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CONSTRUCTION PLAN GENERAL NOTES

1. SEE SPECIFICATIONS FOR DETAILED INFORMATION.

2. SEE A201-2017 FOR GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION. 3. SEE SHEET A000 FOR TYPICAL NOTES, SYMBOLS, ACCESSIBILITY MOUNTING STANDARDS, AND ABBREVIATIONS. SEE SHEET T002 FOR CODE SUMMARY

INFORMATION. 4. SEE SHEET A900 FOR PARTITION TYPES AND SCHEDULES.

5. CONTRACTOR TO COORDINATE CONSTRUCTION WITH ALL TRADES PRIOR TO COMMENCEMENT OF WORK. 6. CONTRACTOR RESPONSIBLE FOR REPAIRING, PATCHING, AND REPLACING DAMAGE

FINISH OF EXISTING CONDITIONS DAMAGED BY NEW WORK TO MATCH ADJACENT 7. INTERIOR DIMENSIONS ARE TAKEN TO THE FACE OF EXISTING WALLS, NEW

DUE TO CONSTRUCTION OR TO INSTALLATIONS BY TRADES. REPAIR, PATCH, AND

CONSTRUCTION, AND EQUIPMENT U.N.O. 8. EXTERIOR DIMENSIONS ARE TAKEN FROM FACE OF SHEATHING OR MASONRY U.N.O. SEE WALLS SECTIONS AND DETAILS FOR MORE INFORMATION.

10. CONTRACTOR TO FIELD VERIFY DIMENSIONS AND CONNECTION POINTS PRIOR TO COMMENCEMENT OF NEW CONSTRUCTION. IN CASE OF CONFLICT, CONTRACTOR TO NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.

11. ALL ITEMS TO BE SUPPLIED AND INSTALLED BY CONTRACTOR UNLESS SPECIFICALLY LISTED AS "N.I.C." OR "BY OTHERS".

12. COORDINATE SEQUENCE OF WORK TO PROTECT ADJACENT SPACES FROM CONSTRUCTION ZONE. PROVIDE BARRIER SEPARATIONS AS REQUIRED AND DIRECTED BY GENERAL CONTRACTOR AND OWNER.

9. SET DOORS 6" FROM ADJACENT PARTITIONS U.N.O.

13. PROVIDE AND INSTALL ADEQUATE SOLID FIRE RETARDANT WOOD BLOCKING AT ALL EXISTING AND NEW PARTITIONS TO RECEIVE MILLWORK, SHELVING, WALL MOUNTED EQUIPMENT, PLUMBING ACCESSORIES, ETC. BLOCKING TO COMPLY WITH AWPA U1 AND ASTM E84 REQUIREMENTS.

14. MAINTAIN FIRE RATING OF CONSTRUCTION WHERE ANY ITEMS ARE BUILT INTO CONSTRUCTION. FIRE STOP AND SEAL PENETRATIONS IN FIRE RATED CONSTRUCTION IN ACCORDANCE TO APPLICABLE U.L. ASSEMBLY RATING.

15. CLEARLY MARK LOCATION AND EXTENT OF CUTTING AND PATCHING PRIOR TO COMMENCEMENT OF WORK.

16. CONTRACTOR TO CHOP, TRENCH, OR CORE SLAB AS REQUIRED. FILL AND PATCH SLAB TO ACCOMMODATE ALL UNDERGROUND UTILITIES SUCH AS SANITARY, STORM, DOMESTIC WATER LINES, ELECTRICAL CONDUIT, SPRINKLER MAINS, ETC. CONTRACTOR TO VERIFY IF SLAB IS STRUCTURAL. IF SO, DO NOT COMMENCE ANY CUTTING UNTIL APPROVAL IS OBTAINED FROM ARCHITECT.

17. PIPES, DUCTS, ETC. IN THAT WOULD OTHERWISE BE VISIBLE IN FINISHED SPACES TO BE CONCEALED WITH FURRING OR CEILINGS U.N.O.

18. CONTRACTOR TO COORDINATE LOCATIONS OF PLUMBING CLEAN-OUT ACCESS PANELS NOTED ON PLUMBING DRAWINGS WITH NEW CONSTRUCTION. 19. REFER TO STRUCTURAL AND MEP/FP DRAWINGS AND SPECIFICATIONS FOR MORE

INFORMATION. 20. WALL TYPES TO BE **[WALL TAG]** UNLESS OTHERWISE NOTED.

