROPER NOTIFICATION IS NOT MADE, CONTRACTOR SUBJECT TO BE SHUT DOWN.

Sheet List Table	
Sheet Number	Sheet Title
C100	COVER SHEET
C110	GENERAL NOTES AND LEGENDS
C120	OVERALL DEVELOPMENT PLAN
C130	TND CONSISTENCY NOTES
C140	DEMOLITION PLAN
C200	DIMENSION PLAN
C300	PAVING, GRADING, AND DRAINAGE PLAN
C310	PAVING, GRADING, AND DRAINAGE DETAILS
C320	STORMWATER POLLUTION PREVENTION PLAN
C400	UTILITY PLAN
V-001	BOUNDARY & TOPOGRAPHIC SURVEY

No.	Date	Comment

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Professional Engineer of Record:

Claudia S. Vega, P.E. 51532  
Engineer Certificate No.

Project No: 23-167

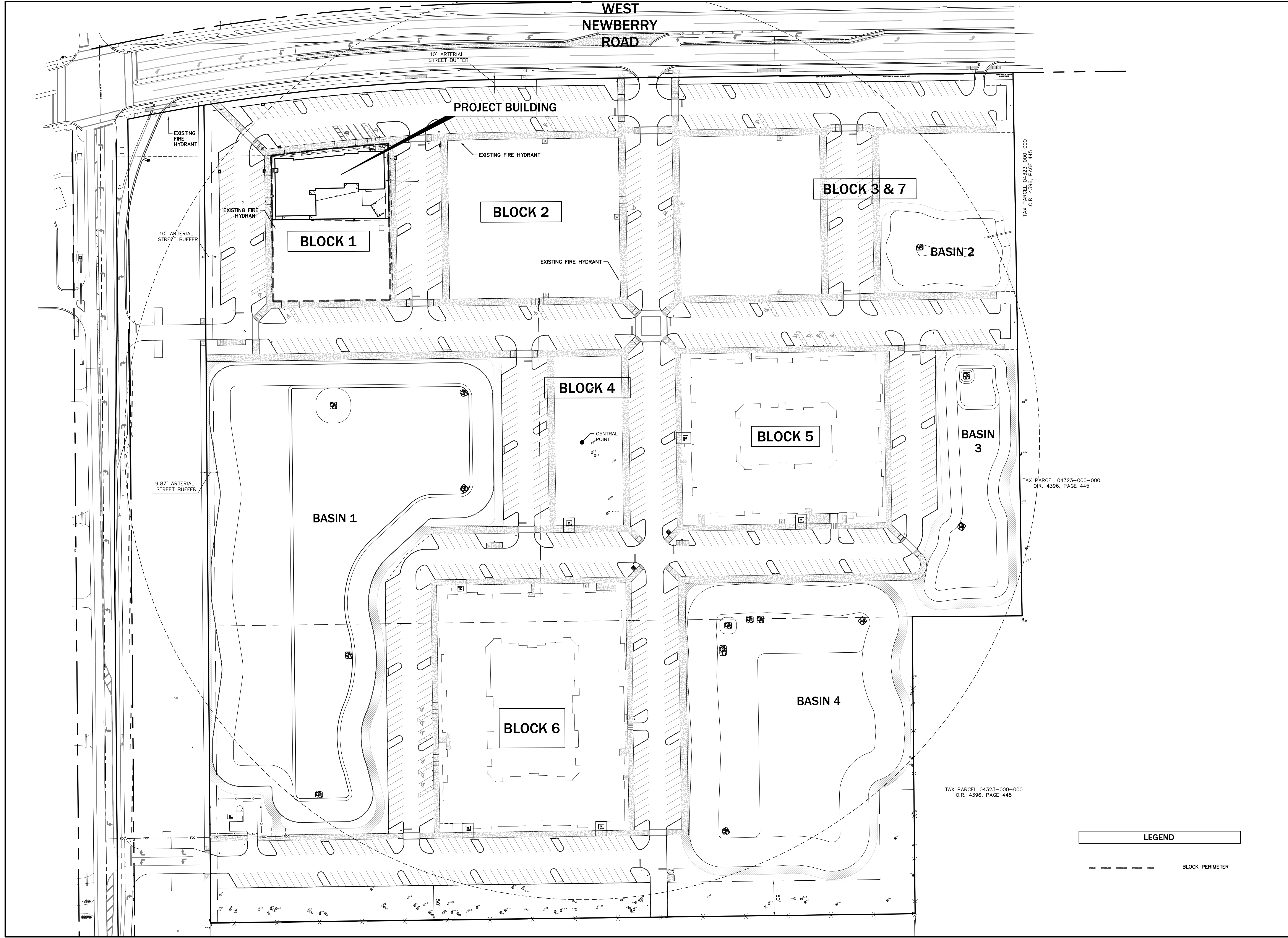
Project phase: CONSTRUCTION PLANS

Project title: NEWBERRY PARK TND - BLOCK 1 - PHASE II ALACHUA COUNTY, FLORIDA

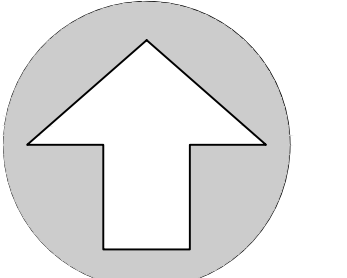
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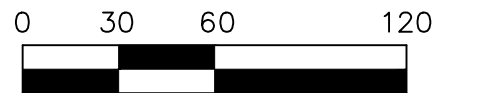


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**NORTH**

SCALE: 1" = 60'



GRAPHIC SCALE

No.	Date	Comment

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Project phase: CONSTRUCTION PLANS

Project title:

NEWBERRY PARK TND -  
BLOCK 1 - PHASE II  
ALACHUA COUNTY,  
FLORIDA

Sheet title:  
OVERALL DEVELOPMENT PLAN

Designed: CSV Sheet No.:

Drawn: JB

Checked: CSV

Date: 04/01/24

**C120**

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**1. DENSITY**

	ALLOWABLE RESIDENTIAL DENSITY		PROVIDED RESIDENTIAL DENSITY
	MIN.	MAX.	
VILLAGE CENTER	4 DU/AC	MINIMUM +8 DU/AC = 12.00 DU/AC	300 UNITS / 30.97 AC = 9.70 DU/AC
TRANSIT SUPPORTIVE AREA (OUTSIDE VILLAGE CENTER)	MIN.	4 DU/AC	N/A
	MAX.	MINIMUM +6 DU/AC	
OUTSIDE TRANSIT SUPPORTIVE AREA	CONSISTENT WITH UNDERLYING FUTURE LAND USE		N/A

**RESPONSE:** THE FINAL DEVELOPMENT PROPOSED 300 RESIDENTIAL UNITS FOR A DENSITY OF 9.70 DU/AC MEETING THE REQUIREMENTS OF THE ULDC TABLE 407.64.1.

**2. INTENSITY**

	PERMITTED MAXIMUM NON-RESIDENTIAL INTENSITY	PROPOSED MAXIMUM NON-RESIDENTIAL INTENSITY
BASE SQUARE FOOTAGE	10,000 S.F.	10,000 S.F.
MAX. SQUARE FOOTAGE PER DWELLING UNIT	200 S.F./DU X 300 DU = 60,000 S.F.	60,000 S.F.
THE PROPOSED DENSITY OF 9.7 DU/AC EXCEEDS THE MAX. ALLOWED OF 4 DU/AC	ADDITIONAL 10,000 S.F.	10,000 S.F.
10,000 SF FOR EACH UNIT ABOVE 100% OF THE LAND USE OF LOW DENSITY ADU/AC	9.7 DU/AC (5 DU X 10,000) = 50,000 S.F.	50,000 S.F.
CONTINUOUS TO RAPID TRANSIT OR EXPRESS TRANSIT CORRIDOR	ADDITIONAL 25,000 S.F.	20,000 S.F.
TOTAL SQUARE FOOTAGE	155,000 S.F.	150,000 S.F.

**NOTE:** (1) THE TABLE ABOVE MEETS THE REQUIREMENTS OF INTENSITY PER ULDC 407.64 2 THE PROJECT PROPOSES 150,000 S.F. OF NON-RESIDENTIAL USES.

**3. MIX OF USES FOR VILLAGE CENTER AND TRANSIT SUPPORTIVE AREA - ULDC 407.66 (c)**

- REQUIRED:**
- A MINIMUM OF 50% OF NON-RESIDENTIAL SQUARE FOOTAGE SHALL BE PROVIDED WITHIN THE VILLAGE CENTER.
  - A MAXIMUM OF 50% OF NON-RESIDENTIAL USES ALLOWED MAY BE LOCATED OUTSIDE THE VILLAGE CENTER AND WITHIN THE TRANSIT SUPPORTIVE AREA.
  - A MINIMUM OF 25% OF THE TOTAL APPROVED NON-RESIDENTIAL SQUARE FOOTAGE MUST BE IN A MULTI-STORY BUILDING CONTAINING MULTIPLE USES.
- PROPOSED:**
- ALL PROPOSED NON-RESIDENTIAL SQUARE FOOTAGE IS WITHIN THE VILLAGE CENTER.
  - THE ENTIRE PROJECT WILL BE LOCATED WITHIN THE LIMITS OF THE VILLAGE CENTER. NO TRANSIT SUPPORTIVE AREA IS PROPOSED.
  - THE DEVELOPMENT WILL PROVIDE A MINIMUM OF 25% OF THE ACTUAL BUILT NON-RESIDENTIAL SQUARE FOOTAGE IN MULTI-STORY BUILDINGS WITH MULTIPLE USES WHICH IS PARTIALLY MET WITH THE BLOCK 1-PH II PROPOSED BUILDING.

**4. PHASING SCHEDULE**

	PHASE 1	PHASE 2
1. VILLAGE CENTER ACREAGE	30.97 ACRES	30.97 ACRES
2. RESIDENTIAL UNITS (MULTI-FAMILY)	300	0
3. NON-RESIDENTIAL USES	7,889 S.F. (BLOCK 1)	BLOCK 3: 24,064 S.F. BLOCK 1: 11,600 S.F. REMAINING: 106,447 S.F. (MAXIMUM)

**RESPONSE:** THE PROPOSED PROJECT SHALL BE CONSTRUCTED IN TWO PHASES.

PHASE I IS COMPLETE WITH 300 RESIDENTIAL UNITS CONSTRUCTED AND 7,889 S.F. OF NON-RESIDENTIAL CONSTRUCTED. THE PROPOSED FINAL DEVELOPMENT PLAN WITHIN PHASE II PROPOSED AT THIS TIME INCLUDES 11,600 S.F. OF NON-RESIDENTIAL USES IN BLOCK 1, WHICH IS CONSISTENT WITH THE OVERALL PHASE II PROGRESS IN THE TND. THE PROPOSED PHASE II BUILDING CONSISTS OF MULTIPLE USES (DAYCARE AND OFFICE) AND IS A MULTI-STORY BUILDING AND THEREFORE APPLIES TOWARD THE CODE REQUIREMENT FOR MULTI-STORY BUILDINGS WITH MULTIPLE USES. (407.66(c)(3)).

**5. GENERAL DEVELOPMENT DATA**

ITEM	ACRES	% OF TOTAL
TOTAL PROJECT AREA	30.97 ACRES	100.00%
VILLAGE CENTER	30.97 ACRES	100.00%
COMMUNITY GREEN SPACES	0.00 ACRES	0.00%
BUFFERS	2.00 ACRES	6.46%
EXISTING EASEMENT	0.00 ACRES	0.00%
STORMWATER MANAGEMENT AREAS	9.74 ACRES	31.50%
ROAD AREAS	10.56 ACRES	34.10%
PEDESTRIAN ACCESS CORRIDOR	0.00 ACRES	0.00%
BLOCK AREAS	8.89 ACRES	28.70%

**6. DIMENSIONAL REQUIREMENTS**

VILLAGE CENTER DIMENSIONAL STANDARDS (PER ULDC TABLE 407.66.1)

STANDARDS	PERMITTED NON-RESIDENTIAL, MIXED USE OR MULTI-FAMILY	PROVIDED NON-RESIDENTIAL, MIXED USE OR MULTI-FAMILY
BUILD TO LINE (FT) <sup>1</sup>	15 - 20	15 - 20
HEIGHT, MIN (STORIES)	1 <sup>2</sup>	1 <sup>2</sup>
HEIGHT, MAX (STORIES)	8	4 (2) <sup>3</sup>
SINGLE TENANT BUILDING FOOTPRINT, MAX (S.F.)	50,000 <sup>4</sup>	11,600

- THE BUILD-TO LINE SHALL BE ESTABLISHED FROM THE BACK OF CURB OF A PUBLIC OR PRIVATE STREET.
- IF ONLY 1 STORY, BUILDING FACADE SHALL USE ARCHITECTURAL FEATURES TO ENHANCE THE VERTICAL SCALE OF THE BUILDING.
- TWO STORY BUILDING HEIGHT IS APPLIED AS A MAXIMUM ALONG THE SOUTHERN PORTION OF THE PROJECT (IDENTIFIED ON THE MASTER DIMENSION PLAN SHEET C2.00).
- EXCEPT AS PERMITTED BY SECTION 407.66(D)2.

