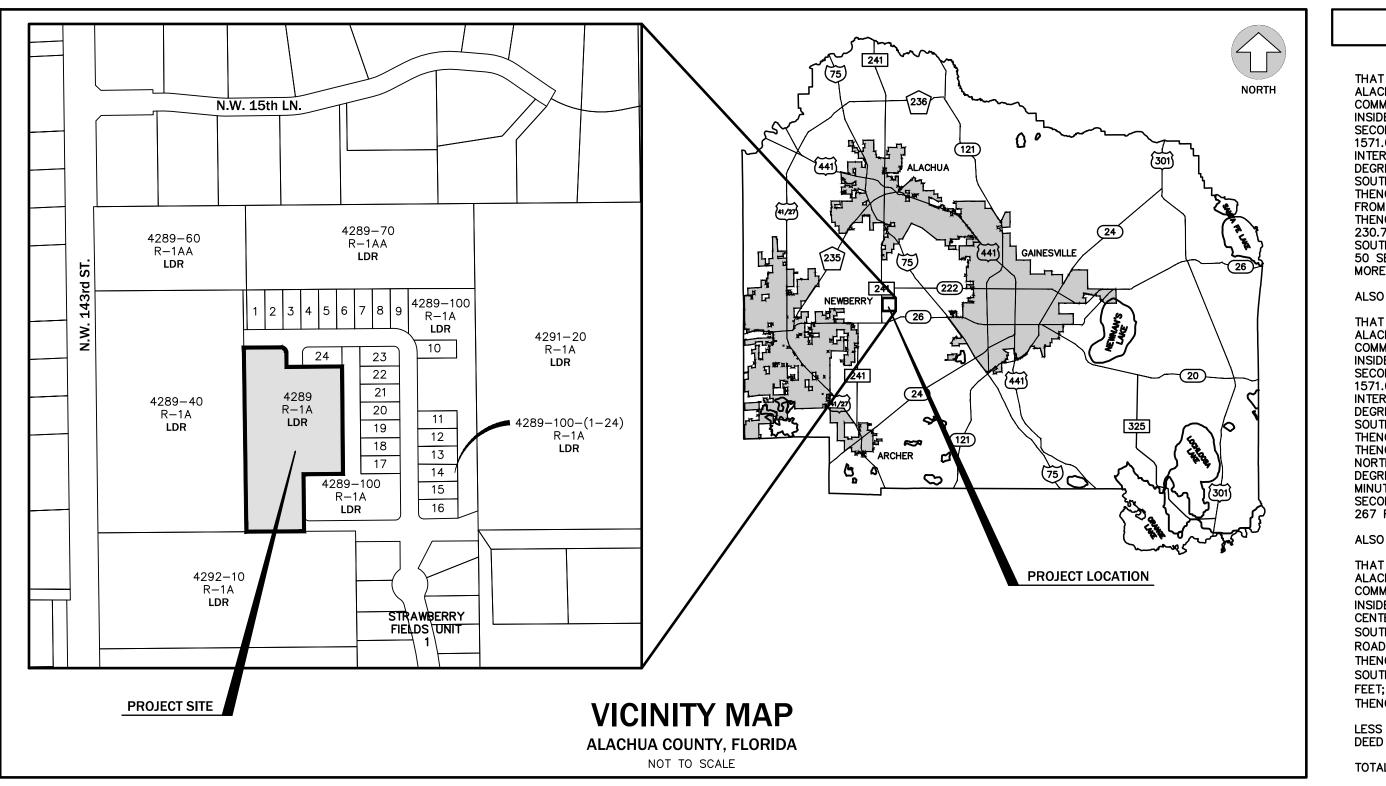
TARA ESMERALDA - PHA FINAL DEVELOPMENT PLAN ALACHUA COUNTY, FLORIDA

	DEVELOPMENT INFORMATION					
1.	NAME OF PROJECT:	TARA ESMERALDA – PHASE 2				
2.	TITLE UNDER WHICH SUBDIVISION WILL BE RECORDED:	TARA ESMERALDA – PHASE 2				
3.	PROJECT DESCRIPTION	A 16 LOT RESIDENTIAL PLATTED SUBDIVISION WITH ASSOCIATED UTILITIES AND STORMWATER.				
4.	TAX PARCEL NUMBER:	04289-000-000				
5.	SECTION/TOWNSHIP/RANGE:	SECTION 34, TOWNSHIP 09 SOUTH, RANGE 18 EAST				
6.	ZONING:	R-1A: SINGLE FAMILY RESIDENTIAL				
7.	FUTURE LAND USE DESIGNATION:	LDR: LOW DENSITY RESIDENTIAL (1-4 DU/ACRE)				
8.	PROJECT AREA:	2.61 ACRES				

	CONTACT INFORMATION				
1.	PROPERTY OWNER:	TARA ESMERALDA, LLC 7717 NW 20TH LANE GAINESVILLE, FL 32605			
2.	ENGINEER:	eda consultants, inc. 720 S.W. 2nd AVE. SOUTH TOWER, SUITE 300 GAINESVILLE, FL 32601 (352) 373—3541 CONTACT: CLAUDIA VEGA, P.E.			
3.	PLANNER:	eda consultants, inc. 720 S.W. 2nd AVE. SOUTH TOWER, SUITE 300 GAINESVILLE, FL 32601 (352) 373—3541 CONTACT: CLAY SWEGER, AICP, LEED AP			
4.	SURVEYOR:	eda consultants, inc. 720 S.W. 2nd AVE. SOUTH TOWER, SUITE 300 GAINESVILLE, FL 32601 (352) 373—3541 CONTACT: JARED ROGERS, PSM			



