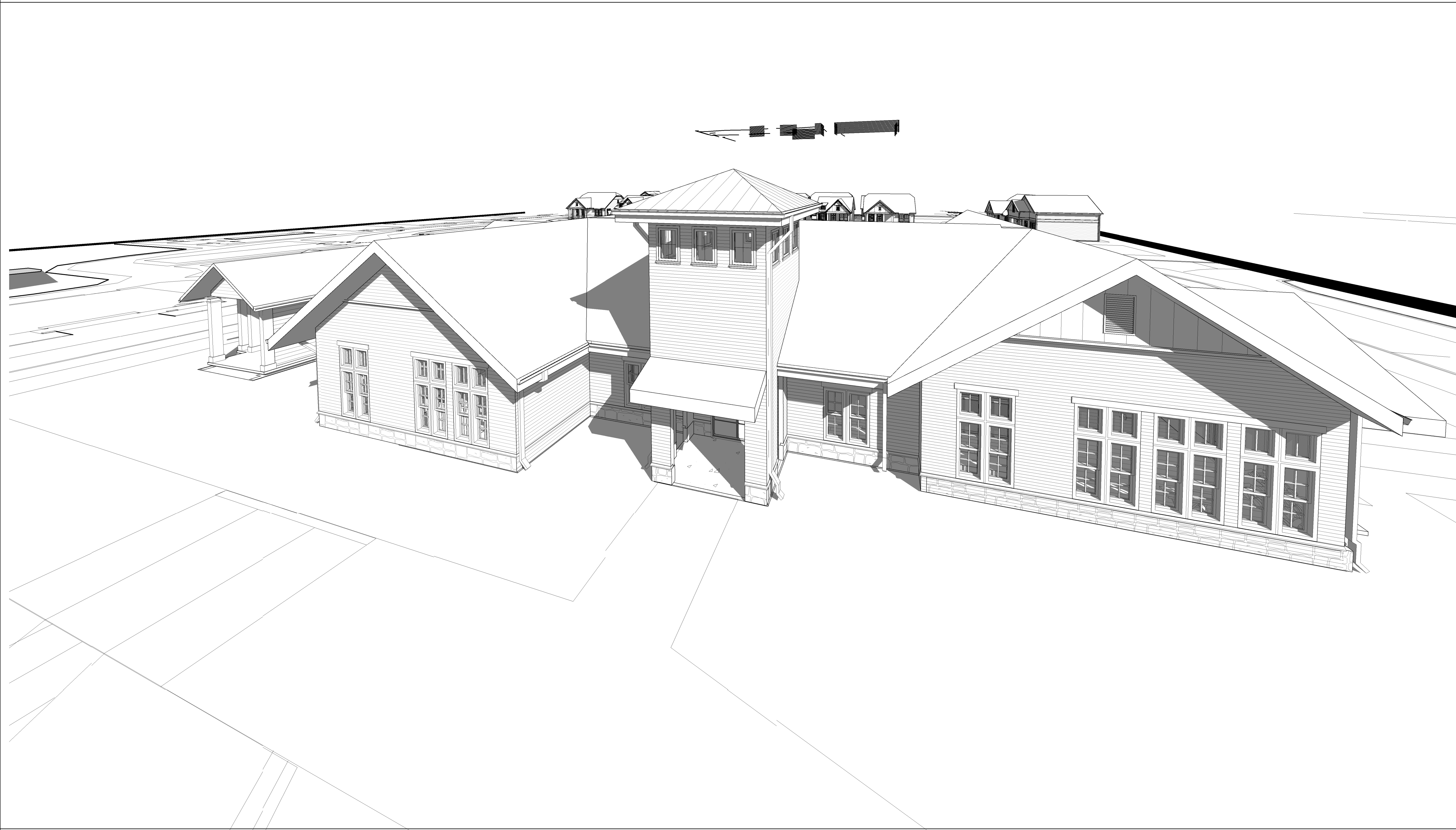


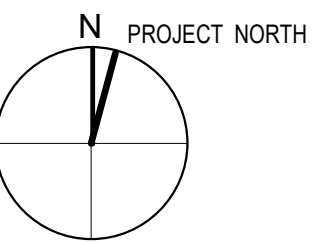
HARTT COTTAGES CLUBHOUSE

W NEWBERRY RD, GAINESVILLE, FL 32669



INDEX OF DRAWINGS

Sheet Number	Sheet Name	Revision Issue 01	Revision Issue 02	Revision Issue 03	Revision Issue 04
T0000	COVER				
T0001	GENERAL NOTES				
T0002	CODE SUMMARY 2018				
A000	ARCHITECTURAL NOTES, SYMBOLS, MOUNTING HEIGHTS & ABBREVIATIONS				
A001	ARCHITECTURAL SITE PLAN				
A008	ACCESSIBILITY STANDARD				
A009	ACCESSIBILITY STANDARDS				
A010	INTERIOR SIGNAGE AND OTHER INFORMATION				
A100	SLAB EDGE				
A101	1ST FLOOR CONSTRUCTION PLAN				
A102	ROOF PLAN				
A200	REFLECTED CEILING PLAN				
A201	EXTERIOR ELEVATIONS & SECTIONS				
A202	RCP				
A203	PARTIAL CEILING PLAN & SECTIONS				
A204	PARTIAL CEILING PLANS & SECTIONS				
A300	FINISH PLAN				
A301	WALL SECTIONS				
A302	FURNITURE PLAN				
A401	RESTROOM PLANS, ELEVATIONS & PLUMBING SCHEDULE				
A402	INTERIOR ELEVATION				
A403	INTERIOR ELEVATIONS				
A501	PLAN & SECTION DETAILS				
A601	DOOR SCHEDULE AND DETAILS				
A602	WINDOW SCHEDULES AND DETAILS				
A920	FINISH SCHEDULES & DETAILS				
S002	GENERAL NOTES				
S005	MASTER SUBMITAL				
S020	STRUCTURAL LOADING				
S101	COTTAGES CLUBHOUSE- FOUNDATION PLAN				
S102	COTTAGES CLUBHOUSE- ROOF FRAMING PLAN				
S102H	HIGH ROOF FRAMING PLAN				
S103	COTTAGES CLUBHOUSE - LATERAL BRACING PLAN				
S104	POOL STORAGE, RESTROOMS & MAIL KIOSK PLANS				
S105	POOL STORAGE, RESTROOMS & MAIL KIOSK LATERAL BRACING PLANS				
S106	CABANNA PLANS				
S107	PAVILION PLAN				
S108	STORAGE UNITS- FOUNDATION PLANS				
S109	STORAGE UNITS- ROOF FRAMING PLANS				
S110	STORAGE UNITS- LATERAL BRACING PLANS				
S111	MAINTENANCE SHED & TRASH COMPACTOR PLANS				
S112	MAINTENANCE SHED LATERAL BRACING PLAN				
S301	FOUNDATION SECTION AND DETAILS				
S302	FOUNDATION SECTION AND DETAILS				
S401	TYPE V WOOD FRAMING SECTIONS AND DETAILS				
S490	WOOD ROOF FRAMING SECTION AND DETAILS				
S491	WOOD ROOF FRAMING SECTION AND DETAILS				
S492	WOOD ROOF FRAMING SECTION AND DETAILS				
S500A	WOOD WALL SCHEDULE AND DETAILS				
S500B	WOOD WALL SCHEDULE AND DETAILS				
S500C	WOOD WALL SCHEDULE AND DETAILS				
S500D	WOOD WALL SCHEDULE AND DETAILS				
S600A	WOOD SCHEDULE AND DETAILS- LATERAL				
S600B	WOOD SCHEDULE AND DETAILS - LATERAL				
S600G	WOOD SCHEDULE AND DETAILS - LATERAL Copy 1				
P201	PLUMBING CLUBHOUSE PLAN				
P001	PLUMBING NOTES, LEGEND, & SCHEDULE				
M001	MECHANICAL NOTES, LEGEND, & SCHEDULE				
M002	MECHANICAL DETAILS				
E001	ELECTRICAL LEGEND, NOTES AND SCHEDULE				
E201	ELECTRICAL CLUBHOUSE PLANS				



HARTT COTTAGES CLUBHOUSE

W NEWBERRY RD, GAINESVILLE, FL 32669

CLIENT: THE SANDS COMPANIES

PROJECT TEAM

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MYRTLE BEACH, SOUTH CAROLINA 29572