**RESPONSE:** SEE SHEET C2.00 MASTER DIMENSION PLAN AND C2.06-C2.15 BLOCK DIMENSION PLANS FOR BUILDING LOCATIONS AND REQUIRED SETBACKS. ALL THE PROPOSED NON-RESIDENTIAL BUILDINGS MEET THE MINIMUM AND/OR MAXIMUM REQUIRED BUILD TO LINE, MINIMUM HEIGHT AND MAXIMUM SINGLE TENANT BUILDING FOOTPRINT.

**7. BLOCK PERIMETER REQUIREMENTS**

REQUIRED (ULDC TABLE 407.68.1):

LOCATION	MAXIMUM BLOCK PERIMETER (FT)		PROVIDED (FT)
	STANDARD	EXTENDED	
BLOCK 1	1,300	2,000	853
BLOCK 2	1,300	2,000	1,031
BLOCKS 3 & 7	1,300	2,000	1,426
BLOCK 4	1,300	2,000	761
BLOCK 5	1,300	2,000	1,146
BLOCK 6	1,300	2,000	1,324*

**RESPONSE:** ALL THE PROPOSED BLOCKS MEET THE STANDARD MAXIMUM BLOCK PERIMETER ALLOWED PER ULDC TABLE 407.68.1.

\* A LETTER OF ALTERNATE COMPLIANCE REQUEST WAS APPROVED TO EXTEND THIS BLOCK.

**8. TND CONDITIONS**

- IMPROVEMENTS SHOWN IN THE STATE ROAD 26 & NORTHWEST 122ND RIGHTS-OF-WAY ARE CONCEPTUAL. FINAL LANE CONFIGURATIONS WILL BE DETERMINED DURING FINAL DEVELOPMENT PLAN REVIEW SUBJECT TO A FULL AND COMPLETE OPERATIONAL ANALYSIS.  
**RESPONSE:** NO ROW MODIFICATIONS ARE PROPOSED AS PART OF THIS PHASE.
- OFF-STREET PARKING ON THE SOUTHERN PORTION OF BLOCK VC7 SHALL BE DESIGNED TO ENSURE CONSISTENCY WITH ULDC REQUIREMENTS FOR DESIGN OF BLOCKS. SPECIFIC LOCATION OF OFF-STREET PARKING SHALL BE DETERMINED DURING FINAL DEVELOPMENT PLAN REVIEW.  
**RESPONSE:** THIS PHASE IS NOT LOCATED WITHIN THIS BLOCK.
- THE APPLICANT IS REQUIRED TO PLACE A FENCE ON THE SOUTHERN PROPERTY LINE WITH STUB OUT TO REMAIN OPEN ON THE DEVELOPER PROPERTY.  
**RESPONSE:** THIS PHASE IS NOT LOCATED ALONG THE SOUTHERN PROPERTY LINE.

**9. PARKING (PROPOSED PHASE)**

NO OFF-STREET PARKING IS PROPOSED IN THIS PROJECT PHASE.



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SCALES:  
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No.	Date	Comment

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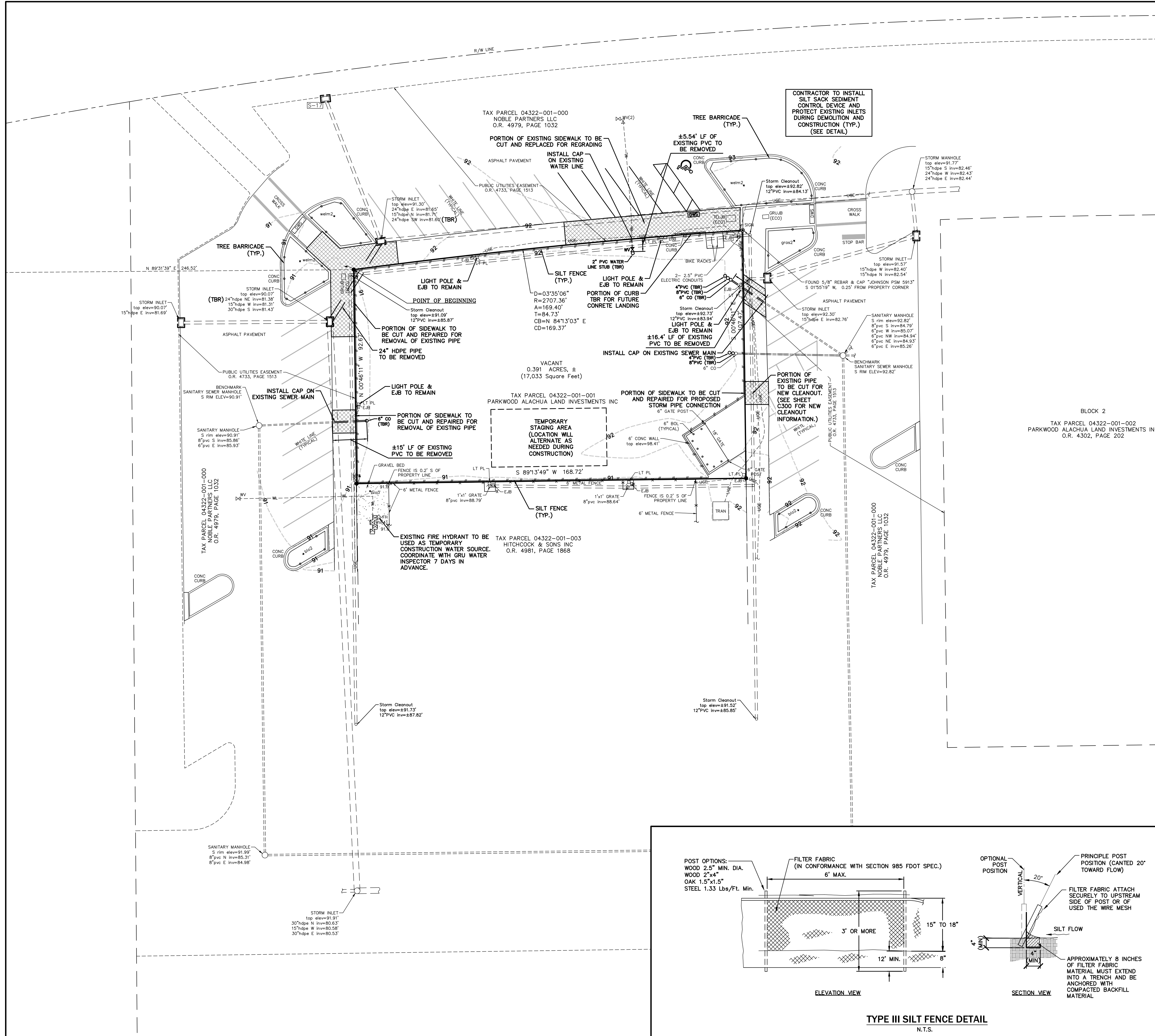
Project No: 23-167