<u>LEGEND</u> ZONING: R-1A - SINGLE FAMILY RESIDENTIAL R-1AA - SINGLE FAMILY RESIDENTIAL

ITE LAND USE: (210) SINGLE-FAMILY DETACHED HOUSING							
PROPOSED : 16 DWELLING UNITS							
	TRIP DISTRIBUTION PROJECT TRIP				t trips		
PERIOD	RATE	PER UNIT	TRIPS	ENTER	EXIT	IN	OUT
AM	0.70	16	11.20	26%	74%	2.91	8.29
РМ	0.94	16	15.04	63%	37%	9.48	5.56
AVG	9.43	16	150.88	50%	50%	75.44	75.44
SOURCE: ITE TRIP GENERATION, 11TH EDITION							

DEVELOPMENT DATA						
DESCRIPTION	CRITERIA	REQUIRED	PROPOSED			
MAXIMUM DENSITY / PROPOSED DENSITY	R-1A ZONING	1-4 DU/ACRE = 40 MAX	24 EXISTING UNITS (PH–1) 16 PROPOSED UNITS (PH–2) 40 UNITS TOTAL			
DESCRIPTION	CRITERIA	REQUIRED	PROVIDED			
OPEN SPACE	10%	$0.10 \times 10.03 \text{ Ac} = 1.0 \text{ Ac}$	1.0 Ac (10.0%)			
	1. NORTH: TABLE 403.07.1	1. NORTH: NONE REQUIRED	1. NORTH: NONE PROVIDED			
BUFFER & SCREENING	2. WEST: TABLE 403.07.1	2. WEST: 5' AGRICULTURAL BUFFER	2. WEST: 5' AGRICULTURAL BUFFER			
BUFFER & SCREENING	3. EAST: TABLE 403.07.1	3. EAST: NONE REQUIRED	3. EAST: NONE PROVIDED			
	4. SOUTH: TABLE 403.07.1	4. SOUTH: 5' AGRICULTURAL BUFFER	4. SOUTH: 5' AGRICULTURAL BUFFER			
TREE CANOPY	10% OF EXISTING CANOPY COVER SHALL REMAIN	EXISTING CANOPY COVER = 4.03 Ac x 0.10 = 0.403 Ac	EXISTING CANOPY TO REMAIN = 0.91 Ac (22.6%)			