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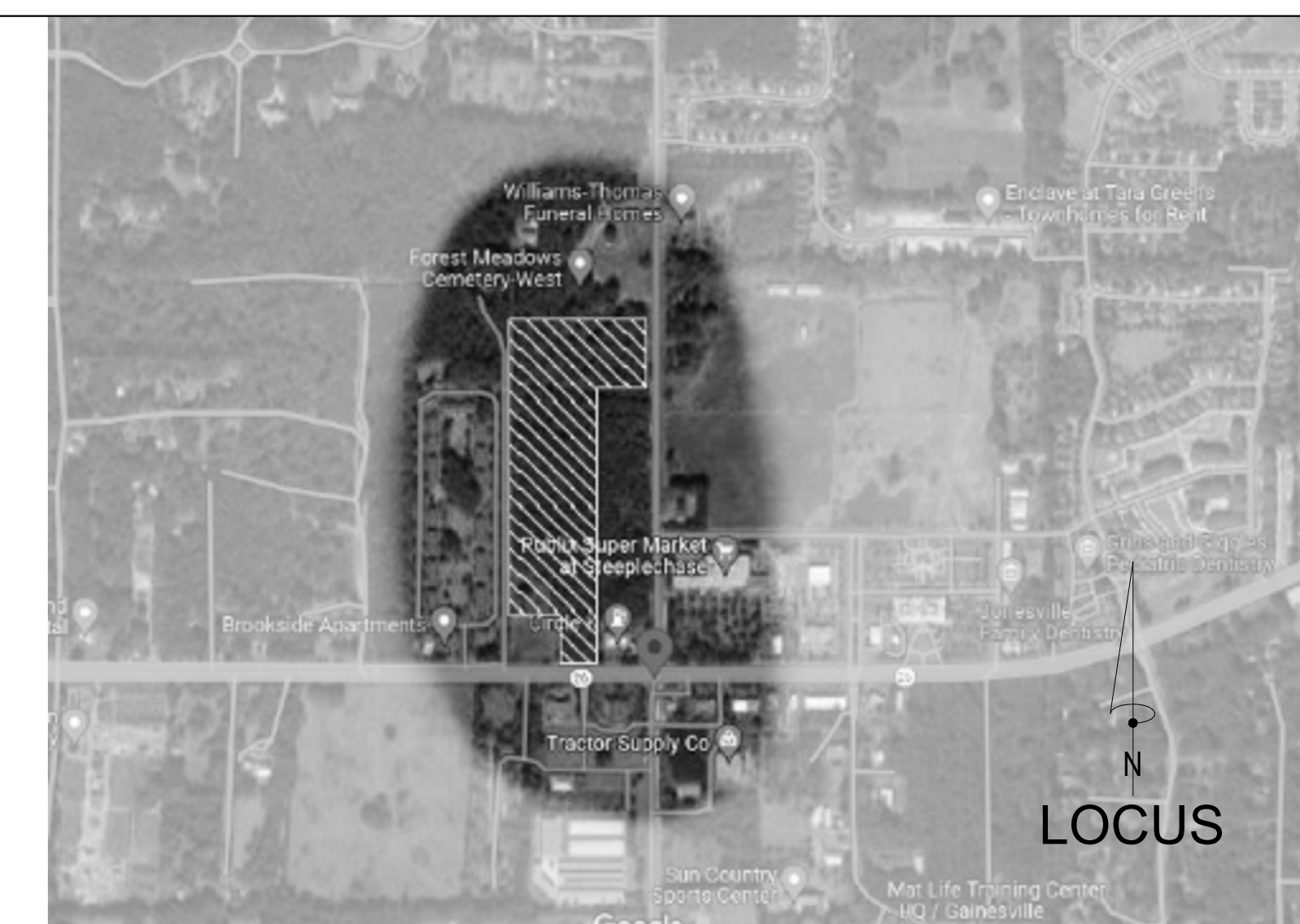
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LOCUS PLAN



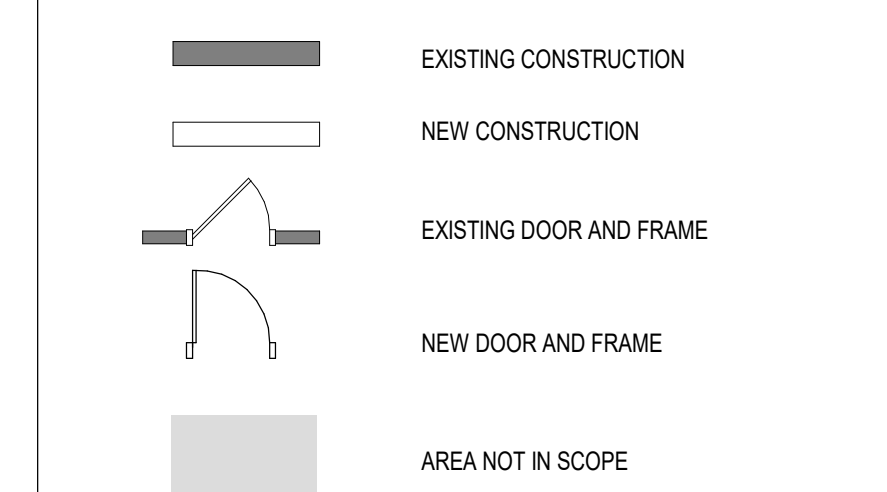
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PROJECT NUMBER:	P201074	
SHEET TITLE:	COVER	