CONSTRUCTION PLAN LEGEND

EXISTING CONSTRUCTION NEW CONSTRUCTION

EXISTING DOOR AND FRAME

NOT IN SCOPE OF WORK

NEW DOOR AND FRAME

CONSTRUCTION PLAN KEY NOTES DESCRIPTION

ARCHITECTURE PLANNING INTERIORS LANDSCAPE ARCHITECTURE GRAPHICS

⊺ 410.384.4244 BALTIMORE, MD

ci-designinc.com

1000 LANCASTER STREET

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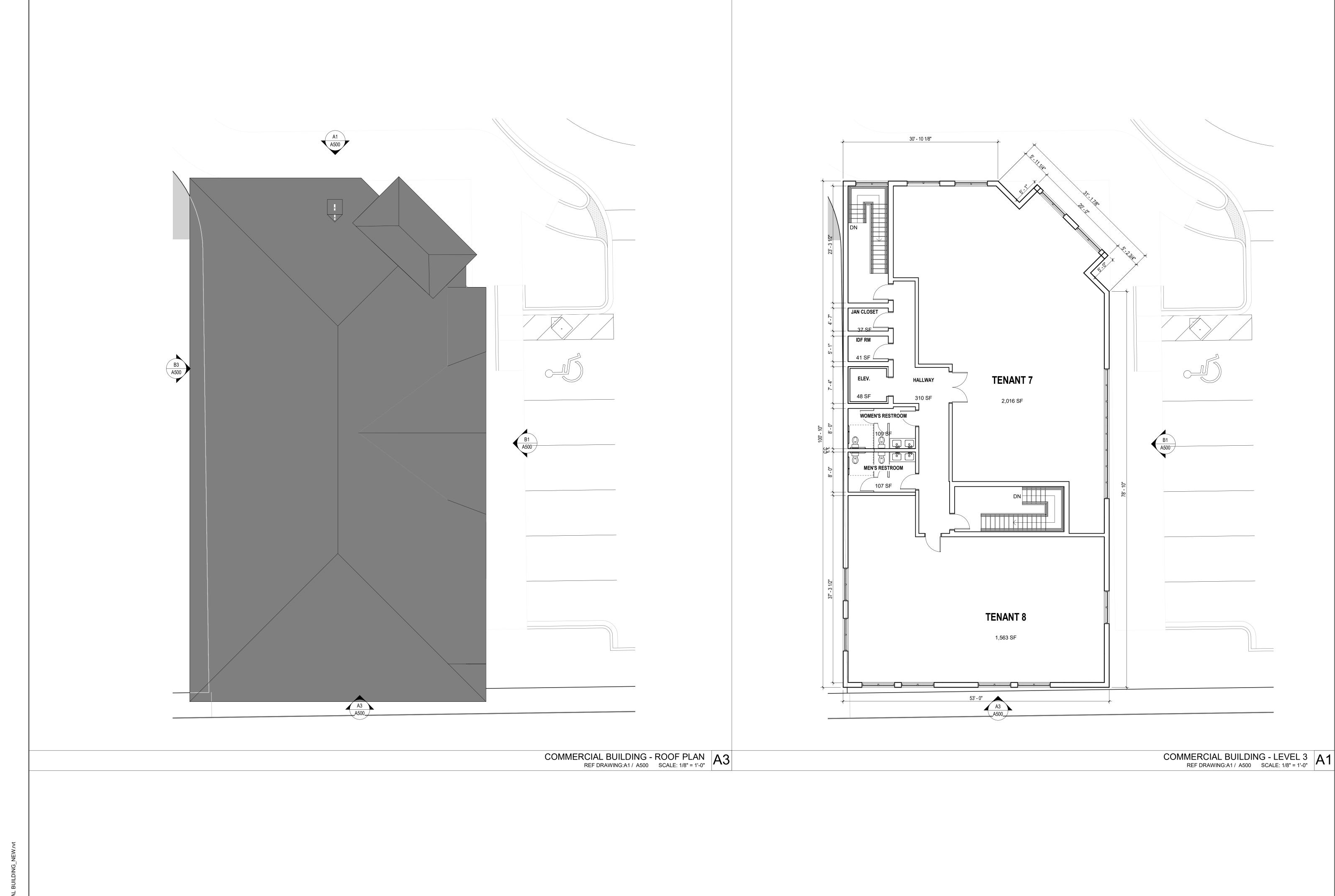
HARTT C BUILDING W NEWBERRY PR

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CHECKED BY: Checker PROJECT NUMBER: P201074

FLOOR PLAN

A100



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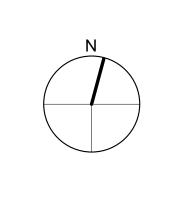
CONSTRUCTION PLAN KEY NOTES

T **410.384.4244** BALTIMORE, MD 1000 LANCASTER STREET ci-designinc.com

THE SANDS COMPANIES

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DESCRIPTION

HARTT C BUILDIN

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FLOOR PLAN

A101