	IMPERVIOUS AREA CALCULATIONS (PHASE 1 & 2)						
#	DESCRIPTION	SQUARE FOOTAGE (S.F.)	PERCENTAGE (%)				
1.	TOTAL SITE AREA:	436,866	10.03	100.0%			
2.	PROPOSED IMPERVIOUS AREA:	76,028	1.75	17.4%			
3.	EXISTING IMPERVIOUS FROM PHASE 1:	132,751	3.05	30.4%			
4.	TOTAL IMPERVIOUS AREA:	208,779	4.79	47.8%			
5.	OPEN AREA:	228,087	5.24	52.2%			

NOTE: PHASE TWO DIRECTLY CONNECTED IMPERVIOUS AREA IS EQUAL TO 19,477 SF AND THE INDIRECTLY CONNECTED IMPERVIOUS AREA (65% OF THE LOT AREA) IS EQUAL TO 56,551 SF.

FUTURE LAND USE: LDR – LOW DENSITY RESIDENTIAL

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	UTILITIES TO BE PROVIDED AND PROVIDER						
1.	ELECTRIC:	CLAY ELECTRIC					
2.	POTABLE WATER:	GAINESVILLE REGIONAL UTILITIES (GRU)					
3.	WASTE WATER:	GAINESVILLE REGIONAL UTILITIES (GRU)					
4.	FIRE SUPPRESSION WATER SUPPLY:	GAINESVILLE REGIONAL UTILITIES (GRU)					

FOR REVIEW ONLY **GRU NOTES**

- 1. CERTIFICATION BY ENGINEER-OF-RECORD THAT WATER, AND WASTEWATER, SYSTEMS ARE IN ACCORDANCE WITH GRU DESIGN STANDARDS. .
- 2. NOTIFY GRU WASTEWATER ENGINEERING 48 HOURS PRIOR TO CONSTRUCTION @ 352-393-1633. IF PROPER NOTIFICATION IS NOT MADE, CONTRACTOR SUBJECT TO BE SHUT DOWN.