SHEET NUMBER:
T0000

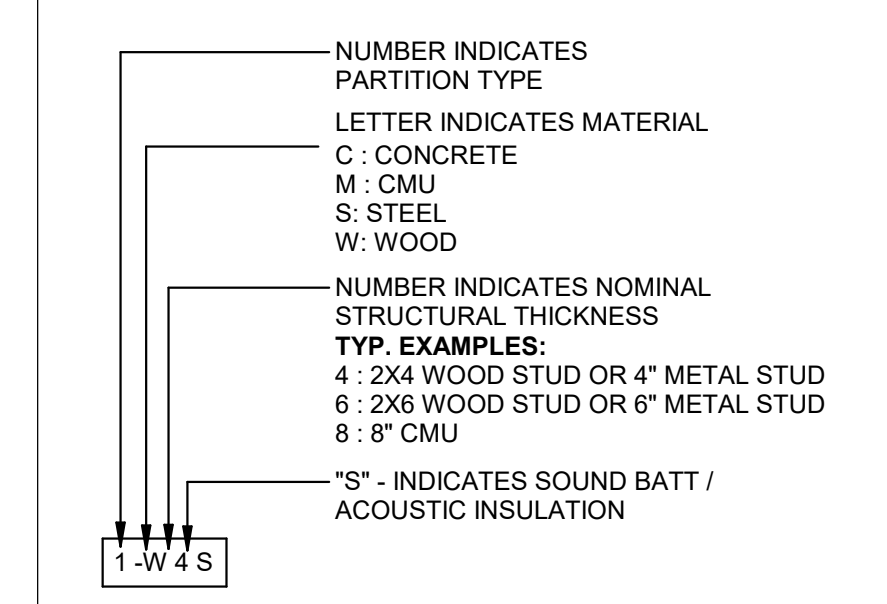
CONSTRUCTION PLAN GENERAL NOTES

- SEE SPECIFICATIONS FOR DETAILED INFORMATION.
- SEE A201-2017 FOR GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION.
- SEE SHEET A400 FOR TYPICAL NOTES, SYMBOLS, ACCESSIBILITY MOUNTING STANDARDS, AND ABBREVIATIONS. SEE SHEET T02 FOR CODE SUMMARY INFORMATION.
- SEE SHEET A800 FOR PARTITION TYPES AND SCHEDULES.
- CONTRACTOR TO COORDINATE CONSTRUCTION WITH ALL TRADES PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR RESPONSIBLE FOR REPAIRING, PATCHING, AND REPLACING DAMAGE DUE TO CONSTRUCTION OR TO INSTALLATIONS BY TRADES. REPAIR, PATCH, AND FINISH OF EXISTING CONDITIONS DAMAGED BY NEW WORK TO MATCH ADJACENT WORK.
- INTERIOR DIMENSIONS ARE TAKEN TO THE FACE OF EXISTING WALLS, NEW CONSTRUCTION, AND EQUIPMENT U.N.O.
- EXTERIOR DIMENSIONS ARE TAKEN FROM FACE OF SHEATHING OR MASONRY U.N.O. SEE WALL SECTIONS AND DETAILS FOR MORE INFORMATION.
- SET DOORS 6" FROM ADJACENT PARTITIONS U.N.O.
- CONTRACTOR TO FIELD VERIFY DIMENSIONS AND CONNECTION POINTS PRIOR TO COMMENCEMENT OF NEW CONSTRUCTION. IN CASE OF CONFLICT, CONTRACTOR TO NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- ALL ITEMS TO BE SUPPLIED AND INSTALLED BY CONTRACTOR UNLESS SPECIFICALLY LISTED AS "I.C." OR "BY OTHERS".
- COORDINATE SEQUENCE OF WORK TO PROTECT ADJACENT SPACES FROM CONSTRUCTION. PROVIDE BARRIER SEPARATIONS AS REQUIRED AND DIRECTED BY GENERAL CONTRACTOR AND OWNER.
- PROVIDE AND INSTALL ADEQUATE SOLID FIRE RETARDANT WOOD BLOCKING AT ALL EXISTING AND NEW PARTITIONS TO RECEIVE MILLWORK, SHELVING, WALL MOUNTED EQUIPMENT, PLUMBING ACCESSORIES, ETC. BLOCKING TO COMPLY WITH AFWA U1 AND ASTM E84 REQUIREMENTS.
- MAINTAIN FIRE RATING OF CONSTRUCTION WHERE ANY ITEMS ARE BUILT INTO CONSTRUCTION. FIRE STOP AND SEAL PENETRATIONS IN FIRE RATED CONSTRUCTION IN ACCORDANCE TO APPLICABLE U.L. ASSEMBLY RATING.
- CLEARLY MARK LOCATION AND EXTENT OF CUTTING AND PATCHING PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR TO CHOP, TRENCH, OR CORE SLAB AS REQUIRED. FILL AND PATCH SLAB TO ACCOMMODATE ALL UNDERGROUND UTILITIES SUCH AS SANITARY, STORM, DOMESTIC WATER LINES, ELECTRICAL CONDUIT, SPRINKLER MAINS, ETC. CONTRACTOR TO VERIFY IF SLAB IS STRUCTURAL. IF SO, DO NOT COMMENCE ANY CUTTING UNTIL APPROVAL IS OBTAINED FROM ARCHITECT.
- PIPES, DUCTS, ETC. IN THAT WOULD OTHERWISE BE VISIBLE IN FINISHED SPACES TO BE CONCEALED WITH FURRING OR CEILING U.N.O.
- CONTRACTOR TO COORDINATE LOCATIONS OF PLUMBING CLEAN-OUT ACCESS PANELS NOTED ON PLUMBING DRAWINGS WITH NEW CONSTRUCTION.
- REFER TO STRUCTURAL AND MEPFP DRAWINGS AND SPECIFICATIONS FOR MORE INFORMATION.
- WALL TYPES TO BE [WALL TAG] UNLESS OTHERWISE NOTED.