Project phase: CONSTRUCTION PLANS

Project title: NEWBERRY PARK TND - BLOCK 1 - PHASE II ALACHUA COUNTY, FLORIDA

Sheet title: TND CONSISTENCY NOTES

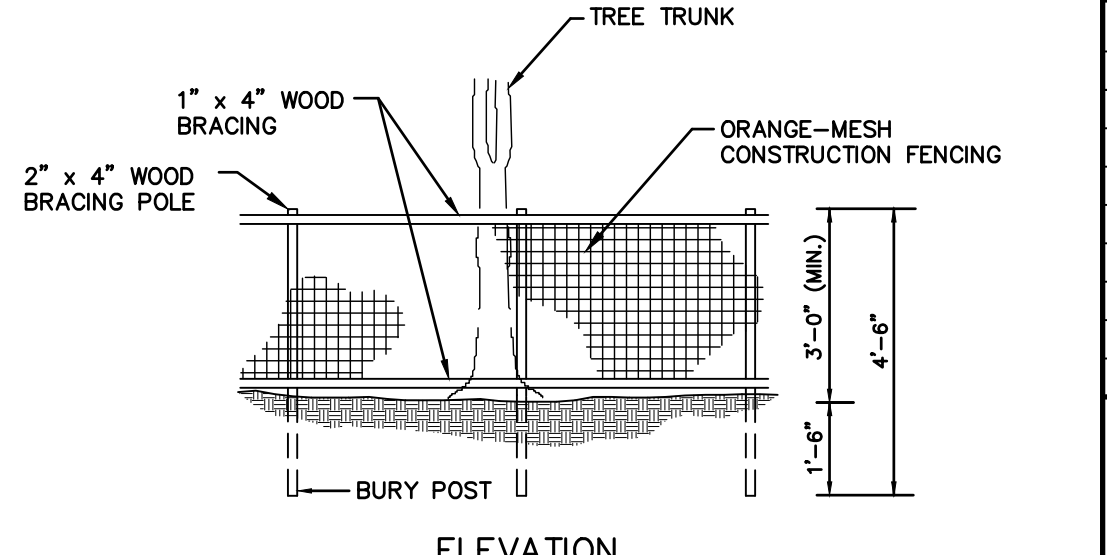
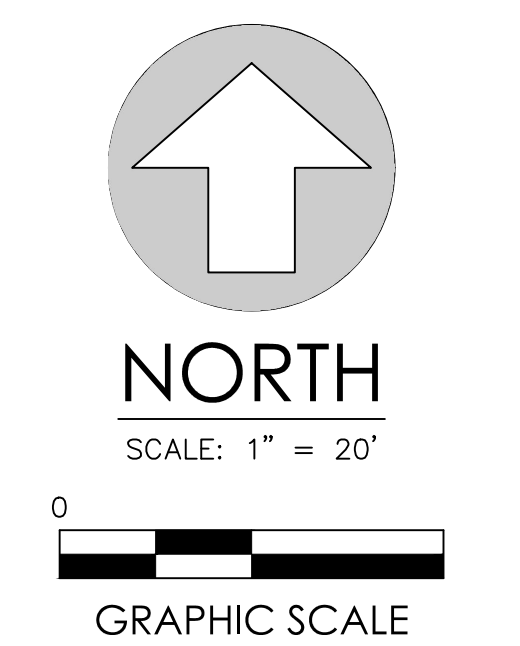
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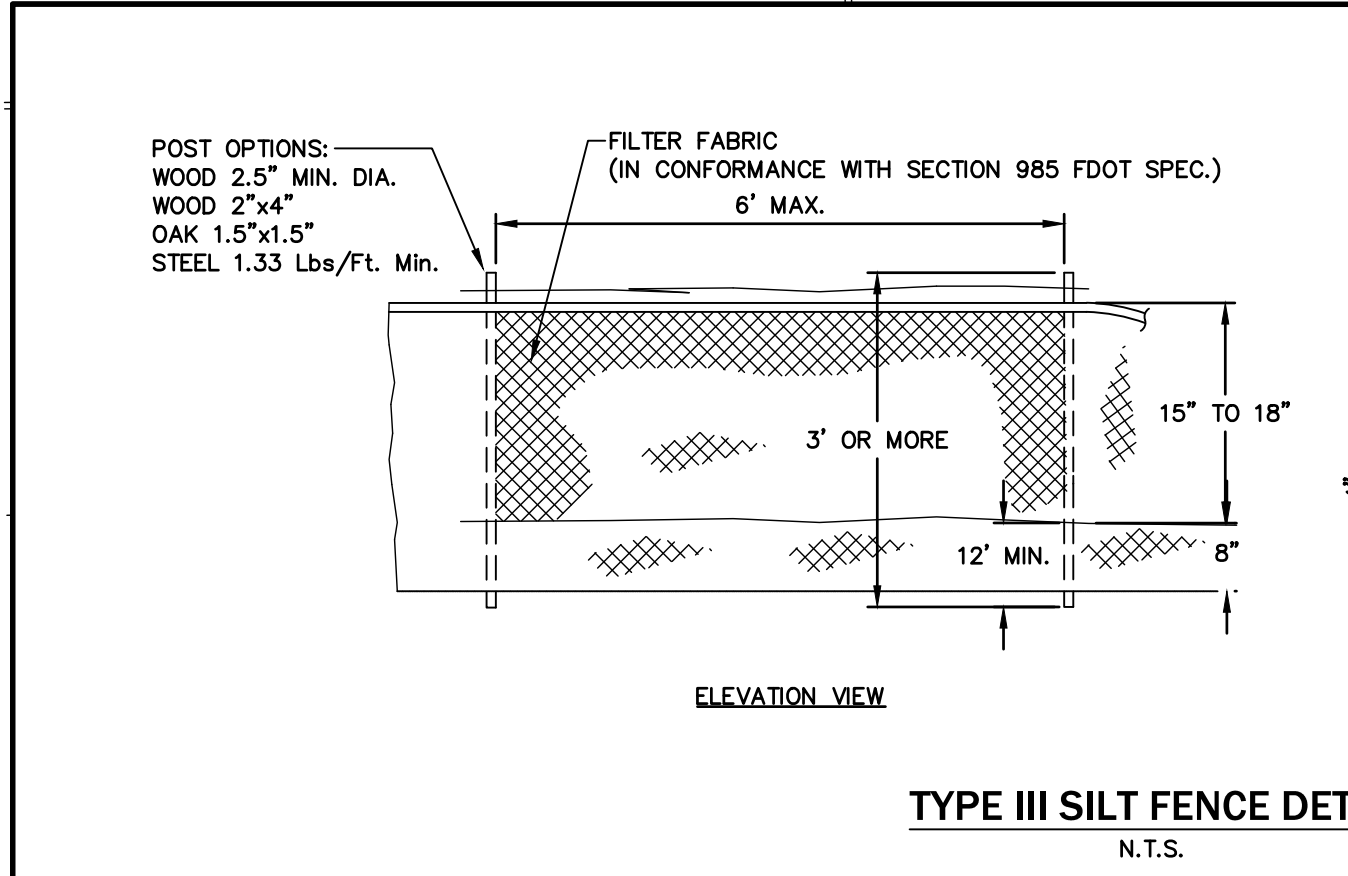
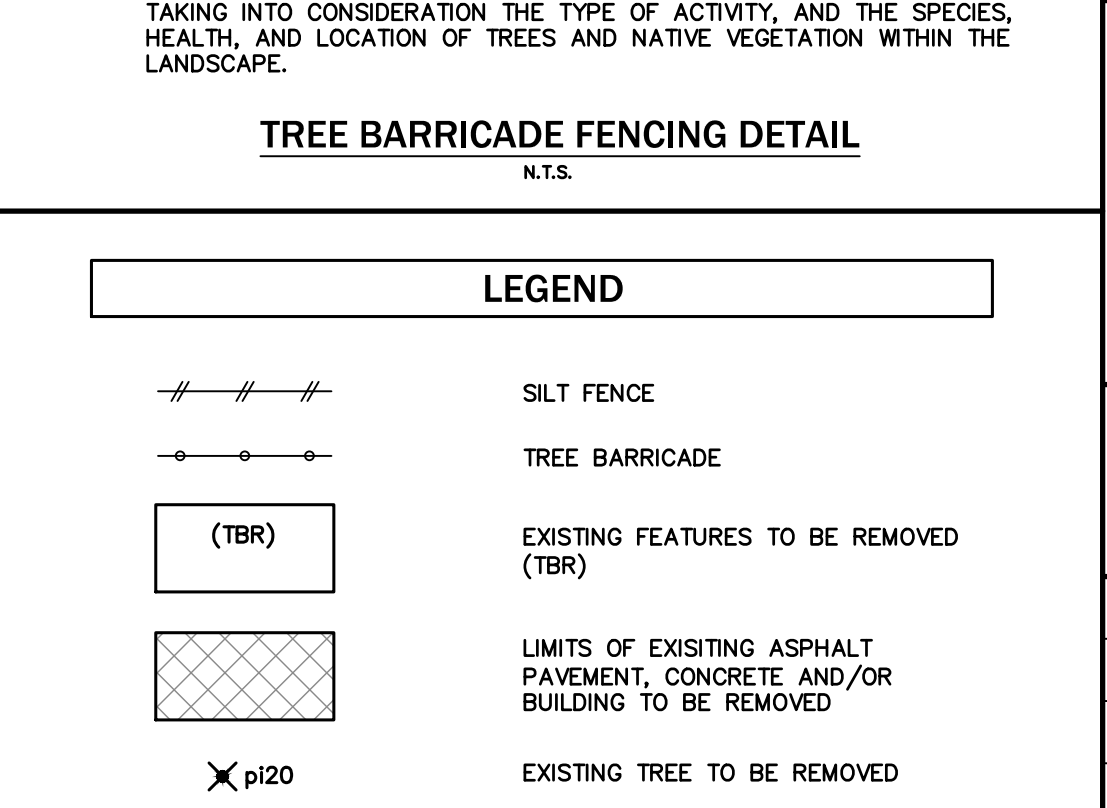
- ### DEMOLITION NOTES
- ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
  - REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC. LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
  - THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR DEMOLITION / PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.
  - CONTRACTOR SHALL SUBMIT DEMOLITION SCHEDULE TO OWNER PRIOR TO PROCEEDING WITH DEMOLITION ACTIVITIES.
  - CONDUCT SITE DEMOLITION OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. CLOSURE OF THESE FACILITIES MAY REQUIRE MAINTENANCE OF TRAFFIC PLAN PREPARED BY A REGISTERED PROFESSIONAL AT THE CONTRACTORS EXPENSE.
  - PROVIDE PROTECTION AS NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS SHOWN IN THE PLANS TO REMAIN.
  - LOCATE EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES IN AREAS OF WORK. IF UTILITIES ARE TO REMAIN IN PLACE, PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
  - CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR THE TERMINATION, CAPPING-OFF AND REMOVAL OF ALL EXISTING UNDERGROUND AND ABOVE GROUND UTILITY SERVICES UNLESS DIRECTED TO OTHERWISE.
  - EROSION CONTROLS ARE TO BE INSTALLED AND INSPECTED PRIOR TO BEGINNING DEMOLITION WORK.
  - IN AREAS WHERE PROPOSED CURBING IS TO BE PLACED, THE ASPHALT PAVEMENT SHALL BE REMOVED TO THE FACE OF CURB TO ALLOW PLACEMENT OF 6" STANDARD CONCRETE CURBING.
  - IN AREAS OF PROPOSED LANDSCAPE AREA THE PAVEMENT, LIMEROCK BASE, AND 12" OF THE STABILIZED SUBGRADE SHALL BE REMOVED. COORDINATE WITH LANDSCAPE ARCHITECT TO DETERMINE IF ADDITIONAL REMOVAL IS REQUIRED TO MAKE AREA SUITABLE FOR LANDSCAPE PURPOSES. THE REMOVED LIMEROCK BASE SHALL NOT BE USED IN THE BASE FOR THE NEW PAVEMENT (PER FDOT SECTION 200), BUT THE REMOVED BASE CAN BE USED IN THE STABILIZATION OF SUBGRADE. SEE GRADING PLAN FOR BACKFILL REQUIREMENTS.
  - ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDER'S SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS SHALL BE REMOVED AND 36" OF CLEAN FILL OF PH 5.5 - 6.5 SHALL BE INSTALLED PRIOR TO ANY INSTALLATION OF PLANTS OR TREES.
  - SEE DIMENSION PLAN FOR DIMENSIONING OF PROPOSED LANDSCAPE AREAS.
  - CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES TO REMAIN AS SHOWN IN THE UTILITY PLAN. ANY EXISTING UTILITIES TO BE REMOVED SHALL BE COORDINATED WITH THE ASSOCIATED UTILITY COMPANY, AND PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
  - SEE ELECTRICAL AND IRRIGATION PLANS FOR COORDINATION OF PAVEMENT CUTS FOR ASSOCIATED CONDUITS.
  - INSTALL TREE BARRICADES PRIOR TO ANY DEMOLITION WORK. CALL ALACHUA COUNTY ARBORIST AT 352-374-5243 EXT. 3503 FOR A BARRICADE INSPECTION PRIOR TO START OF CONSTRUCTION.
  - PRIOR TO BEGINNING ANY UTILITY DEMOLITION WORK THE CONTRACTOR SHALL SUBMIT A DEMOLITION REQUEST WITH A COPY OF THE DEMOLITION PLAN TO GRU NEW SERVICES (352)-393-1513 (NEWSERVICES@GRU.COM) TO COORDINATE ANY DEMOLITION ACTIVITIES AND TEMPORARY SERVICE INTERRUPTIONS. COORDINATE WITH THE APPROPRIATE UTILITY INSPECTOR THROUGH GRU NEW SERVICES 48 HOURS IN ADVANCE OF PERFORMING ANY UTILITY DEMOLITION WORK.
  - CALL 811 BEFORE DIGGING AND LOCATE AND PROTECT G.R.U. GAS MAIN, MAINTAIN 36" MIN. COVER OVER EXISTING G.R.U. GAS MAIN AND FUTURE G.R.U. GAS MAIN AND SERVICES DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.



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- NOTES:**
- TREE BARRICADES WILL BE BUILT BEFORE ANY SITE WORK IS UNDERTAKEN AND WILL REMAIN IN PLACE UNTIL THE LANDSCAPING IS PLANTED.
  - EACH BARRICADE MUST BE AT LEAST 3 FEET TALL, WITH CORNER POSTS OF 2" X 4" WOOD INSERTED AT LEAST ONE AND A HALF (1-1/2) FEET DEEP. THE TWO ROWS OF SIDE SLATS MUST BE 1" X 4" AND BE MARKED WITH PLASTIC RIBBONS OR MESH FENCING FOR VISIBILITY.
  - NO GRADING WITHIN FENCING. ANY ROOTS GREATER THAN 1" IN DIAMETER THAT ARE DAMAGED OR EXPOSED SHALL BE CLEANLY CUT AND COVERED OVER WITH SOIL.
  - NO CONSTRUCTION MATERIALS OR EQUIPMENT SHALL BE PERMITTED WITHIN CONSTRUCTION FENCING OR BEYOND THE CONSTRUCTION LIMITS.
  - THE AREA ENCLOSED MUST BE EQUAL TO THE DRUPLINE OF THE TREE. WHERE SUFFICIENT PROTECTION CAN BE DEMONSTRATED, THE REQUIRED MINIMUM UNDISTURBED AREA MAY BE REDUCED WITH COUNTY APPROVAL, TAKING INTO CONSIDERATION THE TYPE OF ACTIVITY, AND THE SPECIES, HEALTH, AND LOCATION OF TREES AND NATIVE VEGETATION WITHIN THE LANDSCAPE.



No.	Date	Comment

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Professional Engineer of Record:

Claudia S. Vega, P.E. 51532  
Engineer Certificate No.

Project No: 23-167

Project phase: CONSTRUCTION PLANS

Project title: NEWBERRY PARK TND - BLOCK 1 - PHASE II ALACHUA COUNTY, FLORIDA

Sheet title: DEMOLITION PLAN

Designed: CSV Sheet No.: C140  
Drawn: JB  
Checked: CSV  
Date: 04/01/24

STATE ROAD NO. 26  
W. NEWBERRY ROAD  
(110' RIGHT OF WAY)

TAX PARCEL 04322-001-000  
NOBLE PARTNERS LLC  
O.R. 4979, PAGE 1032

CONSTRUCTION  
REFERENCE  
COORDINATE  
N=245608.69  
E=2612913.70

PUBLIC UTILITIES EASEMENT  
O.R. 4733, PAGE 1513

CONSTRUCTION  
REFERENCE  
COORDINATE  
N=245591.62  
E=2612745.20

PUBLIC UTILITIES EASEMENT  
O.R. 4733, PAGE 1513

TAX PARCEL 04322-001-000  
NOBLE PARTNERS LLC  
O.R. 4979, PAGE 1032

NEWBERRY  
PARK BLOCK 1

TAX PARCEL 04322-001-003  
HITCHCOCK & SONS INC  
O.R. 4981, PAGE 1868

BLOCK 2  
TAX PARCEL 04322-001-002  
PARKWOOD ALACHUA LAND INVESTMENTS INC  
O.R. 4302, PAGE 202

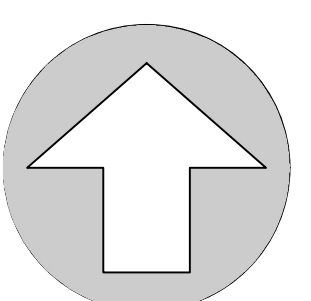
TAX PARCEL 04322-001-000  
NOBLE PARTNERS LLC  
O.R. 4979, PAGE 1032

GENERAL NOTES

1. ALL PARKING LOT DIMENSIONS AND RADII SHOWN ARE MEASURED FROM FACE OF CURB AND/OR THE EDGE OF PAVEMENT IF THERE IS NOT CURB PROPOSED. ALL RADIAL PARKING IS 9' MIN. WIDTH AT NARROWEST POINT.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF LOCATION OF ALL EXISTING UTILITIES AND PROTECTION OF SAME DURING CONSTRUCTION.
3. ELECTRIC SERVICE TO BE COORDINATED WITH G.R.U. ELECTRIC ENGINEERING DEPARTMENT.
4. SIDEWALKS WILL BE CONNECTED TO BUILDING ENTRANCE. COORDINATE LOCATIONS WITH ARCHITECT.

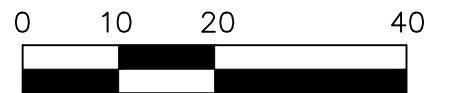


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NORTH

SCALE: 1" = 20'



GRAPHIC SCALE

No.	Date	Comment

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Professional Engineer of Record:

Claudia S. Vega, P.E. 51532  
Engineer Certificate No.