SHEET V-001 V-001 SHEE L100

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	LEGAL DESCRIPTION	
ACHUA COUNTY, MENCE AT THE IDE THE ARREDO CONDS EAST ALO 1.02 FEET; THE ERSECTION WITH GREES 09 MINUT JTH 00 DEGREES INCE RUN SOUT INCE RUN SOUT INCE RUN SOUT INCE RUN SOUT INCE RUN SOUT INCE RUN SOUT SECONDS WEST RE OR LESS, TO SO AT PART OF FR/	ACTIONAL SECTION 34, TOWNSHIP 9 SOUTH, RANGE 18 EAST, INSIDE THE ARREDONDO GRANT, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: INORTHWEST CORNER OF FRACTIONAL SECTION 34, TOWNSHIP 9 SOUTH, RANGE 18 EAST, ONDO GRANT FOR A POINT OF REFERENCE; THENCE RUN SOUTH 00 DEGREES 09 MINUTES 44 ONG THE CENTERLINE OF STATE ROAD NO. S-241 AND THE WEST LINE OF SAID SECTION 34, INCE RUN SOUTH 89 DEGREES 42 MINUTES 50 SECONDS EAST, 40.0 FEET TO AN I THE EAST RIGHT-OF-WAY LINE OF SAID STATE ROAD NO. S-241; THENCE RUN SOUTH 00 IES 44 SECONDS EAST ALONG SAID EAST RIGHT-OF-WAY LINE, 698.94 FEET; THENCE RUN S 00 MINUTES 17 SECONDS WEST ALONG THE SAID EAST RIGHT-OF-WAY LINE 701.06 FEET, H 89 DEGREES 42 MINUTES 50 SECONDS EAST, 413.40 FEET TO THE POINT OF BEGINNING, OF BEGINNING THENCE RUN SOUTH 89 DEGREES 42 MINUTES 50 SECONDS EAST, 647.12 FEET, H 00 DEGREES 00 MINUTES 17 SECONDS WEST, PARALLEL TO SAID STATE ROAD NO. S-241, ICE RUN NORTH 89 DEGREES 42 MINUTES 50 SECONDS WEST, PARALLEL TO SAID STATE ROAD NO. S-241, ICE RUN NORTH 89 DEGREES 42 MINUTES 50 SECONDS WEST, 636.00 FEET, THENCE RUN S 00 MINUTES 17 SECONDS WEST, 445.36 FEET, THENCE RUN NORTH 89 DEGREES 42 MINUTES 10 FEET, THENCE RUN NORTH 00 DEGREES 00 MINUTES 17 SECONDS EAST 676.15 FEET,) THE POINT OF BEGINNING.	
MENCE AT THE DE THE ARREDO CONDS EAST ALO 1.02 FEET; THE ERSECTION WITH GREES 09 MINUT JTH 00 DEGREES INCE RUN SOUT INCE CONTINUE RTH 00 DEGREES GONDS EAST A D ONDS EAST A D FEET TO THE	FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: E NORTHWEST CORNER OF FRACTIONAL SECTION 34, TOWNSHIP 9 SOUTH, RANGE 18 EAST, ONDO GRANT FOR A POINT OF REFERENCE; THENCE RUN SOUTH 00 DEGREES 09 MINUTES 44 ONG THE CENTERLINE OF STATE ROAD NO. S-241 AND THE WEST LINE OF SAID SECTION 34, INCE RUN SOUTH 89 DEGREES 42 MINUTES 50 SECONDS EAST, 40.0 FEET TO AN I THE EAST RIGHT-OF-WAY LINE OF SAID STATE ROAD NO. S-241; THENCE RUN SOUTH 00 TES 44 SECONDS EAST ALONG SAID EAST RIGHT-OF-WAY LINE, 698.94 FEET; THENCE RUN S 00 MINUTES 17 SECONDS WEST ALONG THE SAID EAST RIGHT-OF-WAY LINE, 1377.21 FEET; H 89 DEGREES 42 MINUTES 50 SECONDS EAST, 597.52 FEET TO THE POINT OF BEGINNING; SOUTH 89 DEGREES 42 MINUTES 50 SECONDS EAST A DISTANCE OF 463 FEET; THENCE RUN S 00 MINUTES 17 SECONDS