CONSTRUCTION PLAN LEGEND



PARTITION TYPE SYMBOL LEGEND

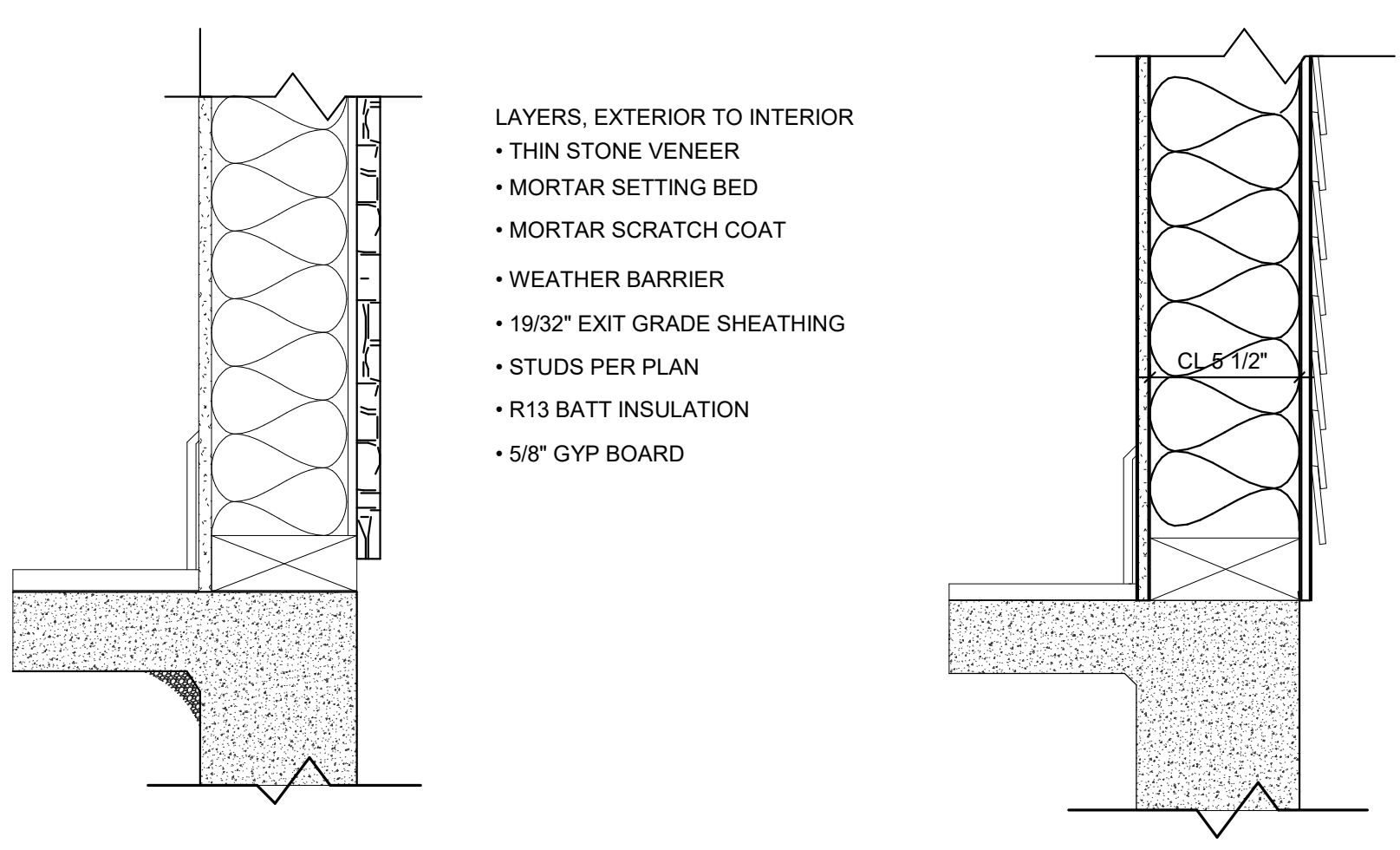


GENERAL NOTES

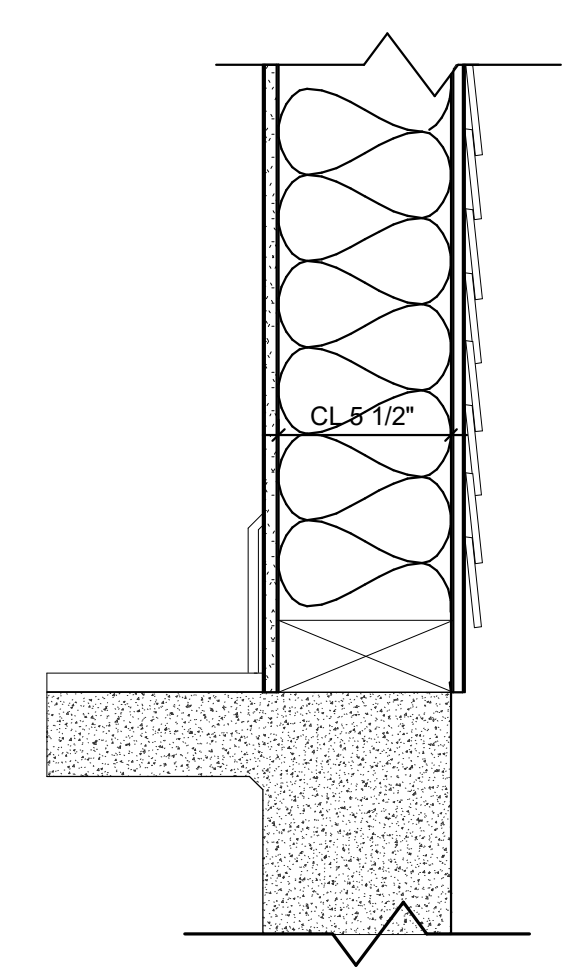
- PARTITIONS AND FURRING ARE DIMENSIONED TO THE FACE OF FINISHED WALL, U.N.O.
- PARTITION TYPE INDICATIONS ARE INDEPENDENT OF APPLIED FINISHES. SEE FINISH SCHEDULE AND / OR SPECIFICATIONS FOR MORE INFORMATION REGARDING APPLIED FINISHES.
- WHERE PARTITION TYPES ARE INTERRUPTED BY DOOR OPENINGS, GLAZED PARTITION, ETC. CONSTRUCTION ABOVE INTERRUPTION (AND WHERE APPLICABLE BELOW) IS TO BE THE SAME AS DESIGNATION FOR THE PARTITION IN WHICH THE INTERRUPTION OCCURS.
- THE MINIMUM REQUIREMENTS FOR CONSTRUCTION OF EACH PARTITION TYPE ARE INDICATED AS SHOWN, ADDITIONAL AND / OR MORE RESTRICTIVE REQUIREMENTS MAY BE INDICATED BY THE SPECIFICATIONS AND STRUCTURAL DRAWINGS. SUCH REQUIREMENTS INCLUDE BUT ARE NOT LIMITED TO USE OF 5/8" GYP BOARD THROUGHOUT, 16" O.C. MAX. STUD SPACING U.N.O. INDICATED STUD DEPTH.
- INSTALL ONE LAYER OF 5/8" MOISTURE AND MOLD RESISTANT GYPSUM BOARD (WHERE GWB OCCURS) ON BASIC PARTITIONS AT THE FOLLOWING LOCATIONS:
A. AT WET LOCATIONS.
B. WITHIN 2 FEET HORIZONTALLY AND 4 FEET VERTICALLY OF JANITOR SINK.
C. AT OTHER LOCATIONS INDICATED ON ARCHITECTURAL PLANS.
- INSTALL ONE LAYER OF CEMENT BACKER BOARD IN LEV OF GYPSUM BOARD ON BASIC PARTITIONS WHERE THERE IS NO FIRE RATING AND OVER FACE OF GYPSUM BOARD AT FIRE RATED PARTITIONS AT THE FOLLOWING LOCATIONS:
A. AT WET LOCATIONS.
B. WHERE CERAMIC TILE FINISHES ARE INDICATED ON FINISH PLANS AND / OR INTERIOR ELEVATIONS.
C. AT OTHER LOCATIONS AS INDICATED ON ARCHITECTURAL PLANS.
- COORDINATE ALL LIGHT GAUGE STEEL STUDS, BRACING, AND ANCHORING SYSTEMS WITH STRUCTURAL DRAWINGS AND SPECS.
- COORDINATE FIRESTOP TRACKS AND FIRE RESISTIVE JOINT SYSTEMS WITH U.L. RATINGS AND SPECS FOR ALL RATED PARTITIONS.
- PROVIDE ADJUSTABLE JOINT SEALANT FOR ALL STC RATED PARTITIONS. COORDINATE CONSTRUCTION WITH SPECIFICATIONS.
- PROVIDE SLIP TYPE HEAD JOINT, PERIMETER RELIEF AT EVERY HEAD OF WALL CONNECTION, U.N.O.

CONSTRUCTION KEY NOTES

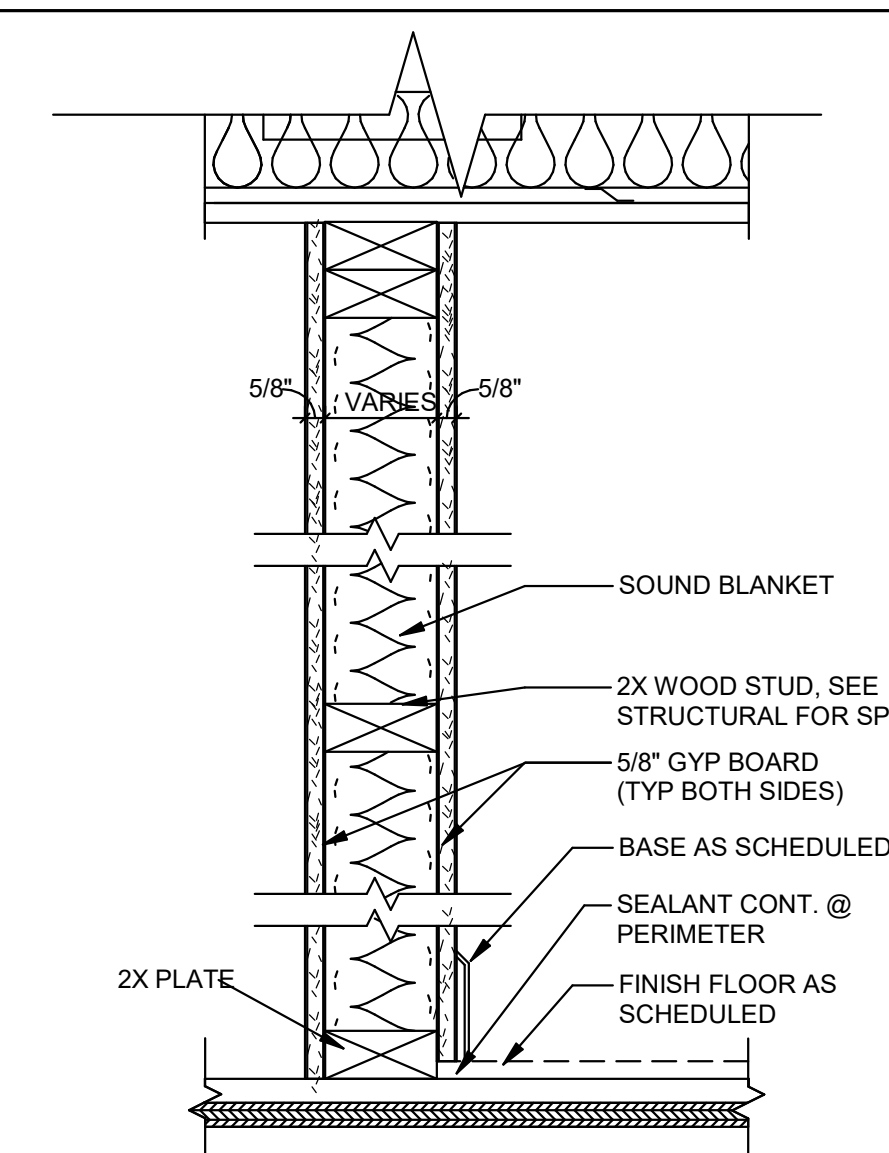
TAG	DESCRIPTION
C01	FURNISH & INSTALL SINK, FAUCET, AND ASSOCIATED PLUMBING. COORDINATE W/ MEP DRAWINGS TYP.
C03	FURNISH & INSTALL TOILET HANGER, FLUSH VALVE AND ASSOCIATED PLUMBING. COORDINATE W/ MEP DRAWINGS TYP.
C04	INSTALL ROPE WALL IN ACCORDANCE WITH MANUF. INSTRUCTIONS.
C05	INSTALL ROPE PARTITIONS IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS.
C06	INSTALL NEW GRAB BARS AND ALL RESTROOM ACCESSORIES IN ACCORDANCE WITH ACCESSIBILITY STANDARDS.
C07	SCREEN SYSTEM. REFER TO WALL SCHEDULE FOR DETAILS.