Project No: 23-167

Project phase: CONSTRUCTION PLANS

Project title: NEWBERRY PARK TND - BLOCK 1 - PHASE II ALACHUA COUNTY, FLORIDA

Sheet title: DIMENSION PLAN

Designed: CSV Sheet No.:

Drawn: JB C200

Checked: CSV

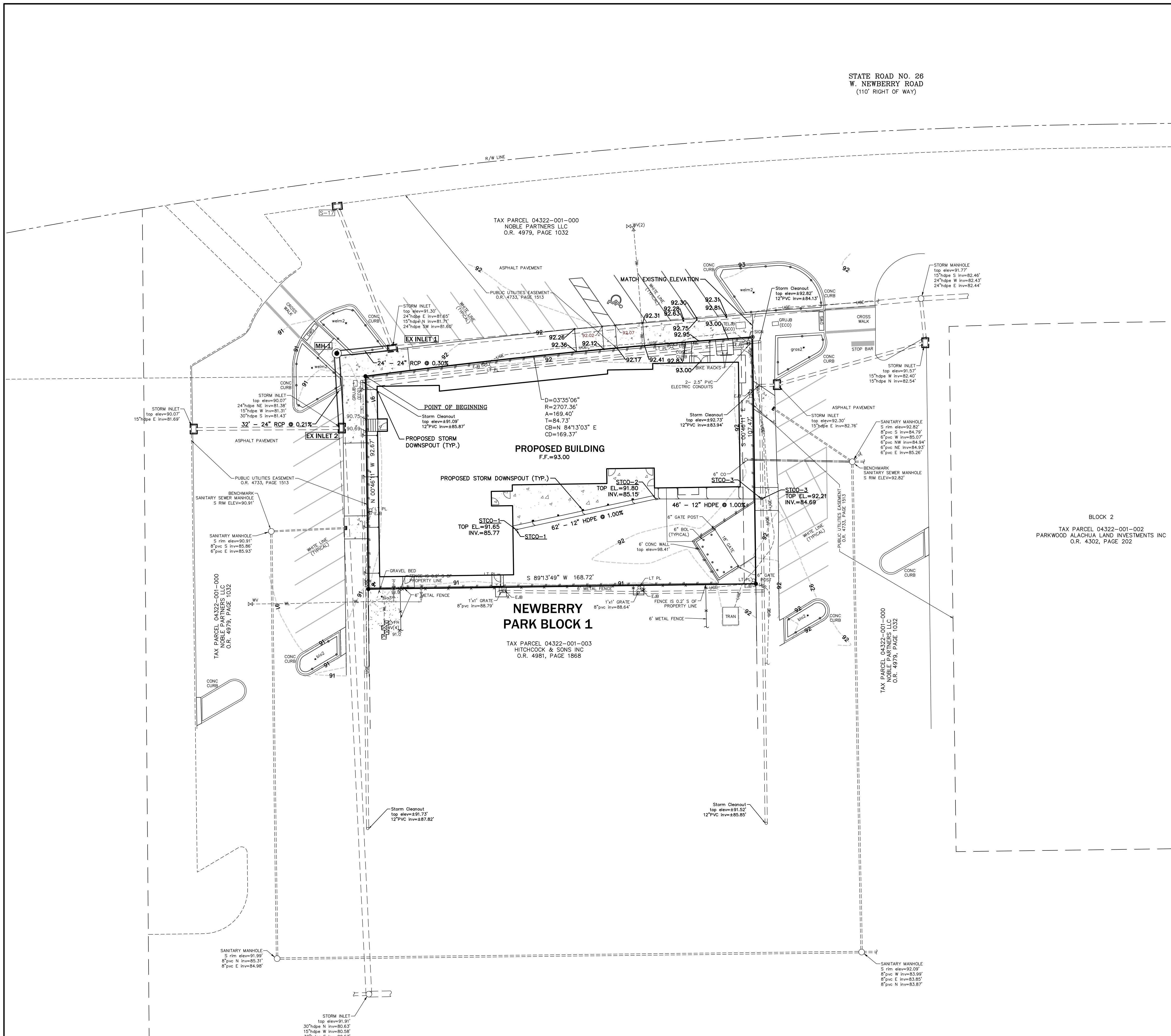
Date: 04/01/24

LEGEND

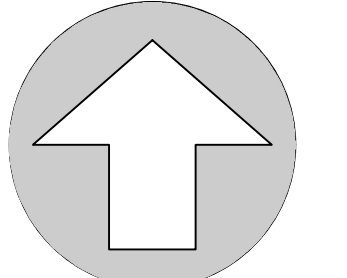
- SILT FENCE
- TREE BARRICADE
- LIMITS OF CONCRETE PAVEMENT AND SIDEWALKS
- LIMITS OF TURF FIELD
- EXISTING TREE TO REMAIN

STATE ROAD NO. 26  
W. NEWBERRY ROAD  
(110' RIGHT OF WAY)

STORMWATER STRUCTURE SCHEDULE		
STRUCTURE	STRUCTURE DATA	FDOT INDEX
EX INLET 1 TYPE-9 CURB INLET	TOP EL.=91.07 W 24" INV.=81.58	425-010 425-024
EX INLET 2 TYPE-9 CURB INLET	TOP EL.=89.80 N 24" INV.=81.44	425-010 425-024
MH-1 STORM MANHOLE	TOP EL.=91.00 S 24" INV.=81.51 E 24" INV.=81.51	425-001 425-010

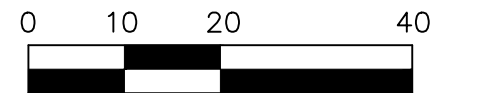


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**NORTH**

SCALE: 1" = 20'



GRAPHIC SCALE

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Professional Engineer of Record:

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Engineer Certificate No.

Project No: 23-167

Project phase: CONSTRUCTION PLANS

Project title: NEWBERRY PARK TND - BLOCK 1 - PHASE II ALACHUA COUNTY, FLORIDA

Sheet title: PAVING, GRADING, AND DRAINAGE PLAN

Designed: CSV Sheet No.:

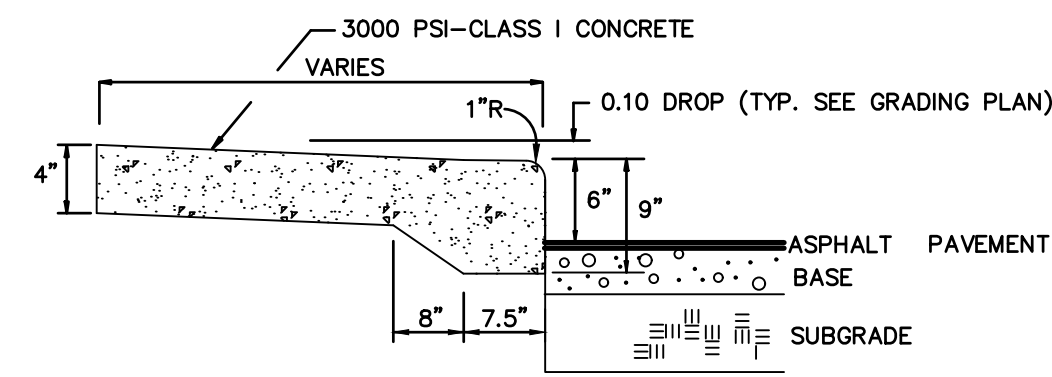
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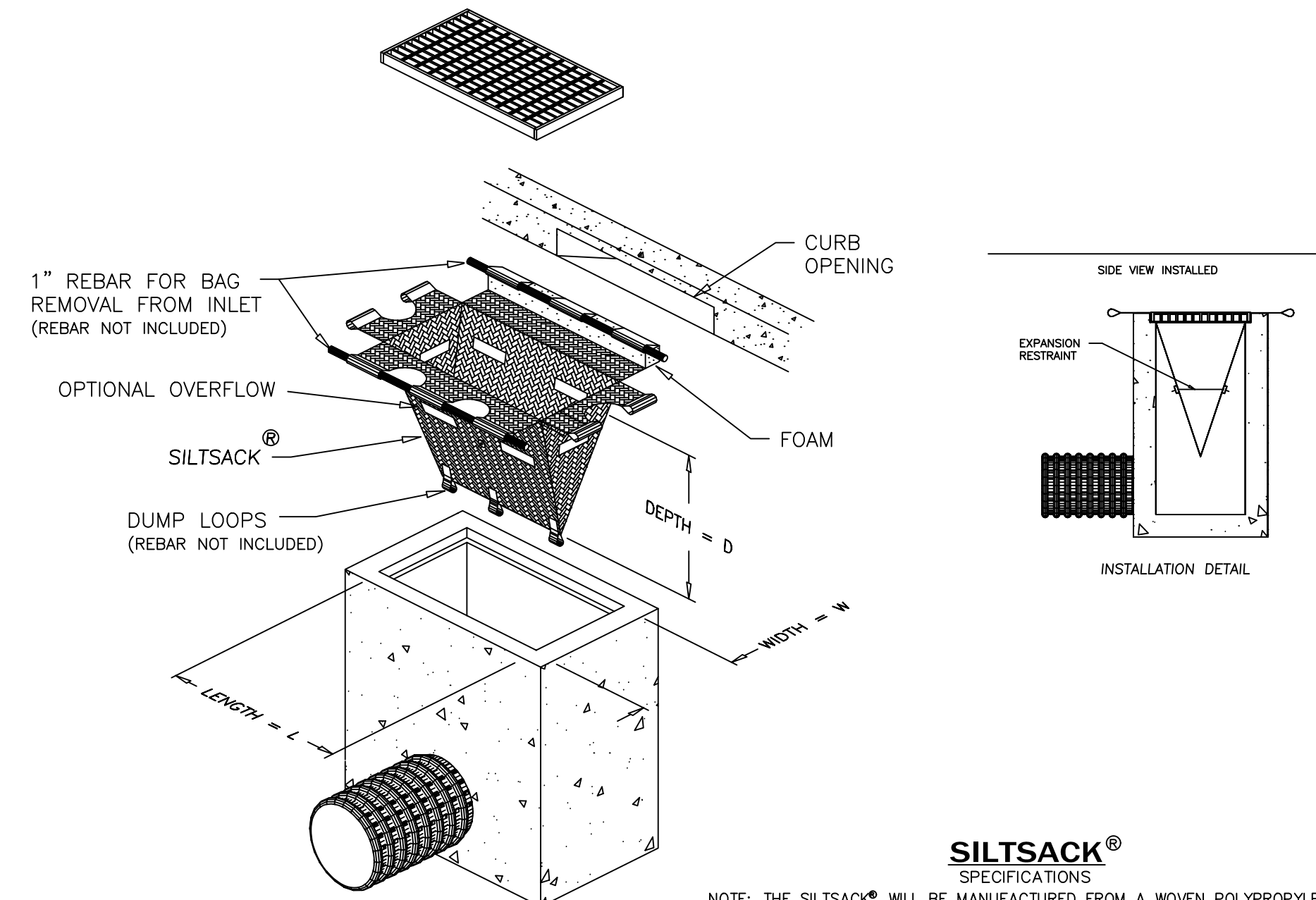
Date: 04/01/24

**LEGEND**

- SILT FENCE
- TREE BARRICADE
- LIMITS OF CONCRETE PAVEMENT AND SIDEWALKS
- LIMITS OF TURF FIELD
- EXISTING TREE TO REMAIN
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING CONTOUR ELEVATION



**TYPICAL STEPUP SIDEWALK**  
N.T.S.



**SILTSACK®**  
SPECIFICATIONS  
NOTE: THE SILTSACK® WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS.

**REGULAR FLOW SILTSACK®**  
(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SEIVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1