EAST A DISTANCE OF 445.36 FEET; THENCE RUN NORTH 89 TES 50 SECONDS WEST A DISTANCE OF 636 FEET; THENCE RUN NORTH 89 TES 50 SECONDS WEST A DISTANCE OF 636 FEET; THENCE RUN NORTH 89 TES 50 SECONDS WEST A DISTANCE OF 636 FEET; THENCE RUN SOUTH 00 DEGREES 00 IDS WEST A DISTANCE OF 178.36 FEET; THENCE RUN SOUTH 00 DEGREES 00 IDS WEST A DISTANCE OF 178.36 FEET; THENCE RUN SOUTH 39 DEGREES 42 MINUTES 50 DISTANCE OF 173 FEET; THENCE RUN SOUTH 00 DEGREES 00 HOS WEST A DISTANCE OF 178.36 FEET; THENCE RUN SOUTH 39 DEGREES 42 MINUTES 50 DISTANCE OF 173 FEET; THENCE RUN SOUTH 00 DEGREES 00 MINUTES 17 SECONDS WEST, A DISTANCE OF 636 FEET; THENCE RUN SOUTH 00 DEGREES 00 HOS WEST A DISTANCE OF 178.36 FEET; THENCE RUN SOUTH 39 DEGREES 42 MINUTES 50 DISTANCE OF 173 FEET; THENCE RUN SOUTH 00 DEGREES 00 MINUTES 17 SECONDS WEST, POINT OF BEGINNING.	
ACHUA COUNTY, IMENCE AT THE IDE THE ARREDO ITER LINE OF S JTH 89°42'50" E AD NO. S. 241; INCE RUN SOUT JTH 89°42'50" E T; THENCE RUN INCE RUN NORT	ACTIONAL SECTION 34, TOWNSHIP 9 SOUTH, RANGE 18 EAST, INSIDE THE ARREDONDO GRANT, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: I NORTHWEST CORNER OF FRACTIONAL SECTION 34, TOWNSHIP 9 SOUTH, RANGE 18 EAST, ONDO GRANT FOR A POINT OF REFERENCE; THENCE RUN SOUTH 00°09'44" EAST ALONG THE TATE ROAD NO. S. 241 AND THE WEST LINE OF SAID SECTION 34, 1571.02 FEET; THENCE RUN EAST 40.0 FEET TO AN INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID STATE THENCE RUN SOUTH 00°09'44" EAST ALONG SAID EAST RIGHT-OF-WAY LINE 698.94 FEET; H 00°00'17" WEST ALONG THE SAID EAST RIGHT-OF-WAY LINE 1377.21 FEET; THENCE RUN EAST 424.52 FEET TO THE POINT OF BEGINNING; THENCE RUN NORTH 00°00'17" EAST 267.00 I SOUTH 89°42'50" EAST 173.00 FEET; THENCE RUN SOUTH 00°00'17" WEST 267.00 FEET; H 89°42'50" WEST 173.00 FEET TO THE POINT OF BEGINNING.	1
	ANY PORTION THEREOF LYING WITHIN THE LANDS CONVEYED TO THE STATE OF FLORIDA IN PAGE 465, OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA. 3± AC	
	DRAWING INDEX	
T NUMBER	SHEET TITLE	
C100	COVER SHEET	
C110 C120	LEGEND AND GENERAL NOTES DEMOLITION AND EROSION CONTROL PLAN AND DETAILS	
C120	GENERAL DEVELOPMENT AND TRANSPORTATION NETWORK PLAN	
C170	OPEN SPACE PLAN	
C180	TREE CANOPY PRESERVATION PLAN	
C200	PAVING, GRADING, AND DRAINAGE PLAN	
C250	PAVING, GRADING, AND DRAINAGE DETAILS	
C295	STORMWATER POLLUTION PREVENTION PLAN	
C300	UTILITY PLAN	
C310	UTILITY ALLOCATIONS AND DETAILS	
C400 - V-004	PLAN AND PROFILE 1 BOUNDARY AND TOPOGRAPHIC SURVEY	
- V-004 - V-003	BOUNDARY AND TOPOGRAPHIC SURVEY BOUNDARY SURVEY	
ET 1-2	PLAT	
) – L201	LANDSCAPE PLANS	