EX-3 EXTERIOR WALL-STONE CLAD

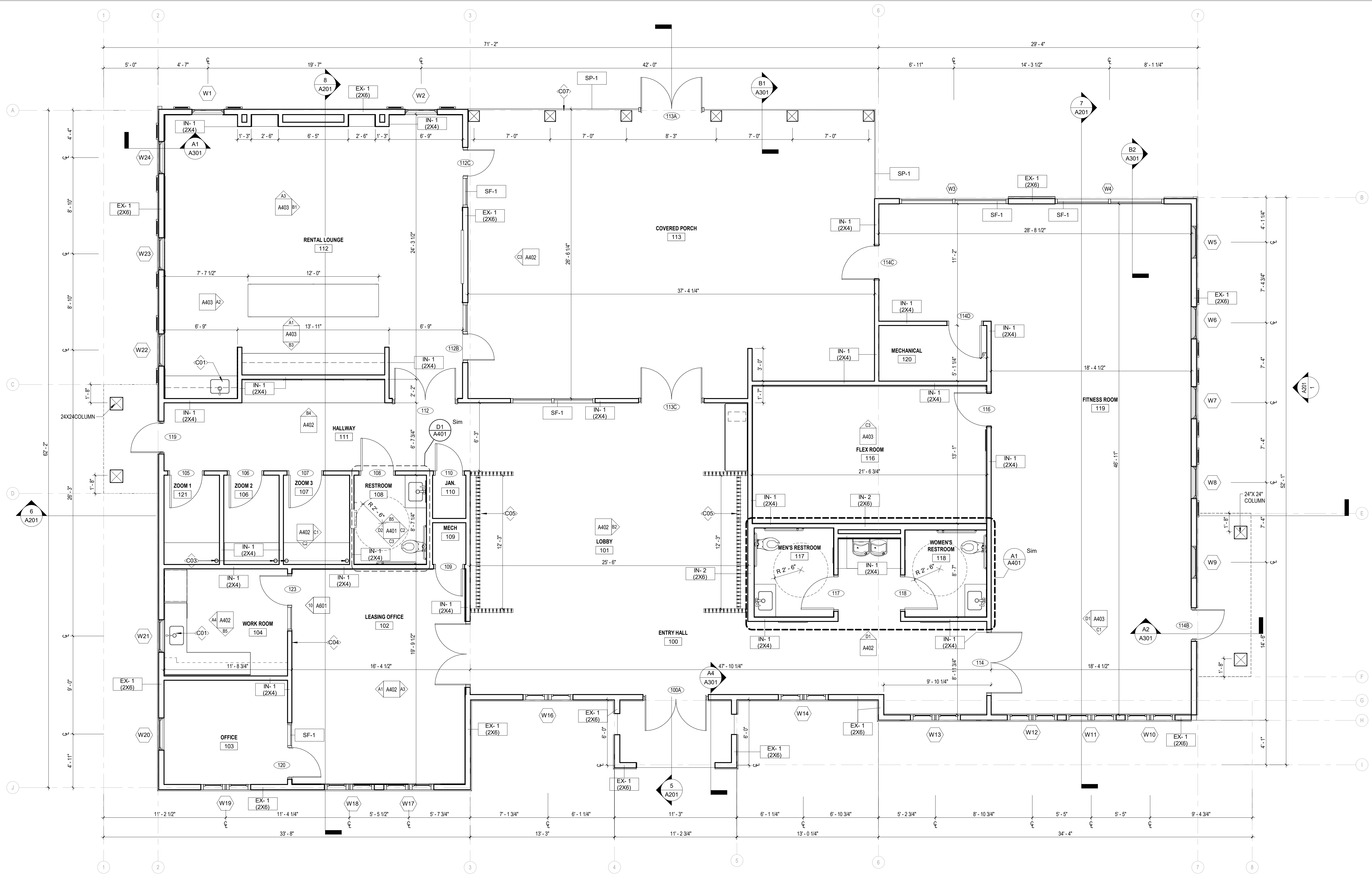


EX-1 EXTERIOR WALL-FIBER CEMENT PANEL



BASIC INTERIOR WALL

TYPE	STUD	INSULATION RATING (UL)	STC
1-W4	2 X 4		
1-W6	2 X 6		



1ST FLOOR CONSTRUCTION PLAN
REF DRAWING: / A201 SCALE: 1/4" = 1'-0"

Clubhouse - Ventilation Calculation						
Roof Vent Square Footage	Soffit Vent		Ridge Vents		Required	
	Req. Linear Ft.	Proposed Linear Ft.	Req. Linear Ft.	Proposed Linear Ft.	Exhaust NFVA sq. in.	Intake NFVA sq. in.
5980	287	324.9	287	324.9	2870	2870

ROOF PLAN GENERAL NOTES

- SEE SPECIFICATIONS FOR DETAILED INFORMATION.
- SEE A201-2017 FOR GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION.
- SEE SHEET A100 FOR TYPICAL NOTES, SYMBOLS, AND ABBREVIATIONS.
- CONTRACTOR TO COORDINATE CONSTRUCTION WITH ALL TRADES PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, PATCHING, AND REPLACING ANY DAMAGE DUE TO CONSTRUCTION OR INSTALLATION OF TRADES. REPAIR, PATCH, AND FINISH OF EXISTING CONDITIONS DAMAGED BY NEW WORK SHALL MATCH ADJACENT WORK.
- CONTRACTOR TO FIELD VERIFY DIMENSIONS AND CONNECTION POINTS PRIOR TO COMMENCEMENT OF NEW CONSTRUCTION. IN CASE OF CONFLICT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- ALL ITEMS TO BE SUPPLIED AND INSTALLED BY CONTRACTOR UNLESS SPECIFICALLY LISTED AS "I.I.C." OR "BY OTHERS".
- CLEARLY MARK LOCATION AND EXTENT OF CUTTING AND PATCHING PRIOR TO COMMENCEMENT OF WORK.
- ALL EQUIPMENT SHOWN ON ARCHITECTURAL ROOF PLAN IS PROVIDED FOR COORDINATION PURPOSES ONLY. REFER TO MECHANICAL AND PLUMBING DRAWINGS FOR FINAL LOCATIONS AND QUANTITIES.
- CONTRACTOR TO VERIFY ALL LOCATIONS OF ROOF TOP EQUIPMENT, MECHANICAL CURBS, ROOF PENETRATIONS, AND ROOF OPENING SIZES WITH STRUCTURAL AND MEPFP DRAWINGS.
- SEE STRUCTURAL DRAWINGS FOR ROOF FRAMING SUPPORT DETAILS.
- ALL ROOF PENETRATIONS FOR EQUIPMENT AND PIPING SHALL BE FULLY PACKED AND SEALED IN ACCORDANCE WITH APPLICABLE BUILDING AND FIRE CODES.
- ALL ROOF PENETRATIONS REQUIRE PRESSURE TREATED WOOD BLOCKING AT INSULATION EDGE AROUND ENTIRE PERIMETER OF OPENING FOR FLASHING ATTACHMENT.
- PROVIDE TAPERED RIGID INSULATION UNDER ROOFING AT ALL AREAS TO ENSURE PROPER DRAINAGE. MINIMUM SLOPE SHALL BE 1/4" PER FOOT U.N.O.



OWNER / CLIENT:
THE SANDS COMPANIES
9554 N. KINGS HIGHWAY, SUITE C-2 MYRTLE BEACH, SOUTH CAROLINA 29572

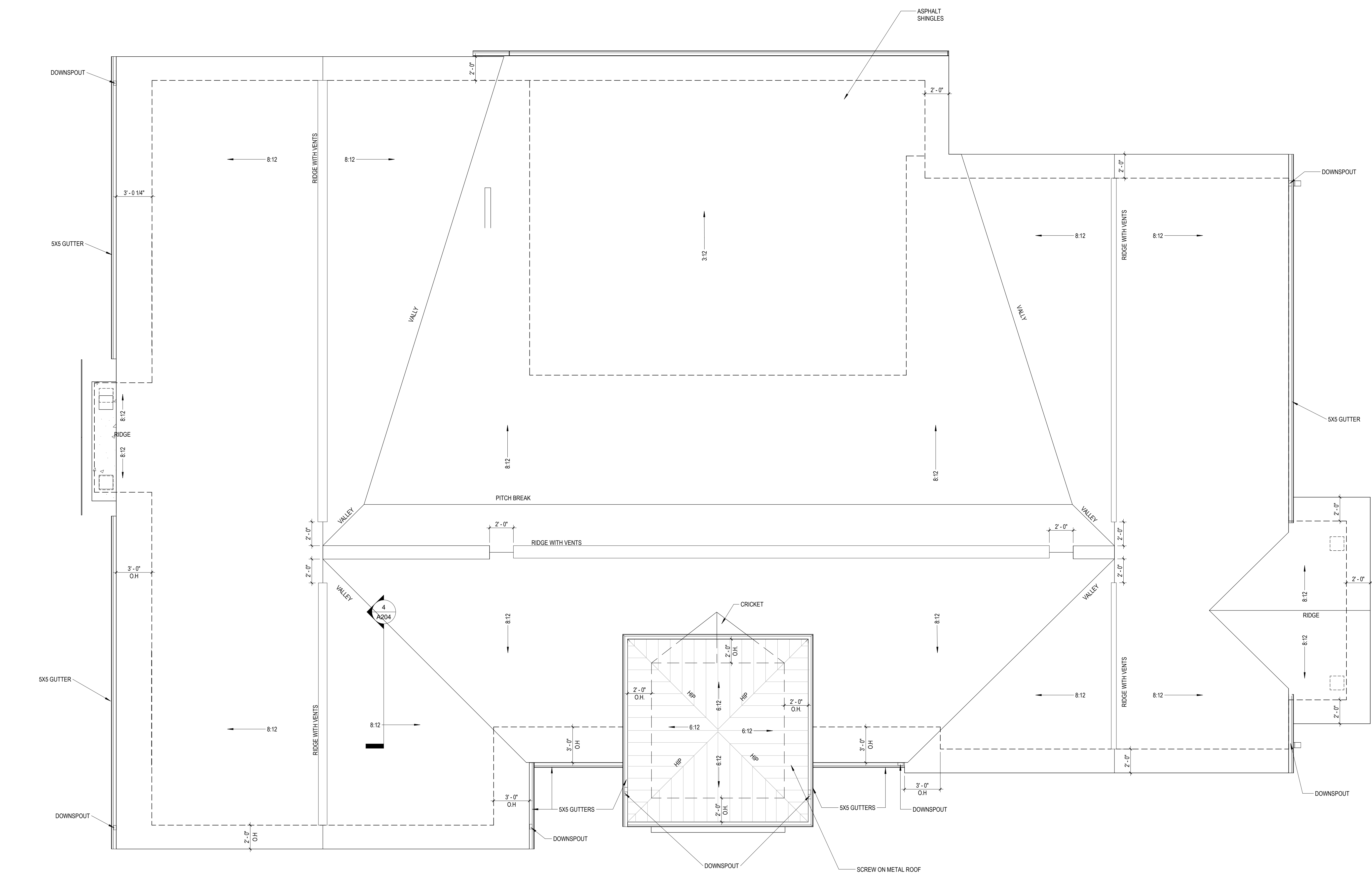
EM STRUCTURAL
4242 SIX FORKS RD. SUITE 880 RALEIGH, NC 27609