**HI-FLOW SILTSACK®**  
(FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

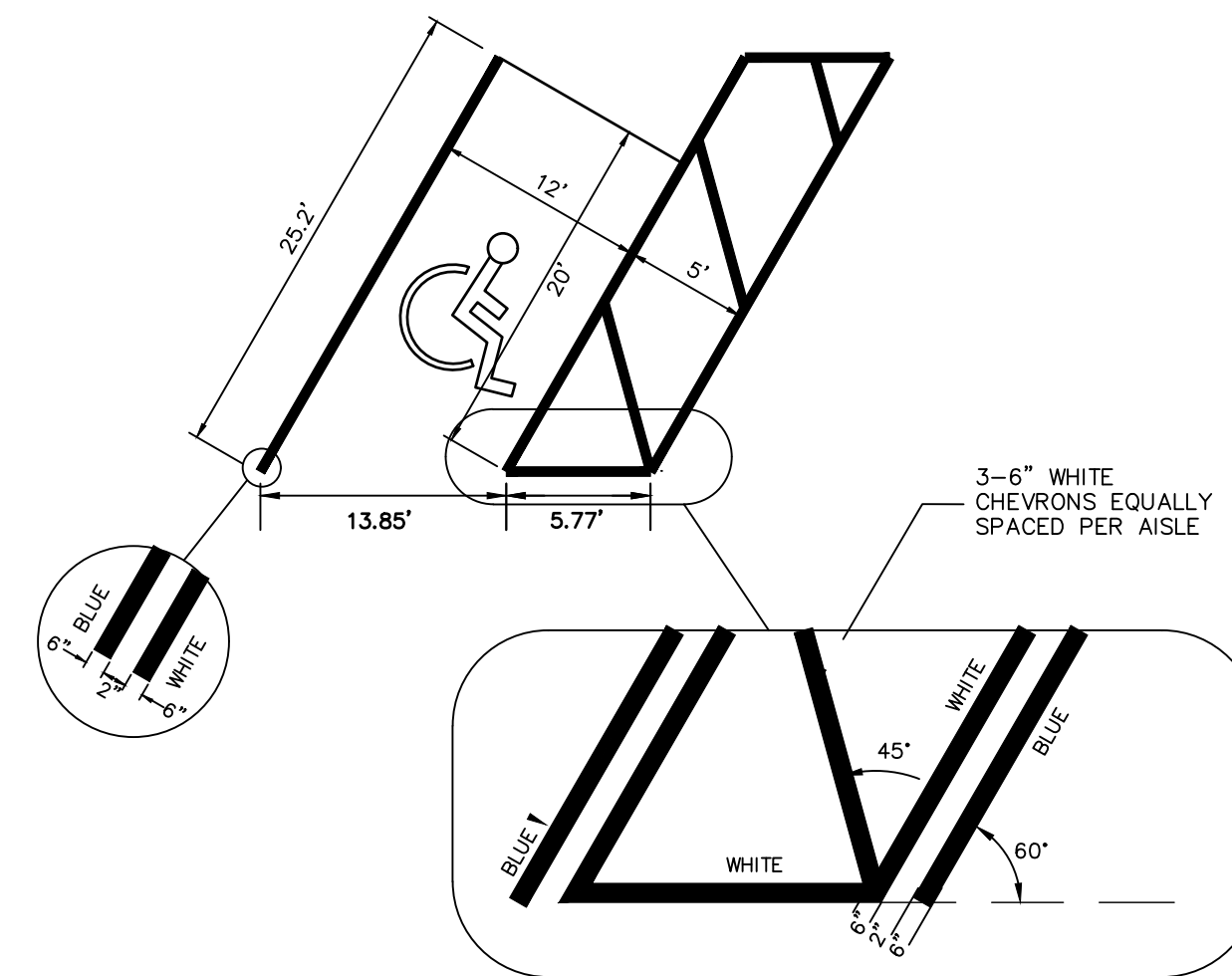
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SEIVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

**OIL-ABSORBANT SILTSACK®**  
(FOR AREAS WHERE THERE IS A CONCERN FOR OIL RUN-OFF OR SPILLS)

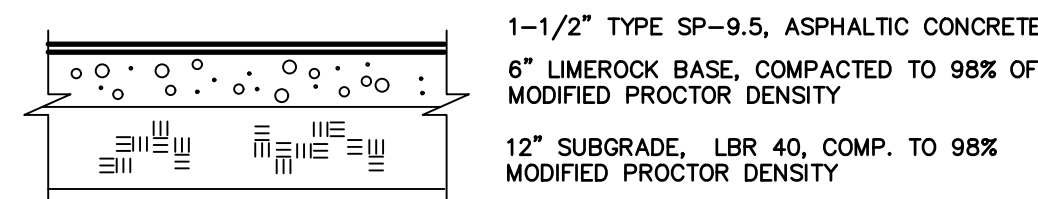
DEPENDING ON YOUR PARTICULAR APPLICATION, THE SILTSACK CAN BE MADE FROM EITHER ONE OF THE ABOVE FABRICS WITH AN OIL-ABSORBANT PILLow INSERT OR, MADE COMPLETELY FROM AN OIL-ABSORBANT SILTSACK®, WITH A WOVEN PILLow INSERT.

**DETAIL OF INLET SEDIMENT CONTROL DEVICE WITH CURB DEFLECTOR**

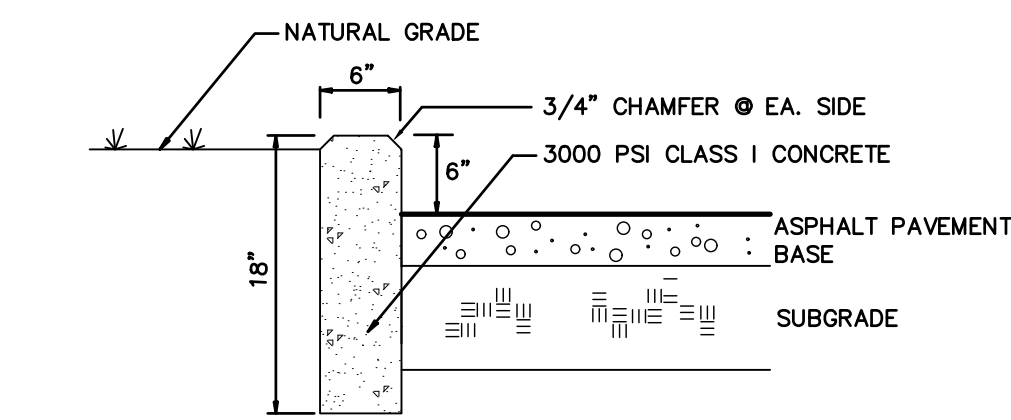
N.T.S.



**HANDICAP STRIPING DETAIL**  
N.T.S.



**TYPICAL ASPHALT PAVEMENT DETAIL**  
N.T.S.



**6" STANDARD CURB DETAIL**  
N.T.S.

**PAVING, GRADING AND DRAINAGE SPECIFICATIONS**

- GENERAL:** ALL ROADWAY AND DRAINAGE CONSTRUCTION, INCLUDING MATERIALS, CONSTRUCTION TECHNIQUES, AND TECHNICAL STANDARDS, SHALL BE IN ACCORDANCE WITH THE LATEST F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE LATEST F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS.
- ALL AREAS OF NEW CONSTRUCTION SHALL BE PREPARED AFTER SITE DEMOLITION. TOP SOIL REMAINING ON-SITE MAY BE STOCKPILED FOR FINE GRADING IN LANDSCAPED AREAS, IF SUITABLE. THE CONTRACTOR SHALL FURNISH ALL FILL REQUIRED AND DISPOSE OF ALL EXCESS OR UNSUITABLE MATERIAL OFF-SITE IN ACCORDANCE WITH ALL REGULATORY REQUIREMENTS.
- ALL NEW ASPHALT PAVEMENT CONSTRUCTION SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
  - EARTHWORK:** FILL MATERIALS SHALL CONFORM TO AASHTO SOIL GROUPS A-1, A-3, OR A-2-4 AND SHALL BE PLACED IN 6"-12" LOOSE LIFTS AND COMPACTED TO 98% DENSITY USING MODIFIED PROCTOR METHOD (AASHTO T-180).
  - SUBSOIL EXCAVATION:** WHERE SUBSOIL EXCAVATION IS REQUIRED, UNSUITABLE MATERIALS SHALL BE REMOVED TO A DEPTH OF 18" BELOW THE LIMEROCK BASE AND BACKFILLED WITH CLEAN FILL.
  - STABILIZED SUBGRADE:** ALL STABILIZED MATERIAL SHALL BE TYPE 'B' CONFORMING TO SECTION 914-3 AND PLACED ACCORDING TO SECTION 160 IN ONE 12" MINIMUM COMPACTED LIFT. SUBGRADE SHALL BE STABILIZED TO A MINIMUM LBR VALUES AND DENSITIES AS SHOWN IN THE TYPICAL SECTIONS.
  - BASE COURSE:** ALL MATERIAL SHALL BE LIMEROCK CONFORMING TO SECTION 911 AND PLACED ACCORDING TO SECTION 200 IN ONE 6" MINIMUM COMPACTED LIFT OR DOUBLE COMPACTED LIFT. ALL BASE MATERIAL SHALL BE COMPACTED TO 98% DENSITY BY MODIFIED PROCTOR METHOD (AASHTO T-180). THE PRIME COAT SHALL CONFORM TO SECTION 300.
  - ASPHALTIC CONCRETE:** ALL ASPHALTIC CONCRETE MATERIAL SHALL BE AS PER DESIGN SECTIONS AND SHALL CONFORM TO SECTION 334. ALL ASPHALTIC CONCRETE CONSTRUCTION SHALL CONFORM TO SECTION 330. ASPHALT PAVEMENT SHALL BE SUPERPAVE SP-PG 67-22 ASPHALT BINDER.
- ALL CONCRETE USED FOR CONSTRUCTION OF DRAINAGE STRUCTURES, SIDEWALKS, AND CURBING SHALL BE CLASS I CONFORMING TO SECTION 346.
- REINFORCED CONCRETE PIPE SHALL CONFORM TO SECTION 941.
- ALL PAVEMENT MARKINGS REQUIRED IN THE R/W SHALL BE THERMOPLASTIC AND INCLUDE RAISED PAVEMENT MARKERS, WHERE REQUIRED CONFORMING TO SECTION 711.
- ALL PAVEMENT MARKING, SYMBOLS AND STRIPING WITHIN THE SITE SHALL MEET THE LATEST FLORIDA HANDICAP ACCESSIBILITY CODE. PAVEMENT MARKING SHALL BE 4" BLUE/WHITE (HANDICAP) OR WHITE (REGULAR) AND SHALL CONFORM TO THE LATEST F.D.O.T. AND M.U.T.C.D. STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A GEOTECHNICAL CONSULTANT TO PROVIDE A FIELD INVESTIGATION REPORT DELINEATING RECOMMENDATIONS FOR UNDERCUTTING AND/OR UNDERDRAINS. A COPY OF THIS REPORT SHALL BE FORWARDED TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO UNDERCUTTING OR INSTALLING UNDERDRAIN. UNIT PRICES SHALL BE PROVIDED FOR UNDERDRAIN AND UNDERCUTTING. THE CONTRACTOR SHALL NOT CONSTRUCT BASE COURSE UNTIL THE REPORT IS REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
- SOIL TESTING RESULTS SHALL BE PROVIDED FOR THE PAVEMENT CONSTRUCTION. TESTING RESULTS SHALL BE SUBMITTED FOR THE SUBGRADE AND BASE COURSE, IN ACCORDANCE WITH THE DESIGN SECTION. A MINIMUM OF 5 TEST LOCATIONS SHALL BE PROVIDED ON-SITE. THE TESTING REPORT SHALL DENOTE THE TEST LOCATIONS. THE CONTRACTOR SHALL NOT PROCEED TO THE SUBSEQUENT PAVEMENT SECTION UNTIL TESTING RESULTS ARE APPROVED FOR PREVIOUS SECTION. ALL TESTING REQUIRED WITHIN THE COUNTY R/W SHALL BE COORDINATED WITH THE COUNTY INSPECTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TESTING COST.
- LANDSCAPING: FINAL GRADING IN OPEN AREAS AND LANDSCAPE ISLANDS SHALL BE COORDINATED WITH THE LANDSCAPE CONTRACTOR AND THE OWNER. THE CONTRACTOR SHALL ALSO COORDINATE THE PLACEMENT OF ANY IRRIGATION AND ELECTRICAL CONDUIT SLEEVES DURING CONSTRUCTION.
- ROOF RUNOFF WILL BE DIRECTED TO THE STORMWATER SYSTEM IF A GUTTER COLLECTION SYSTEM IS NOT SHOWN IN THE PLANS. RUNOFF COLLECTION SHALL BE COORDINATED WITH THE ARCHITECT.
- REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS IS THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR. SOIL IN AREAS TO BE LANDSCAPED SHALL BE UNCOMPACTED, SUITABLE FOR ROOT GROWTH WITH APPROPRIATE AMOUNTS OF ORGANIC MATTER, AND OF pH 5.5-6.5.
- TREE BARRICADES MUST REMAIN IN PLACE AND IN THE DIMENSIONS SHOWN ON THE PLAN UNTIL LANDSCAPING BEGINS. SEE NOTE ON SHEET C0.20 AND THE DETAIL ON THE LANDSCAPE PLAN.



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Professional Engineer of Record:

Claudia S. Vega, P.E. 51532  
Engineer Certificate No.

Project No: 23-167

Project phase: CONSTRUCTION PLANS

Project title:

NEWBERRY PARK TND -  
BLOCK 1 - PHASE II  
ALACHUA COUNTY,  
FLORIDA

Sheet title:  
PAVING, GRADING, AND  
DRAINAGE DETAILS

Designed: CSV Sheet No.:  
Drawn: JB  
Checked: CSV  
Date: 04/01/24  
**C310**



THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MAY BE MODIFIED AND UPDATED DURING CONSTRUCTION AS A RESULT OF WEATHER, UNPREDICTABLE EVENTS AND SITE INSPECTIONS.

THIS DOCUMENT WAS PREPARED IN ORDER TO BE IN COMPLIANCE WITH CHAPTER 62-621.300 (4) OF THE FLORIDA ADMINISTRATIVE CODE, WHICH PERTAINS TO THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. THE ADMINISTRATIVE CODE GRANTS THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) THE AUTHORITY TO REGULATE POINT SOURCE DISCHARGES OF STORM-WATER FROM CONSTRUCTION SITES. THIS DOCUMENT ESTABLISHES A STORMWATER POLLUTION PREVENTION PLAN FOR THE SITE AND IS ORGANIZED TO CORRESPOND TO PART V OF DEP DOCUMENT No. 62-621.300 (4) (A) FDEP FORM 62-261.300 (4) (B) IS TO BE SUBMITTED IN CONJUNCTION WITH THIS DOCUMENT.