G				
consulta	ants inc.			
720 S.W. 2nd Ave, Sc GAINESVILLE,				
	373-3541 mail@edafl.com			
No. Date	Comment			
CLAUDIA S. VEGA, P.E. ON THE PRINTED COPIES OF THIS DOC	LLY SIGNED AND SEALED BY DATE ADJACENT TO THE SEAL. UMENT ARE NOT CONSIDERED			
ON ANY ELECT	ESIGNATURE MUST BE VERIFIED RONIC COPIES.			
Protessional Eng	ineer of Record:			
<u>Claudia S. Vega, P.F</u> Engineer	E51532			
Project No: 22-033				
Project No: 22-	Certificate No.			
Project No: 22- Project phase:				
Project No: 22- Project phase:	033			
Project No: 22- Project phase: FINAL DEVELC Project title: TARA ESMERA	033 DPMENT PLAN LDA - PHASE 2			
Project No: 22- Project phase: FINAL DEVELC Project title: TARA ESMERA	033 DPMENT PLAN LDA - PHASE 2 COUNTY,			
Project No: 22- Project phase: FINAL DEVELC Project title: TARA ESMERA ALACHUA	033 DPMENT PLAN LDA - PHASE 2 COUNTY,			
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Project No: 22- Project phase: FINAL DEVELC Project title: TARA ESMERA ALACHUA FLOF Sheet title: COVER	033 DPMENT PLAN LDA - PHASE 2 COUNTY, RIDA			