LIGHTHOUSE ENGINEERING
400 W MORGAN ST. SUITE 100 RALEIGH, NC 27603 919.855.9761

ROOF PLAN LEGEND

- ROOF DRAIN
- ROOF HATCH

ROOF PLAN KEY NOTES



ROOF NOTES:
EXHAUST VENTS (PLUMBING, HVAC OR OTHERWISE) SHALL BE GROUPED IN ATIC TO LIMIT THE NUMBER OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL BE HIDDEN FROM VIEW (LOCTED IN THE REAR, BEHIND DORMERS OR GABLES) & BE PAINTED TO MATCH ROOF COLOR.

REF DRAWING: 1 / A201
ROOF PLAN SCALE: 1/4" = 1'-0" **1**

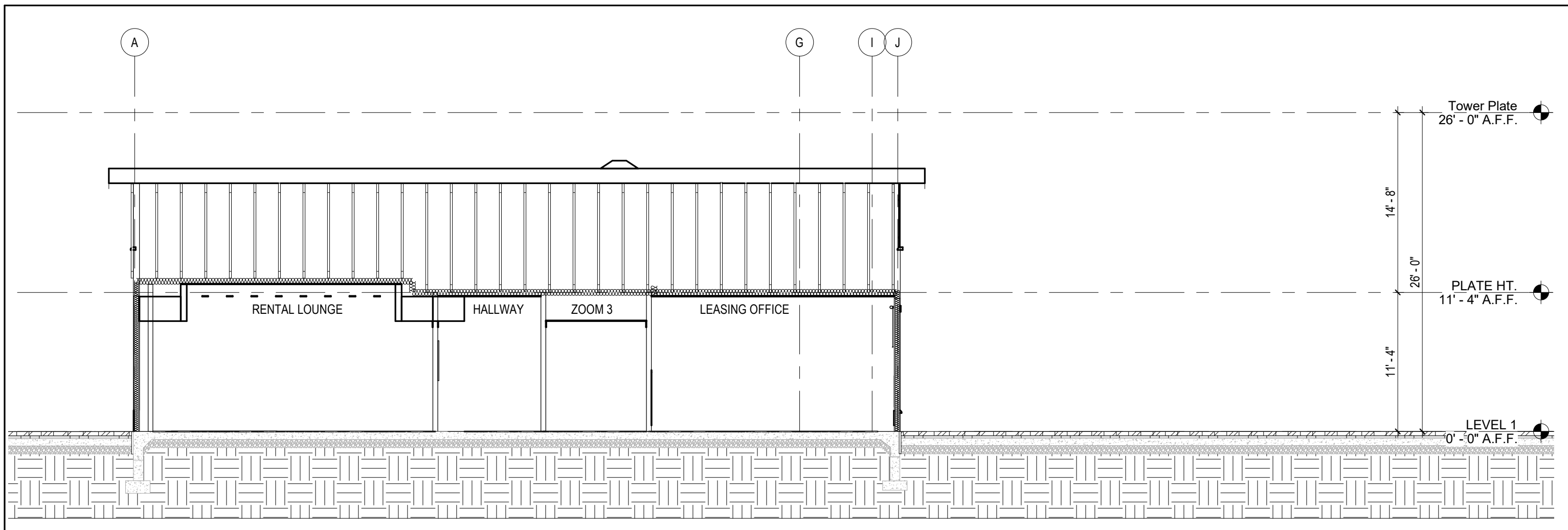
HARTT COTTAGES CLUBHOUSE

W NEWBERRY RD, GAINESVILLE, FL 32669
CLIENT: THE SANDS COMPANIES