I. PROJECT INFORMATION:

PROJECT: NEWBERRY PARK TND - BLOCK 1 - PHASE II
COUNTY: ALACHUA COUNTY, FLORIDA
SECTION/TOWNSHIP/RANGE: S 01, T 10 SOUTH, R 18 EAST
COUNTY PARCEL NO.: 04322-001-001
LATITUDE AND LONGITUDE: 29°39'26.8"N 82°21'41.5"W
STREET ADDRESS: 11995 BLOCK OF WEST NEWBERRY ROAD GAINESVILLE, FL
PROJECT AREA: 0.39 AC
APPROXIMATE AREA TO BE DISTURBED BY CONSTRUCTION: 0.39 Ac.

II. SITE DESCRIPTION:

- 1. THE PROPOSED DEVELOPMENT CONSISTS OF THE CONSTRUCTION OF A 2 STORY 11,600 SF OFFICE BUILDING WITH ASSOCIATED UTILITY IMPROVEMENTS. DRAINAGE IMPROVEMENTS WERE INCLUDED IN THE MASTER STORMWATER REPORT UNDER SRWMD PERMIT NUMBER 230720-2
2. THE SOIL CONDITIONS WERE INVESTIGATED AND SUMMARIZED IN THE SOILS REPORT PREPARED BY UNIVERSAL ENGINEERING SERVICES. THE PROPOSED PROJECT USES AN EXISTING MASTER STORMWATER BASIN THAT CAN BE FOUND UNDER SRWMD PERMIT NUMBER 230720-2.
3. EXISTING AND FUTURE DRAINAGE PATTERNS ARE SHOWN ON THE DRAINAGE PLAN FOR PRE-DEVELOPMENT CONDITIONS AND POST-DEVELOPMENT CONDITIONS. OUTFALLS, AND STORMWATER BASINS ARE SHOWN IN THE DRAINAGE PLAN AND THE DETAIL PLAN.
4. SEQUENCE OF CONSTRUCTION:
A. PRIOR TO CONSTRUCTION, SILT FENCING AND TREE PROTECTION BARRICADES SHALL BE INSTALLED AND ALL EXISTING DRAINAGE STRUCTURES SHALL BE PROTECTED IN ACCORDANCE WITH THE FDOT FLORIDA EROSION AND SEDIMENTATION CONTROL MANUAL.
B. THE CONSTRUCTION ENTRANCE(S) WILL BE STABILIZED TO MINIMIZE THE CREATION OF DUST AND OFF SITE TRACKING OF SEDIMENTS.
C. THE SITE SHALL BE CLEARED AND GRUBBED OF UNDESIRABLE VEGETATION.
D. THE UNDERGROUND UTILITIES AND STORMWATER PIPING WILL BE INSTALLED AND CONNECTED TO EXISTING STRUCTURES.
E. THE SITE WILL BE ROUGHLY GRADED, IF SUITABLE, THE EXCAVATED MATERIAL MAY BE USED AS FILL FOR ON-SITE GRADING. THE ROADWAYS SHALL BE GRADED. (THE BASIN AREA SHALL BE STABILIZED AS SPECIFIED IN THE PLANS.)
F. ROADWAYS AND PARKING LOTS WILL BE COMPACTED AND A LIMEROCK BASE WILL BE ESTABLISHED FOLLOWED BY AN OVERLAY OF ASPHALTIC CONCRETE. BUILDINGS SHALL BE CONSTRUCTED.
G. UPON SIGNIFICANT COMPLETION OF CONSTRUCTION, THE STORMWATER SYSTEM SHALL BE FLUSHED OUT TO REMOVE ACCUMULATED DEBRIS AND SEDIMENT.
H. ALL DISTURBED AREAS WITHIN THE CONSTRUCTION AREA SHALL BE COMPLETELY GRASSED AND/OR LANDSCAPED. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS.

III. CONTROLS:

THE CONTROLS SHALL BE IMPLEMENTED AND MAINTAINED DURING THE ENTIRE CONSTRUCTION OF THE PROJECT. IF SITE CONDITIONS ARE SUCH THAT ADDITIONAL CONTROL MEASURES ARE REQUIRED THAN WHAT IS SPECIFIED IN THE EROSION AND SEDIMENTATION CONTROL PLAN, THEN THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES NECESSARY.

- 1. THE CONSTRUCTION ACCESS SHALL BE STABILIZED WITH GRAVEL AND TEMPORARY VEGETATION TO PREVENT SILT LEAVING THE SITE.
2. TREE BARRICADES SHALL BE IMPLEMENTED BEFORE CLEARING AND GRUBBING OF ANY OF THE WORK AREAS.
3. BEFORE CLEARING, SILT FENCES SHALL BE INSTALLED AROUND THE PERIMETER OF THE CONSTRUCTION AND AROUND THE WETLAND(S) AND/OR BASIN(S) AS SHOWN IN THE PLANS. ALL EXISTING STORM DRAINAGE SWALES AND INLETS SHALL BE PROTECTED PER THE FDOT FLORIDA EROSION AND SEDIMENTATION CONTROL MANUAL.
4. AFTER CLEARING BUT BEFORE EXCAVATION AND GRADING, TEMPORARY BERMS AND SWALES SHALL BE CONSTRUCTED AS REQUIRED TO DIVERT THE FLOW INTO THE CORRESPONDING STORMWATER BASIN.
5. DURING CONSTRUCTION OF PAVING AND BUILDINGS, EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS REQUIRED.
6. ALL DISTURBED AREAS WITHIN THE CONSTRUCTION SITE SHALL BE COMPLETELY LANDSCAPED AND/OR GRASSED. FINAL STABILIZATION (INCLUDING SEEDING, MULCHING, SODDING OR RIPRAP) SHALL BE INSTALLED AS REQUIRED. GRASS SEEDING RATES AND MIXTURES SHALL BE PER FDOT INDEX 104. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS AND PRIOR TO FINAL RELEASE.

IV. EROSION AND SEDIMENTATION CONTROLS:

STABILIZATION PRACTICES

- 1. ALL ENTRANCES TO THE SITE SHALL BE STABILIZED BEFORE CONSTRUCTION AND FURTHER DISTURBANCE BEGINS. GRAVEL PAD SHALL PROVIDE STABILIZATION AND MINIMIZE THE AMOUNT OF SEDIMENT LEAVING THE SITE. MAINTENANCE OF THE ENTRANCE SHALL INCLUDE SWEEPING OF THE AREA ADJACENT TO THE ENTRANCE. STONE AND GRAVEL MIGHT NEED TO BE PERIODICALLY ADDED TO MAINTAIN THE EFFECTIVENESS OF THE ENTRANCE(S).
2. TREE BARRICADES SHALL BE INSTALLED AROUND THE TREES AS SHOWN IN THE DETAIL PLAN TO PROTECT THE EXISTING VEGETATION.
3. MULCH SHALL BE PLACED IN THE AREAS REQUIRED TO PREVENT EROSION FROM STORMWATER RUNOFF AND THE AREAS SHOWN ON THE PLANS. MULCH SHALL BE ANCHORED TO RESIST WIND DISPLACEMENT AND SHALL BE INSPECTED AFTER EVERY RAINSTORM TO IDENTIFY AREAS WHERE MULCH HAS BEEN WASHED OUT OR LOOSENED. THESE AREAS SHALL HAVE MULCH COVER REPLACEMENT.
4. SEEDING SHALL BE STARTED AFTER GRADING HAS BEEN FINISHED ON THE AREAS SHOWN IN THE PLANS. SEEDING AREAS SHOULD BE INSPECTED FOR FAILURE TO ESTABLISH, AND NECESSARY REPAIRS AND RESEEDING SHOULD BE MADE AS SOON AS POSSIBLE. ADDITIONAL SEEDING AND MULCH MAY BE REQUIRED AS NECESSARY TO PREVENT EROSION DURING OR AFTER CONSTRUCTION HAS FINISHED.
5. SOD SHALL BE INSTALLED IN THE AREAS SHOWN IN THE PLANS. SOD SHALL BE RESEG IF INSTALLED ON SLOPES GREATER THAN 3:1. SODDED AREAS SHALL BE MAINTAINED AND INSPECTED TO ENSURE SUCCESSFUL ESTABLISHMENT.

SEDIMENTATION PRACTICES

- 1. SILT FENCES SHALL BE INSTALLED IN THE AREAS SHOWN IN THE PLANS AND AS REQUIRED TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION AREA. SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT TO ENSURE THAT THERE ARE NO GAPS OR TEARS. IF GAPS OR TEARS ARE FOUND THE FABRIC SHOULD BE REPAIRED OR REPLACED. SEDIMENT REMOVAL SHALL BE PART OF THE REGULAR MAINTENANCE. SILT FENCES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION HAS FINISHED AND DISTURBED AREAS ARE PERMANENTLY STABILIZED.
2. DIVERSION SWALES, IF REQUIRED, SHALL BE CONSTRUCTED BEFORE MAJOR LAND DISTURBANCE OF THE RECEIVING BASIN. DIVERSION SWALES SHALL BE STABILIZED AFTER CONSTRUCTION TO MAINTAIN ITS EFFICIENCY.
3. INLETS SHOULD BE TEMPORARILY PROTECTED TO PREVENT SEDIMENT ENTERING THE INLET. BARRIERS WILL CATCH SOIL, DEBRIS AND SEDIMENT AT THE ENTRANCE OF THE INLET.
4. OUTFALL STRUCTURES SHALL HAVE SILT FENCES TO PREVENT SILT FROM ENTERING THE STORMWATER BASINS AND SHALL BE STABILIZED AS REQUIRED TO PREVENT EROSION FROM WASHOUTS.

V. STORMWATER MANAGEMENT:

- 1. THE PROPOSED PROJECT OBTAINED AN ENVIRONMENTAL RESOURCE PERMIT FROM SUWANNEE RIVER WATER MANAGEMENT DISTRICT (SRWMD) FOR THE CONSTRUCTION AND OPERATION OF A STORMWATER TREATMENT SYSTEM AND CONTROLS. THE PROPOSED SYSTEM INCLUDED THE USE OF THE BEST MANAGEMENT PRACTICES (BMP) CONSISTENT WITH THE APPLICABLE REQUIREMENTS OF RULE 40C-42 OF THE DISTRICT. THE OWNER AND/OR THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER TREATMENT SYSTEM AND CONTROLS UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETED AND FINAL STABILIZATION HAS BEEN ACCOMPLISHED. HOWEVER, THE OWNER AND/OR AN ENTITY SIMILAR TO A HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER SYSTEM IN PERPETUITY, IN ACCORDANCE WITH THE REQUIREMENTS OF THE ENVIRONMENTAL RESOURCE PERMIT.
2. TO TREAT AND CONTROL THE STORMWATER PRODUCED BY THE PROPOSED DEVELOPMENT, THE PROJECT REQUIRES THE INSTALLATION AND CONSTRUCTION OF THE FOLLOWING BMP'S: DISCHARGE TO AN EXISTING MASTER STORMWATER SYSTEM PERMITTED UNDER SRWMD PERMIT NUMBER 230720-2. THE BASINS HAVE BEEN DESIGNED TO CONTAIN AND ATTENUATE THE STORMS AND DISCHARGE AT PRE-DEVELOPMENT CONDITIONS, WHILE PROVIDING TREATMENT TO THE RUNOFF AS REQUIRED BY THE DISTRICT AND STATE RULES USING THE GUIDELINES CONTAINED IN THE SRWMD HANDBOOK.

VI. CONTROLS FOR OTHER POTENTIAL POLLUTANTS:

- 1. WASTE DISPOSAL: NO SOLID MATERIALS, INCLUDING CONSTRUCTION MATERIALS, SHALL BE DISCHARGED TO SURFACE WATERS AND ARE NOT AUTHORIZED UNDER THE ISSUED ENVIRONMENTAL RESOURCE PERMIT.
2. THE USE OF GRAVEL AND CONTINUING SWEEPING ACTIVITIES AT THE ENTRANCE OF THE SITE WILL CONTROL THE TRACKING OF SEDIMENT AND DUST LEAVING THE SITE.
3. THE PROPOSED DEVELOPMENT WILL PROVIDE WATER AND SEWER SYSTEM BY CONNECTING INTO THE CENTRAL MUNICIPAL SYSTEM OF GAINESVILLE REGIONAL UTILITIES.
4. ANY APPLICATION OF FERTILIZERS AND PESTICIDES NECESSARY TO ESTABLISH AND MAINTENANCE OF VEGETATION DURING CONSTRUCTION AND THROUGH PERPETUITY MAINTENANCE SHALL FOLLOW THE MANUFACTURERS RECOMMENDATIONS AND THE APPLICABLE RULES OF THE STATE OF FLORIDA.
5. ANY TOXIC MATERIALS REQUIRED DURING CONSTRUCTION SHALL BE PROPERLY STORED, DISPOSED OF AND CONTRACTOR AND/OR OWNER SHALL PROVIDE THE APPROPRIATE PERMITS FROM THE LOCAL OR STATE AGENCIES.