Date: 09/05/23

EXISTING SYMBOLS & ABBREVIATIONS	PROPOS	ED UTILITY SYMBOLS
C/L = CENTERLINE cmp = CORRUGATED METAL PIPE CONC = CONCRETE		WATER MAIN, PROPOSED
COR = CORNER D = DELTA (CENTRAL) ANGLE R = RADIUS	WM	WATER MAIN, EXISTING
A = ARC $T = TANGENT$ $CB = CHORD BEARING$ $CD = CHORD DISTANCE$	ww	WASTEWATER GRAVITY MAIN, PROPOSED
dip = DUCTILE IRON PIPE ELEV = ELEVATION ecmp = ELLIPTICAL CORRUGATED METAL PIPE		PLUG END AND CAP
ercp = ELLIPTICAL REINFORCED CONCRETE PIPE ID. = IDENTIFICATION inv = INVERT F.D.O.T. = FLORIDA DEPARTMENT OF TRANSPORTATION		BLOW-OFF ASSEMBLY
F.F. = FINISHED FLOOR M.E.S. = MITERED END SECTION No. = NUMBER	→→	GATE VALVE & BOX
O.R. = OFFICIAL RECORDS BOOK PGS. = PAGES PVC = POLY-VINYL CHLORIDE RCP = REINFORCED CONCRETE PIPE		BUTTERFLY VALVE
R/W = RIGHT OF WAY SEC 28-9-19 = SECTION 28, TOWNSHIP 9 SOUTH, RANGE 19 EAST TRAN = ELECTRICAL TRANSFORMER PAD	K	PLUG VALVE
$w/ = WITH$ $ANCH \leftarrow = GUY ANCHOR$ $OBO = WATER BLOW OFF$ $OCO = SANITARY CLEAN-OUT$	¶_i	SWING CHECK VALVE
 FOUND CONCRETE MONUMENT (size, ID) FOUND DRILL HOLE FOUND IRON PIPE (size, ID) 		BACK FLOW PREVENTER
	RP NN	REDUCED PRESSURE ZONE BFP
\bowtie GV = GAS VALVE \bigcirc GP = GUY POLE \longleftrightarrow = ELECTRICAL HANDHOLE	DC NN	DOUBLE CHECK BFP
-O FH = FIRE HYDRANT M IRRIG VLV = IRRIGATION VALVE M LT PL = LIGHT POLE MBOX = MAIL BOX		DUAL CHECK VALVE
$\bigcirc = MAR BOA = $		AIR RELEASE VALVE
= SET CONCRETE MONUMENT (PRM LB 2389) = SET NAIL & DISC (PRM LB 2389) $ = SET SPIKE $	—	REDUCER FITTING
 ⇒ SHRUB ⇒ SIGN □ TELBX = TELEPHONE RISER □ TVBOX = CABLE TELEVISION RISER 		PRESSURE REGULATOR
WM = WATER METER WV = WATER VALVE SO = ELEVATION CONTOUR LINE		POST INDICATOR VALVE
	+ ●	CLEAN OUT OR ROOF DRAIN LATERAL
OHIV = OVERHEAD TELEVISION LINE SS = SANITARY SEWER LINE UNDERGROUND ELECTRIC LINE		FITTING W/ THRUST BLOCK
	∳⊲	FIRE HYDRANT W/ THRUST BLOCK
s ^o ≻× = SPOT ELEVATION	⊳≠⊷⊷	FIRE HYDRANT ASSEMBLY
	∎	POTABLE WATER METER
TREE LEGEND		SINGLE SERVICE WATER METER
HARDWOODS 8" AND GREATER AND PINES 12" AND GREATER (DIAMETER MEASURED AT BREAST HEIGHT) ధ.లో		DUAL SERVICE WATER METER
CORTON SECONDER SIZE/COMMON NAME		GANG WATER METER ASSEMBLY
 ba10. = 10" BAY cb11. = 11" CHINABERRY ce11. = 11" CEDAR 	TX	ELECTRIC TRANSFORMER
• $ch12.$ = 12" CHERRY • $cht10.$ = 10" CHINESE TALLOW • $hi11.$ = 11" HICKORY • $lao12.$ = 12" LAUREL OAK		RECLAIMED WATER METER ASSEMBLY
 Io15. = 15" LIVE OAK mb12. = 12" MULBERRY mg18. = 18" MAGNOLIA pa18. = 18" PALM 	RCW	RECLAIMED WATER MAIN, PROPOSED
 pi14. = 14" PINE po9. = 9" POST OAK sb11. = 11" SUGARBERRY 	RCW	PLUG END AND CAP
 sg17. = 17" SWEETGUM tko11. = 11" TURKEY OAK tree18. = 18" UNIDENTIFIED TREE wo14. = 14" WATER OAK 		BLOW-OFF ASSEMBLY
		GATE VALVE & BOX
LEGEND	—————————————————————————————————————	REDUCER FITTING
	FM	WASTEWATER (PRESSURE) MAIN, PROPOSED
	ss	SANITARY SEWER MAIN, PROPOSED
(TBR) EXISTING FEATURES TO BE REMOVED (TBR)	SS	SANITARY SEWER MAIN, EXISTING
LIMITS OF EXISTING ASPHALT PAVEMENT, CONCRETE		SANITARY SEWER MANHOLE, PROPOSED
	SS	SANITARY SEWER MANHOLE, EXISTING
LIMITS OF ASPHALT PAVEMENT		SANITARY SEWER PLUG
LIMITS OF CONCRETE PAVEMENT AND SIDEWALKS		PLUG VALVE
• pi20 EXISTING TREE TO REMAIN X pi20 EXISTING TREE TO BE REMOVED		SEWER LATERAL, SINGLE SERVICE
EXISTING SPOT ELEVATION	→	GATE VALVE
PROPOSED SPOT ELEVATION	*\	CHECK VALVE
—183.25 PROPOSED CONTOUR ELEVATION —183 EXISTING CONTOUR ELEVATION	A. R.	AIR RELEASE VALVE
PROPOSED EASEMENT		