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PROJECT NUMBER:	P201074	

SHEET TITLE:
ROOF PLAN

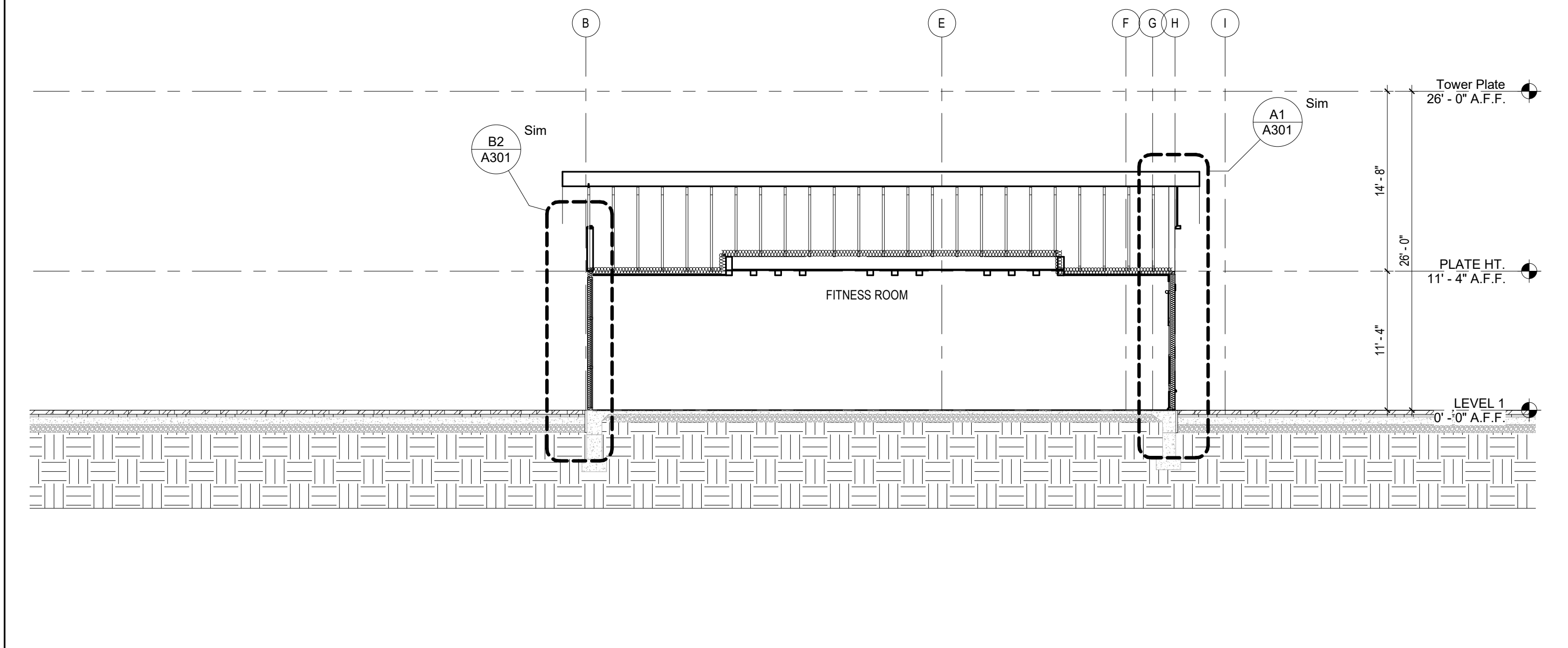
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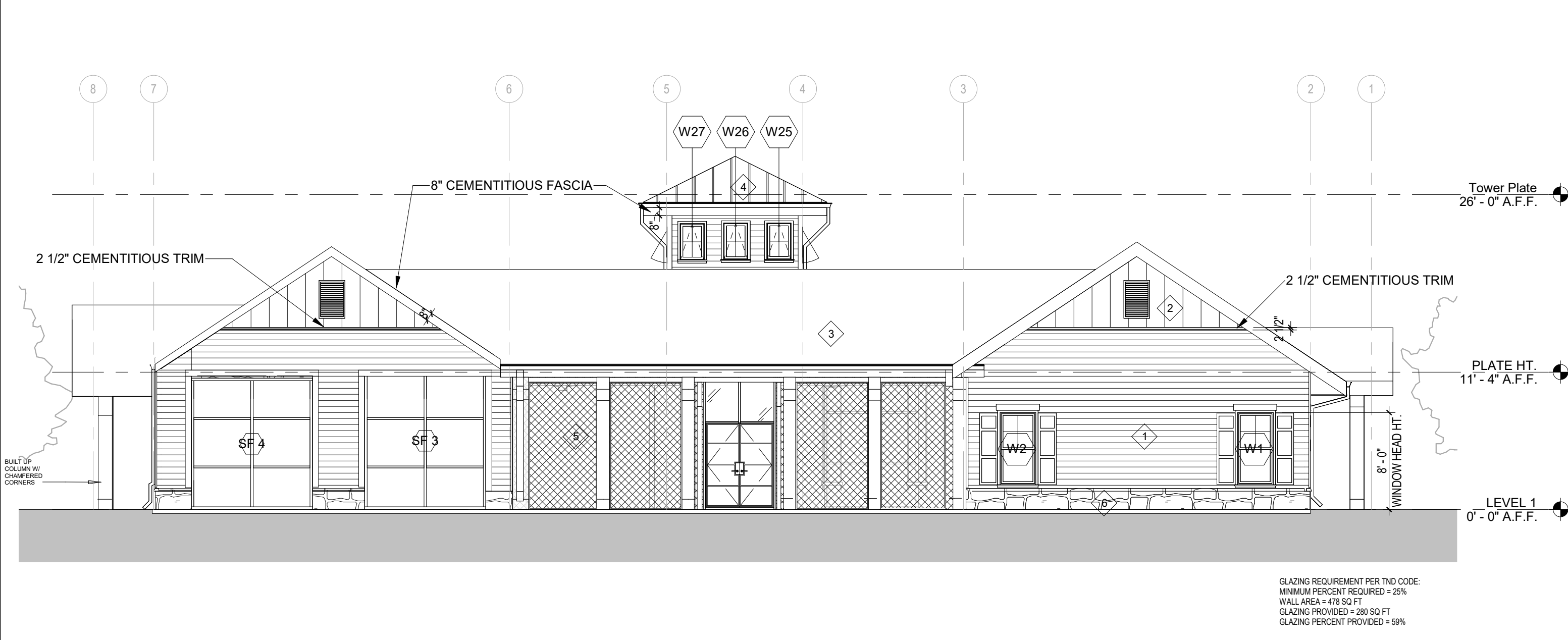
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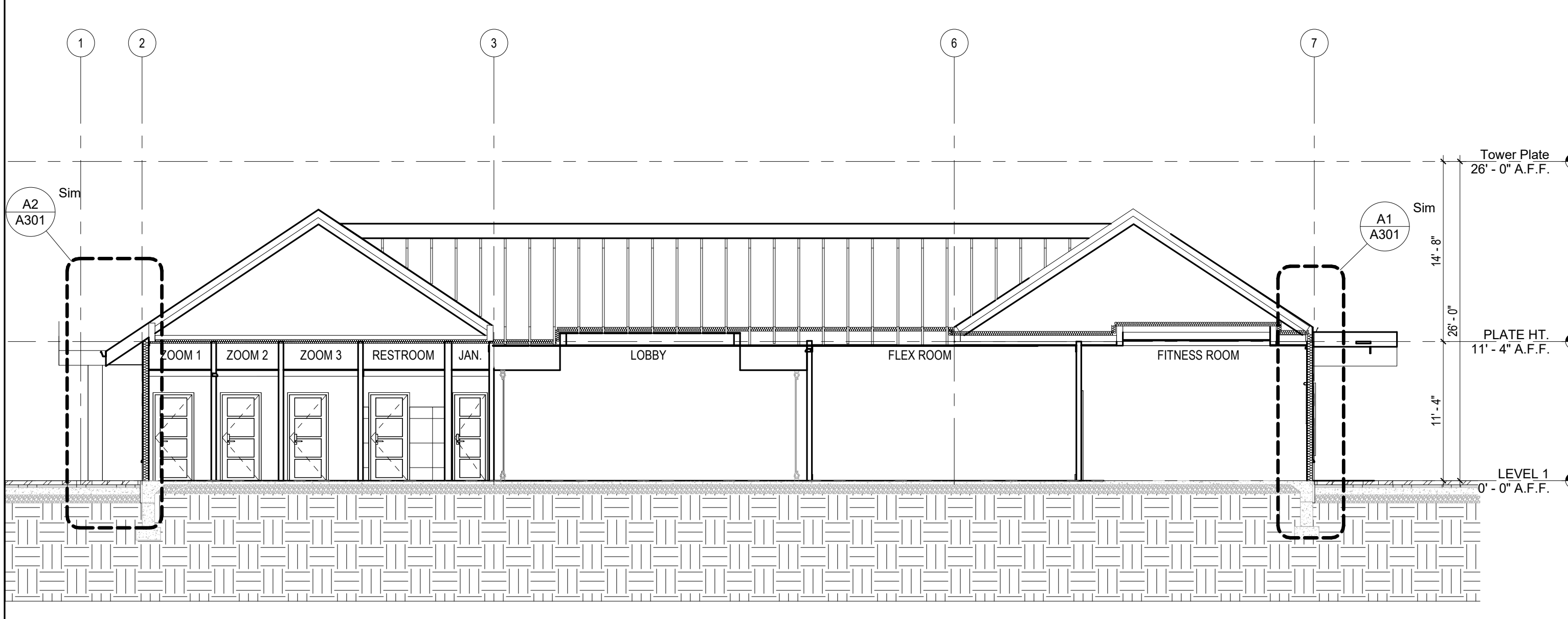
WEST ELEVATION
REF DRAWING: A1 / A001 SCALE: 1/8" = 1'-0"



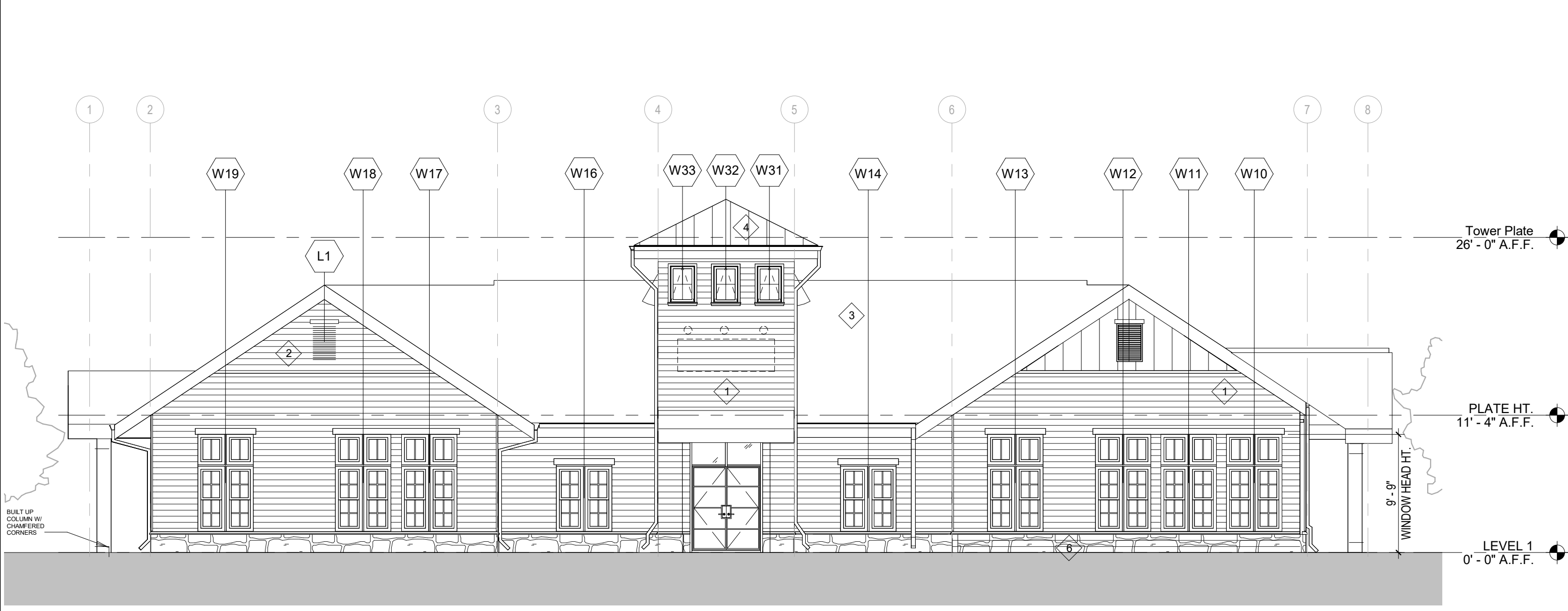
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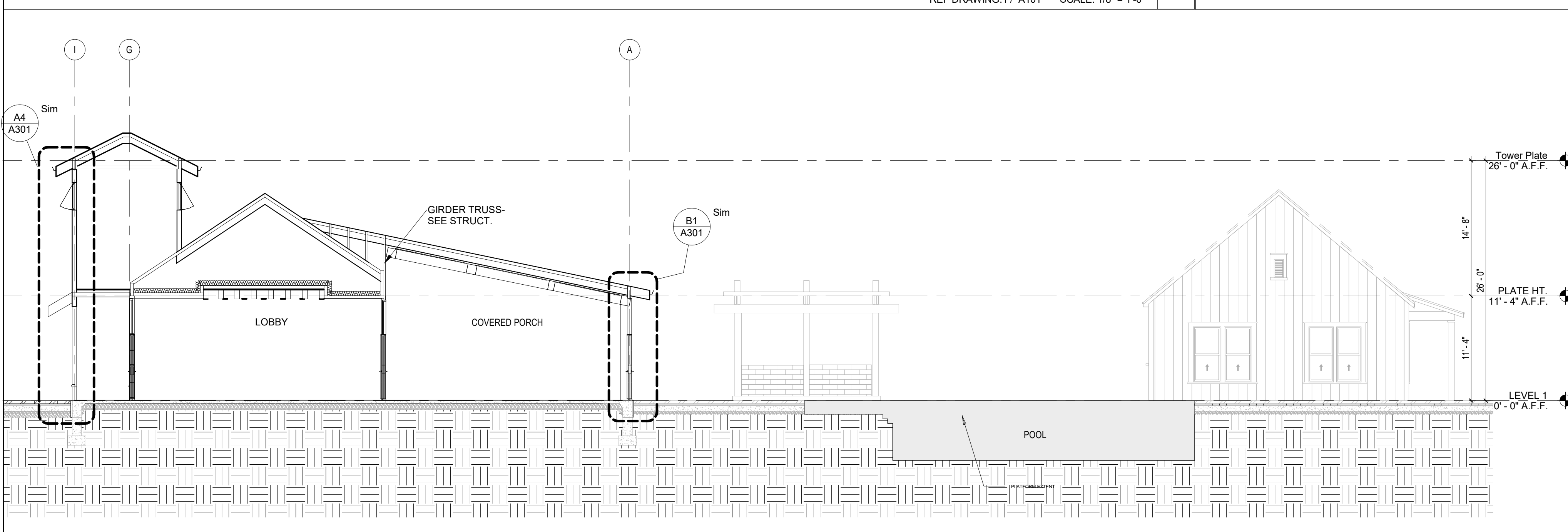
NORTH ELEVATION
REF DRAWING: A1 / A001 SCALE: 1/8" = 1'-0"