VII. APPROVED STATE OR LOCAL PLANS:

- 1. ALL THE SEDIMENT AND EROSION CONTROLS THAT ARE LISTED IN THE SITE PLAN AS APPROVED BY THE SRWMD ARE INCLUDED IN THIS STORMWATER POLLUTION PREVENTION PLAN (SEE ITEM III AND IV).
2. THIS STORMWATER POLLUTION PREVENTION PLAN SHALL BE AMENDED IF REQUIRED BY ANY LOCAL OR STATE AGENCY OR AS REQUIRED BY UNFORESEEABLE CONDITIONS AND THE OWNER SHALL SUBMIT A RE-CERTIFICATION TO THE NPDES STATE OFFICE THAT THE PLAN HAS BEEN AMENDED TO ADDRESS THOSE CHANGES.

VIII. MAINTENANCE:

THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE, INSPECTION SCHEDULE, AND REPAIRS OUTLINED IN THIS PLAN. MAINTENANCE SHALL CONTINUE THROUGHOUT THE PROJECT UNTIL WORK IS COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER CONSTRUCTION IS COMPLETE.
IN ADDITION TO THE ITEMS MENTIONED IN THE PREVIOUS SECTIONS, THE CONTRACTOR SHALL INITIATE ANY REPAIRS WITHIN 24 HOURS OF BEING REPORTED. IN THE EVENT THAT THE BASINS DO NOT PERFORM PROPERLY OR IF A SINKHOLE DEVELOPS, THE PROJECT ENGINEER SHALL BE NOTIFIED TO ASSIST IN COORDINATING REMEDIAL ACTION.

- 1. MAINTENANCE WOULD BE DIVIDED IN ROUTINE MAINTENANCE AND REPAIR MAINTENANCE. ALL STORMWATER BMP'S SHOULD BE INSPECTED FOR CONTINUED EFFECTIVENESS AND STRUCTURAL INTEGRITY ON A REGULAR BASIS. THE SYSTEMS SHOULD BE CHECKED AFTER EACH STORM EVENT IN ADDITION TO REGULARLY SCHEDULED INSPECTIONS.
2. ROUTINE MAINTENANCE REQUIREMENTS SHOULD BE INCLUDED IN THE INSPECTOR CHECKLIST TO AID THE INSPECTOR IN DETERMINING WHETHER A BMP'S MAINTENANCE IS ADEQUATE OR NEEDS A REVISION. INSPECTORS SHALL KEEP RECORD OF MAINTENANCE, ROUTINE OR REPAIR, TO PROVIDE EVIDENCE OF AN EFFICIENT INSPECTION AND MAINTENANCE.
3. SIDE ENTRANCES: MAINTENANCE SHALL INCLUDE REPLACEMENT OF GRAVEL AND CLEANING THE SOIL THAT IS TRACKED OFFSITE FOR PROPER DISPOSAL.
4. TREE BARRICADES: MAINTENANCE SHALL INCLUDE INSPECTION OF MESH AND POSTS AND REPAIR OR REPLACEMENT OF DAMAGED VEGETATION.
5. SILT FENCES: MAINTENANCE SHALL INCLUDE SEDIMENT REMOVAL AND INSPECTION TO ENSURE PROPER ANCHORING AND THAT NO TEARING OR GAPS HAVE OCCURRED. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF SILT FENCE.
6. DIVERSION SWALES: MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY RAINFALL EVENT AND ONCE EVERY TWO WEEKS BEFORE FINAL STABILIZATION. THEY SHOULD BE CLEARED OF SEDIMENT AND MAINTAIN VEGETATIVE COVER.
7. TEMPORARY BERMS: MAINTENANCE SHALL INCLUDE REMOVAL OF DEBRIS, TRASH SEDIMENT AND LEAVES. SIDES OF THE BERM SHALL BE INSPECTED FOR EROSION AFTER EACH STORM EVENT.
8. MULCHING: ROUTINE MAINTENANCE SHALL INCLUDE REPLACEMENT PERIODICALLY.
9. SEEDING: ROUTINE MAINTENANCE SHALL INCLUDE RESEEDING OF AREAS THAT FAILED TO ESTABLISH.
10. SODDING: ROUTINE MAINTENANCE SHALL INCLUDE WATERING AND MOWING. REPLACEMENT OF GRASS MAY BE NECESSARY IF COVER IS NOT FULLY ESTABLISHED.
11. INLETS: ROUTINE MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY STORM EVENT AND MIGHT INCLUDE REMOVAL OF ACCUMULATED SEDIMENT.
12. OUTFALL STRUCTURES: ROUTINE MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY STORM EVENT TO ASSURE NO EROSION OR SCOUR HAS OCCURRED.

IX. INSPECTIONS:

- 1. THE OWNER AND /OR CONTRACTOR SHALL PROVIDE QUALIFIED PERSONNEL TO INSPECT ALL POINTS OF POTENTIAL DISCHARGE FROM THE PROJECT SITE FOR DISTURBED AREAS, THE EROSION AND SEDIMENTATION CONTROLS AND BMP'S AS LISTED IN THIS PLAN. THE INSPECTION SHALL BE PERFORMED DURING CONSTRUCTION AND BEFORE FINAL STABILIZATION, ONCE EVERY SEVEN-CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS GREATER THAN 0.50 INCHES. AFTER FINAL STABILIZATION AND BEFORE FINISH OF CONSTRUCTION THE INSPECTION SHALL BE CONDUCTED ONCE EVERY MONTH.
2. THE CONTRACTOR SHALL INSTALL A RAIN GAUGE AT THE SITE TO MONITOR AND DOCUMENT RAINFALL EVENTS IN EXCESS OF 0.50 INCHES.
3. ALL DISTURBED AREAS AND AREAS USED FOR MATERIALS STORAGE SHALL BE INSPECTED FOR POLLUTANTS ENTERING THE STORMWATER SYSTEM. THE STORMWATER MANAGEMENT SYSTEM AND EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE INSPECTED TO ENSURE THEY ARE OPERATING CORRECTLY. LOCATIONS WHERE VEHICLES ENTER AND LEAVE THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING.
4. REPAIR OR MAINTENANCE NEEDED TO ASSURE PROPER OPERATION OF THE STORMWATER POLLUTION PREVENTION PLAN SHALL BE DONE IN A TIMELY MANNER BUT NO LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.
5. A REPORT SHALL BE KEPT OF EACH INSPECTION FOR THREE YEARS AFTER FINAL STABILIZATION AND SHALL INCLUDE THE DATES OF EACH INSPECTION, THE SCOPE OF THE INSPECTION, MAJOR OBSERVATIONS, ANY REPAIR AND/OR MAINTENANCE REQUIRED AND ANY INCIDENT OF NON-COMPLIANCE. IF THE REPORT DOES NOT CONTAIN ANY INCIDENTS OF NON-COMPLIANCE, THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY HAS BEEN IN COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND THE NPDES PERMIT. THE REPORT SHALL INCLUDE THE NAME AND QUALIFICATIONS OF THE INSPECTOR AND SHALL BE SIGNED IN ACCORDANCE TO FDEP RULE 62-621.300, PART VI.C. A COPY OF THE CONSTRUCTION INSPECTION FORM IS INCLUDED ON THIS STORMWATER POLLUTION PREVENTION PLAN SHEET. A COPY SHALL BE RETAINED AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

X. NON-STORMWATER DISCHARGES:

- 1. THE FOLLOWING NON-STORMWATER DISCHARGES MIGHT BE COMBINED WITH STORMWATER AND WOULD BE AUTHORIZED AS PART OF THIS PERMIT: FIRE HYDRANT FLUSHING, CONTROL OF DUST, POTABLE WATER FLUSHING AND IRRIGATION DRAINAGE. BECAUSE OF THE NATURE OF THESE DISCHARGES, THE EROSION, STABILIZATION AND TREATMENT SYSTEMS TO BE IMPLEMENTED, AS PART OF THIS PLAN WOULD BE APPROPRIATE TO PREVENT AND TREAT ANY POLLUTION RELATED TO THESE NON-STORMWATER DISCHARGES.
2. DISCHARGES FROM DEWATERING ACTIVITIES ASSOCIATED WITH SITE CONSTRUCTION ARE NOT AUTHORIZED AND REQUIRED CONSTRUCTION OF TEMPORARY SEDIMENTATION BASINS AND USE OF APPROPRIATE FLOCCULATING AGENTS TO ENHANCE PARTICLE SEGREGATION AND SPEED UP SETTLING OF PARTICLES.

XI. CONTRACTORS:

- 1. ALL CONTRACTORS AND/OR SUBCONTRACTORS RESPONSIBLE FOR IMPLEMENTING THE PLAN SHALL SIGN THE CERTIFICATION STATEMENT BEFORE STARTING CONSTRUCTION ACTIVITIES OF THE PROJECT. THE CERTIFICATION MUST INCLUDE THE NAME AND TITLE OF THE PERSON PROVIDING THE SIGNATURE, THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE CONTRACTING FIRM, THE ADDRESS OF THE SITE AND THE DATE THE CERTIFICATION IS MADE. THE OWNER SHALL KEEP THESE CERTIFICATIONS AS PART OF THIS POLLUTION PLAN. MULTIPLE COPIES OF THE CERTIFICATION STATEMENT MAY BE NECESSARY, DEPENDING UPON THE NUMBER OF SUBCONTRACTORS ASSOCIATED WITH THE PROJECT.

STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT FORM

Inspections must occur at least once a week and within 24 hours of the end of a storm event that is 0.50 inches or greater.

PROJECT NAME: NEWBERRY PARK TND - BLOCK 1 - PHASE II FDEP NPDES STORMWATER IDENTIFICATION NO.: FLR10

OWNER: CONTRACTOR:

CONSTRUCTION MANAGER:

Table with 8 columns: Date of Inspection, Location, Rain data, Type of control (see below), Date installed / modified, Current Condition (see below), Observations or Corrective Action / Other Remarks, Inspected By.

CONDITION CODE: G = Good M = Marginal, needs maintenance or replacement soon O = Other
C = Needs to be cleaned P = Poor, needs immediate maintenance or replacement

CONTROL TYPE CODES

Table with 4 columns: 1. Silt Fence, 2. Earth dikes, 3. Structural diversion, 4. Swale, 5. Sediment Trap, 6. Check dam, 7. Subsurface drain, 8. Pipe slope drain, 9. Level spreaders, 10. Storm drain inlet protection, 11. Vegetative buffer strip, 12. Vegetative preservation area, 13. Retention Pond, 14. Construction entrance stabilization, 15. Perimeter ditch, 16. Curb and gutter, 17. Paved road surface, 18. Rock outlet protection, 19. Reinforced soil retaining system, 20. Gabion, 21. Sediment Basin, 22. Temporary seed / sod, 23. Permanent seed / sod, 24. Mulch, 25. Hay Bales, 26. Geotextile, 27. Rip-rap, 28. Tree protection, 29. Detention pond, 30. Retention pond, 31. Waste disposal / housekeeping, 32. Dam, 33. Sand Bag, 34. Other

INSPECTOR INFORMATION:

Name Qualification Date

The above signature also shall certify that this facility is in compliance with the Stormwater Pollution Prevention Plan and the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities if there are not any incidents of non compliance identified above.

\*\*\*\*\*

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

CERTIFICATION STATEMENT

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND AND SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER."

CONTRACTING FIRM:
ADDRESS:
CITY, STATE, ZIP CODE:
TELEPHONE:
FAX:
PROJECT NAME: NEWBERRY PARK TND - BLOCK 1 - PHASE II
PROJECT ADDRESS:
PROJECT ADDRESS:
CITY, STATE, ZIP CODE: FLORIDA
NAME: SIGNATURE:
DATE:



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720 S.W. 2nd Ave, South Tower, Suite 300
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Table with 3 columns: No., Date, Comment

THIS PERM HAS BEEN DIGITALLY SIGNED AND SEALED BY CLAUDIA S. VEGA, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Professional Engineer of Record:

Claudia S. Vega, P.E. 51532
Engineer Certificate No.

Project No: 23-167

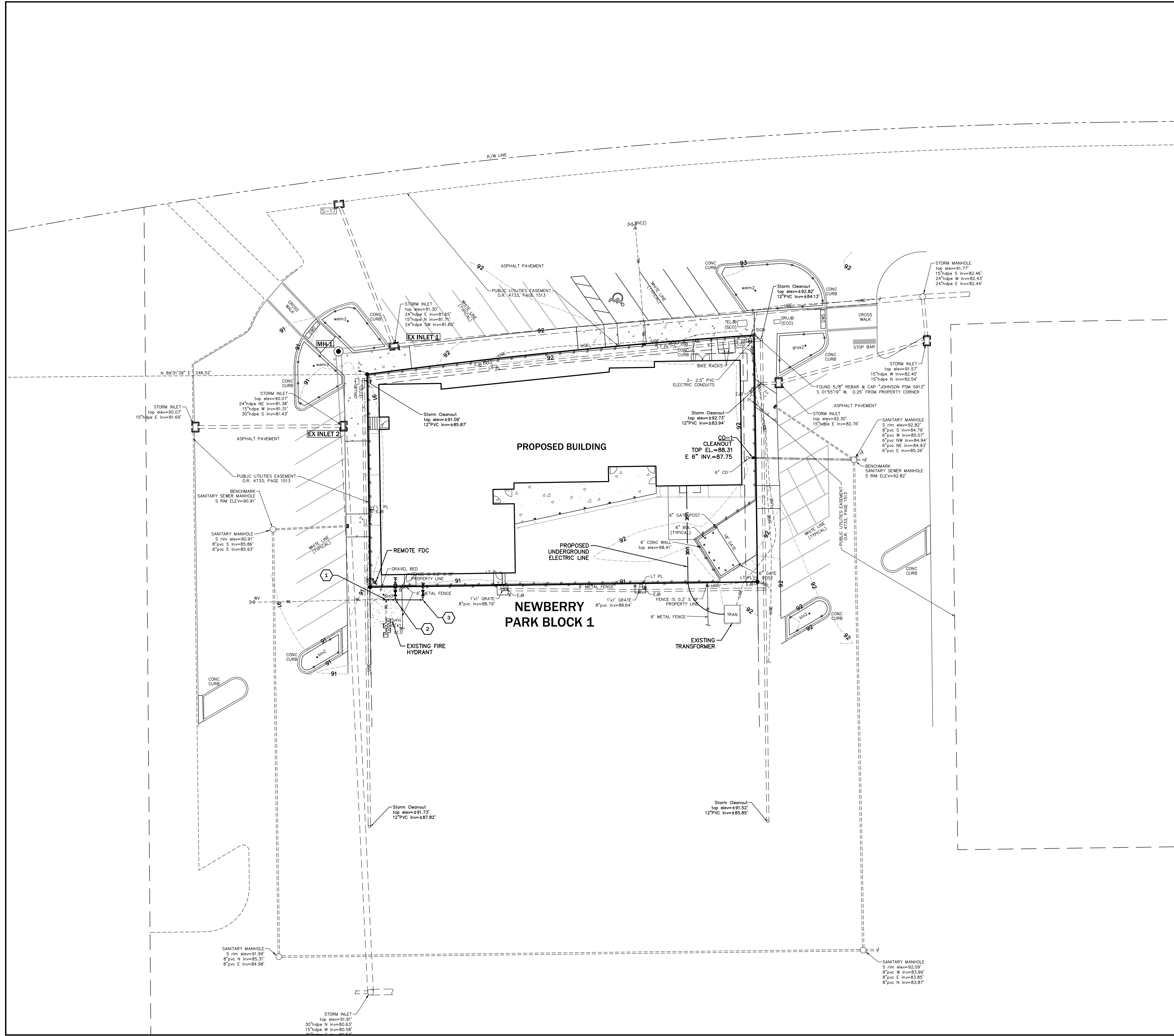
Project phase: CONSTRUCTION PLANS

Project title:

NEWBERRY PARK TND - BLOCK 1 - PHASE II ALACHUA COUNTY, FLORIDA

Sheet title: STORMWATER POLLUTION PREVENTION PLAN

Designed: CSV Sheet No.: C320
Drawn: JB
Checked: CSV
Date: 04/01/24



**GRU UTILITY NOTES**

1. A SEPARATE UTILITY PERMIT WILL BE REQUIRED FOR THE EXTENSION OF THE PROPOSED UTILITIES (WATER & WASTEWATER).
2. THE UTILITY PLAN AND PLAT SHOWS ALL PUBLIC UTILITY EASEMENTS (PUE'S) IN A METES AND BOUNDS FORMAT. UPON GRU'S APPROVAL OF PLANS FOR DEVELOPMENTS NOT BEING PLATTED, OWNER MAY CHOOSE TO GRANT THE METES AND BOUNDS EASEMENTS AS SHOWN, OR GRANT A BLANKET EASEMENT OVER THE ENTIRE PROPERTY, PROVIDED FACILITIES ARE INSTALLED WITHIN THE PRESCRIBED DISTANCES AS SHOWN ON THE UTILITY PLANS AND IN ACCORDANCE WITH THE UTILITY SEPARATION REQUIREMENTS TABLE IN APPENDIX C OF THE GRU W/WW/RCW DESIGN STANDARDS.
3. ALL CONSTRUCTION MATERIALS AND METHODS FOR POTABLE WATER, WASTEWATER AND RECLAIMED WATER SYSTEMS SHALL CONFORM TO GRU'S MOST RECENT POTABLE WATER, WASTEWATER, AND RECLAIMED WATER SYSTEM DESIGN STANDARDS AND APPROVED MATERIALS MANUAL.
4. POTABLE WATER AND WASTEWATER MAINS SHALL MAINTAIN A MINIMUM 10 FEET HORIZONTAL AND 1.5 FOOT VERTICAL SEPARATION.
5. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FOR POTABLE WATER MAINS, WASTEWATER FORCE MAINS, AND RECLAIMED WATER MAINS, AND 15 FEET FOR GRAVITY WASTEWATER MAINS SHALL BE PROVIDED AND MAINTAINED FROM BUILDINGS, TRANSFORMERS AND ALL PERMANENT STRUCTURES. SERVICE LATERALS REQUIRE 5 FEET LESS CLEARANCE FOR EACH OF THE UTILITIES. NOTE THAT WATER SERVICE LATERALS SHALL BE INSTALLED WITHIN 3" SLEEVES. (SEE APPENDIX C OF GRU'S DESIGN STANDARDS AND CONSTRUCTION DETAILS FOR POTABLE WATER, WASTEWATER, AND RECLAIMED WATER - HORIZONTAL SEPARATION DISTANCES FOR PARALLEL AND PERPENDICULAR CLEARANCE FROM OTHER OBJECTS TABLE.)
6. POTABLE WATER SERVICES, REQUIRING A SEPARATE WATER METER, SHALL BE PROVIDED TO EACH LOT, BUILDING OR PARCEL. EFFECTIVE OCTOBER 1, 2007, FOR COMMERCIAL, MULTIFAMILY, AND INSTITUTIONAL DEVELOPMENTS, THE DEVELOPER SHALL BE RESPONSIBLE FOR INSTALLING POTABLE WATER SERVICES AND YOKE ASSEMBLY PACKAGE UP TO AND INCLUDING THE METER YOKE BOX (INSTALLED AT FINAL GRADE) AND ASSOCIATED APPURTENANCES, FOR METERS 1" AND SMALLER (SEE GRU W/WW/RCW CONSTRUCTION DETAIL W-8.0), WITH A ONE-YEAR WARRANTY.
7. 2" VALVES LOCATED IN PAVED AREAS, INCLUDING SIDEWALKS, SHALL BE GRU APPROVED CAST IRON, RESILIENT SEAT GATE VALVES WITH STANDARD 2" OPERATING NUT, THREADED WITH BRASS NIPPLE BETWEEN THE VALVES AND TAPPING SADDLE OR TAPPED TEE.
8. WATER MAINS 4" IN DIAMETER AND GREATER, PLACED UNDER ROADWAYS, SHALL BE CEMENT LINED DUCTILE IRON PIPE (CLDIP) EXTENDING 5 FEET PAST THE BACK OF CURB (3 FEET WITHIN CITY OF GAINESVILLE LIMITS) TRACER WIRE INSTALLED ON PVC WATER MAINS SHALL CONTINUE ACROSS THE CLDIP SECTIONS.
9. 1" OR 2" WATER SERVICE CROSSINGS LOCATED UNDER ROADWAYS SHALL BE ENCASED IN 3" SCH 40 PVC EXTENDING 5' PAST THE BACK OF CURB (3' INSIDE CITY OF GAINESVILLE LIMITS).
10. ANCHORING TEES, COUPLINGS, AND BENDS SHALL BE USED ON ALL FIRE HYDRANT ASSEMBLIES.
11. ALL PRESSURIZED MAIN FITTINGS SHALL BE MECHANICAL JOINT WITH RESTRAINED JOINT GLANDS; A SUFFICIENT LENGTH OF THE PIPE CONNECTED TO THE FITTINGS SHALL BE MECHANICALLY RESTRAINED TO PROVIDE REACTION AS SPECIFIED ON THE RESTRAINED JOINT STANDARD IN THE CONSTRUCTION DETAILS OF THE GRU STANDARDS (W-2.8 & 2.9, RCW-2.8 & 2.9, AND WW-2.4 & 2.5). CALCULATIONS FOR REQUIRED RESTRAINT LENGTH MUST BE PROVIDED IF THE SPECIFIED RESTRAINT LENGTH, DUE TO SOIL TYPE OR DEPTH OF COVER, DIFFERS FROM THOSE PROVIDED ON THESE DETAILS.
12. ALL SANITARY WASTEWATER SERVICE LATERALS SHALL BE MIN. 4" DIAMETER PVC (SDR 26) AT 1.00% MIN. SLOPE UNLESS OTHERWISE LABELED.
13. WASTEWATER CLEANOUT COVERS SHALL BE RATED FOR TRAFFIC LOAD BEARING.
14. MANHOLES WHICH ARE NOT INSTALLED UNDER PAVEMENT SHALL HAVE A RIM ELEVATION AT LEAST 6" ABOVE FINISHED GRADE, AND A 10:1 SLOPE TO FINISHED GRADE.
15. UNLESS OTHERWISE NOTED ON THE PLANS, THE FINISHED FLOOR ELEVATIONS OF BUILDINGS SHALL BE A MINIMUM OF 6" ABOVE THE LOWEST UPSTREAM MANHOLE TOP. IF THIS IS INFEASIBLE, A WASTEWATER SERVICE LATERAL BACKWATER VALVE (BWV) IS REQUIRED ON THE CUSTOMER SIDE OF CLEANOUT.
16. WHEN A POTABLE OR RECLAIMED WATER MAIN, OR A WASTEWATER FORCE MAIN IS ROUTED WITHIN 10 FT. OF AN ELECTRIC TRANSFORMER, A 20 FT. LENGTH OF DIP SHALL BE CENTERED ON THE TRANSFORMER WITH MECHANICAL RESTRAINT AT EACH END. NO FITTINGS OR VALVES SHALL OCCUR WITHIN 10 FT. OF THE NEAREST EDGE OF THE TRANSFORMER. A MINIMUM CLEARANCE OF 3' SHALL BE MAINTAINED BETWEEN THE MAIN AND THE TRANSFORMER.
17. A/C CONDENSATE SHALL NOT FLOW INTO WASTEWATER SYSTEM.

**WATER FITTING SCHEDULE**

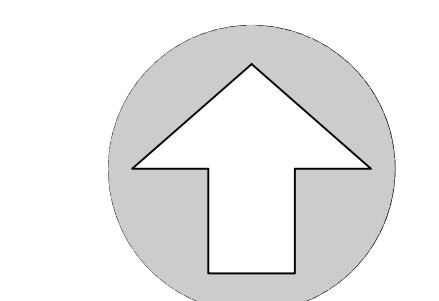
KEY	ASSEMBLY
1	CONNECT TO EXISTING 6" DIP WATER MAIN 1 - 5"x6" DI TEE (TAP IS BY GRU AND MOT, EXCAVATION, BACKFILL AND RESTORATION ARE BY CONTRACTOR. NOTIFY GRU W/WW INSPECTOR 7 DAYS IN ADVANCE) 6" DIP WATER MAIN
2	1 - 6"x6"x2" DI TEE 1 - 2" GATE VALVE & BOX 1 - 1" WATER METER (END OF GRU MAINTENANCE) 1 - 2" REDUCED PRESSURE ZONE BACKFLOW PREVENTER 2" DIP WATER MAIN TO BUILDING
3	1 - 6" DI 90° BEND 1 - 6" GATE VALVE & BOX (END OF GRU MAINTENANCE) 1 - 6" REDUCED PRESSURE ZONED BACKFLOW PREVENTER 6" CLDIP FIRE LINE TO BUILDING

**LEGEND**

- SILT FENCE
- TREE BARRICADE
- [Pattern] LIMITS OF CONCRETE PAVEMENT AND SIDEWALKS
- [Pattern] LIMITS OF TURF FIELD
- p120 EXISTING TREE TO REMAIN
- - - 183 - - - EXISTING CONTOUR ELEVATION



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**NORTH**  
SCALE: 1" = 20'  
0 10 20 40  
GRAPHIC SCALE

No.	Date	Comment

THIS PLAN HAS BEEN CAREFULLY REVIEWED AND SEALED BY CLAUDIA S. VEGA, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Professional Engineer of Record:  
  
Claudia S. Vega, P.E. 51532  
Engineer Certificate No.

Project No: 23-167

Project phase: CONSTRUCTION PLANS

Project title: NEWBERRY PARK TND - BLOCK 1 - PHASE II ALACHUA COUNTY, FLORIDA

Sheet title: UTILITY PLAN

Designed: CSV Sheet No.: C400  
Drawn: JB  
Checked: CSV  
Date: 04/01/24