LONGITUDINAL SECTION
REF DRAWING: 1 / A101 SCALE: 1/8" = 1'-0"



SOUTH ELEVATION Front Entrance
REF DRAWING: A1 / A001 SCALE: 1/8" = 1'-0"



SITE SECTION
REF DRAWING: 1 / A101 SCALE: 1/8" = 1'-0"



EAST ELEVATION
REF DRAWING: A1 / A001 SCALE: 1/8" = 1'-0"

- ELEVATION GENERAL NOTES**
- SEE SPECIFICATIONS FOR DETAILED INFORMATION.
 - SEE A201-2017 FOR GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION.
 - SEE SHEET T001 FOR TYPICAL NOTES, SYMBOLS, ACCESSIBILITY MOUNTING STANDARDS, AND ABBREVIATIONS. SEE SHEET T002 FOR CODE SUMMARY INFORMATION.
 - CONTRACTOR TO COORDINATE CONSTRUCTION WITH ALL TRADES PRIOR TO COMMENCEMENT OF WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, PATCHING, AND REPLACING ANY DAMAGE DUE TO CONSTRUCTION OR INSTALLATION OF TRADES. REPAIR, PATCH, AND FINISH OF EXISTING CONDITIONS DAMAGED BY NEW WORK SHALL MATCH ADJACENT WORK.
 - EXTERIOR DIMENSIONS ARE TAKEN FROM FACE OF SHEATHING OR MASONRY U.N.O. SEE WALL SECTIONS AND DETAILS FOR MORE INFORMATION.
 - CONTRACTOR TO FIELD VERIFY DIMENSIONS AND CONNECTION POINTS PRIOR TO COMMENCEMENT OF NEW CONSTRUCTION. IN CASE OF CONFLICT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
 - ALL ITEMS TO BE SUPPLIED AND INSTALLED BY CONTRACTOR UNLESS SPECIFICALLY LISTED AS "N.I.C." OR "BY OTHERS".
 - COORDINATE SEQUENCE OF WORK TO PROTECT ADJACENT SPACES FROM CONSTRUCTION ZONE. PROVIDE BARRIER SEPARATION AS REQUIRED AND DIRECTED BY GENERAL CONTRACTOR AND OWNER.
 - MAINTAIN FIRE RATINGS OF CONSTRUCTION WHERE ANY ITEMS ARE BUILT INTO CONSTRUCTION. ALL PENETRATIONS SHALL BE FIRE STOPPED AND SEALED IN ACCORDANCE TO APPLICABLE U.L. ASSEMBLY RATINGS.
 - REFER TO STRUCTURAL AND MEP/FP DRAWINGS AND SPECIFICATIONS FOR MORE INFORMATION.

- ELEVATION KEY NOTES**
- FIBER CEMENT SIDING W/ 7" REEL
 - FIBER CEMENT BOARD & BATTEN
 - ARCHITECTURAL SHINGLE
 - SCREW ON METAL ROOFING
 - SCREEN WALL
 - VENERED STONE

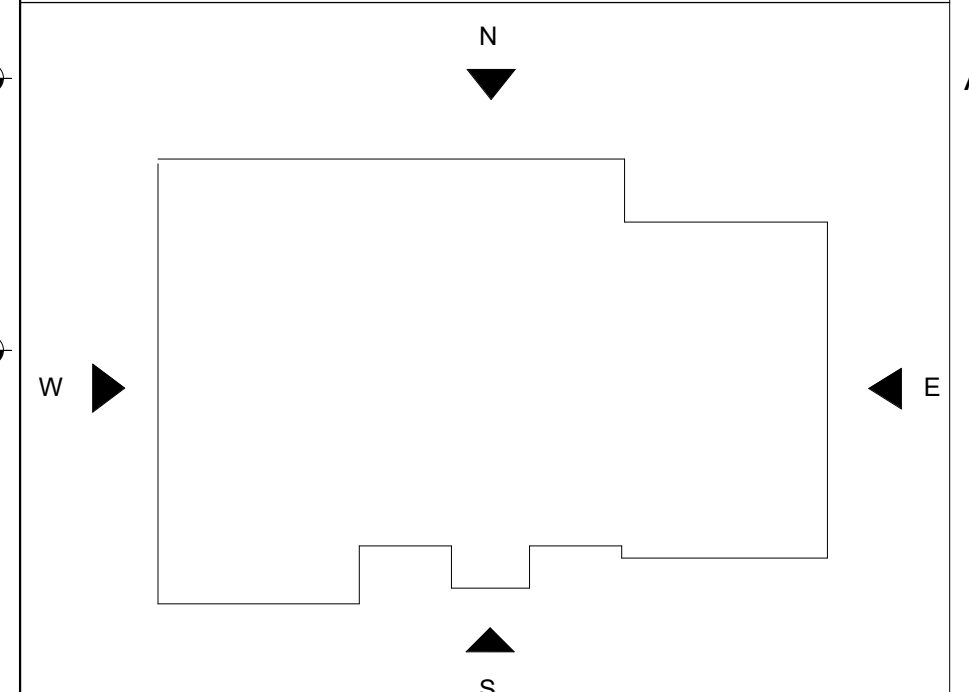
GLAZING REQUIREMENT PER TND CODE SEC. 407.68 (b)(4):
REQUIRED GLAZING ON HORIZONTAL LENGTH: 25%
PROPOSED WALL AREA: 1508 SQ. FT.
PROPOSED TOTAL GLAZING: 9%

GLAZING % BETWEEN 3' ABOVE GRADE AND 8' ABOVE GRADE:
WEST ELEVATION
WALL LEVEL 1: 30%
PROPOSED WALL LEVEL 1: 30%

NORTH ELEVATION
WALL LEVEL 1: 30%
PROPOSED WALL LEVEL 1: 59%

SOUTH ELEVATION
WALL LEVEL 1: 50%
PROPOSED WALL LEVEL 1: 47%

EAST ELEVATION
WALL LEVEL 1: 30%
PROPOSED WALL LEVEL 1: 31%



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PROJECT NUMBER:	P201074	

SHEET TITLE:
EXTERIOR ELEVATIONS & SECTIONS