GENERAL NOTES

- 1. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES, AFFECTING THIS WORK, PRIOR TO CONSTRUCTION.
- 2. PRIOR TO THE INITIATION OF SITE CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ANY EXISTING UTILITIES INCLUDING GAS, WATER, ELECTRIC, CABLE TV, COMMUNICATIONS, SANITARY SEWERS AND STORM DRAINAGE SYSTEMS, ON AND/OR ADJACENT TO THE SITE. REMOVE OR CAP AS NECESSARY. CONTACT ENGINEER OF RECORD IMMEDIATELY WITH ANY DISCREPANCIES.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED, BY THE CONTRACTOR OR SUB-CONTRACTORS, AS CALLED FOR IN THESE CONTRACT DOCUMENTS.
- 4. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR THE RELOCATION OF EXISTING UTILITIES. UTILITIES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION, AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF THE WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS SPECIFIED BY THE VARIOUS GOVERNMENTAL AGENCIES AND THE ENGINEER. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY INSTRUCTION/REQUIREMENTS.
- 6. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, ON ALL PRECAST AND MANUFACTURED ITEMS, TO THE OWNER'S ENGINEER FOR REVIEW. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- 7. SAFETY:
- A. DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS/HER PERSONNEL.
- B. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA.C. THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF "THE
- STATE OF FLORIDA, MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS" SHALL BE FOLLOWED IN THE DESIGN, APPLICATION, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND CONSTRUCTION PERSONNEL FROM HAZARDS WITHIN THE PROJECT LIMITS.
- D. ALL TRAFFIC CONTROL MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
- E. ALL SUBSURFACE CONSTRUCTION SHALL COMPLY WITH THE "TRENCH SAFETY ACT". THE CONTRACTOR SHALL INSURE THAT THE METHOD OF TRENCH PROTECTION AND CONSTRUCTION IS IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS.
- F. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.
- 8. ALL UNDERGROUND UTILITIES MUST BE IN-PLACE, TESTED AND INSPECTED PRIOR TO BASE AND SURFACE CONSTRUCTION.
- 9. CONTRACTOR IS REQUIRED TO SECURE A FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) "NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM" (NPDES) PERMIT BEFORE BEGINNING CONSTRUCTION.
- 10. A COMPLETE SET OF PERMITTED DRAWINGS AND SPECIFICATIONS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK. THESE DRAWINGS SHALL BE MADE AVAILABLE UPON REQUEST.
- 11. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE CONSTRUCTED SIMULTANEOUSLY WITH THE DISTURBANCE OF THE LAND AND SHALL REMAIN FUNCTIONAL UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED. SILT BARRIERS WILL BE INSTALLED AS NECESSARY TO PREVENT EXCESSIVE SEDIMENTATION OF DOWNSTREAM AREAS.
- 12. COUNTY: ALL WORK WITHIN OR ON COUNTY OWNED AND MAINTAINED FACILITIES, ROW OR EASEMENTS WILL REQUIRE AS-BUILT PLANS. AS-BUILT PLANS SHOULD SHOW THE CONSTRUCTED CONDITIONS OF THE COUNTY OWNED OR MAINTAINED AREA AND BE PERFORMED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER. THE COORDINATE SYSTEM SHALL BE FLORIDA STATE PLANE COORDINATES, NAD 83 ZONE NORTH US SURVEY FEET. VERTICAL COORDINATES SHALL BE REFERENCED TO THE NAVD 88 DATUM WITH ELEVATIONS GIVEN IN US SURVEY FEET.
- 13. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.

DEMOLITION NOTES

- 1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
- 2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
- 3. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR DEMOLITION / PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.
- 4. CONTRACTOR SHALL SUBMIT DEMOLITION SCHEDULE TO OWNER PRIOR TO PROCEEDING WITH DEMOLITION ACTIVITIES.
- 5. CONDUCT SITE DEMOLITION OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. CLOSURE OF THESE FACILITIES MAY REQUIRE A MAINTENANCE OF TRAFFIC PLAN PREPARED BY A REGISTERED PROFESSIONAL AT THE CONTRACTORS EXPENSE.
- 6. PROVIDE PROTECTION AS NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS SHOWN IN THE PLANS TO REMAIN.
- 7. LOCATE EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES IN AREAS OF WORK. IF UTILITIES ARE TO REMAIN IN PLACE, PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
- 8. CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR THE TERMINATION, CAPPING-OFF AND REMOVAL OF ALL EXISTING UNDERGROUND AND ABOVE GROUND UTILITY SERVICES UNLESS DIRECTED TO OTHERWISE.
- 9. CALL 811 BEFORE DIGGING AND LOCATE AND PROTECT GRU GAS FACILITIES. MAINTAIN A MINIMUM COVER OF 36" OVER GRU GAS MAIN DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
- 10. PLEASE INDICATE VIA PROJECT DOX IF THE CUSTOMER DESIRES G.R.U. GAS SERVICE FOR THIS PROJECT, AS WELL AS CONTACTING G.R.U. GAS MARKETING AT 352.393.1467 AS SOON AS POSSIBLE.

CONSTRUCTION NOTES

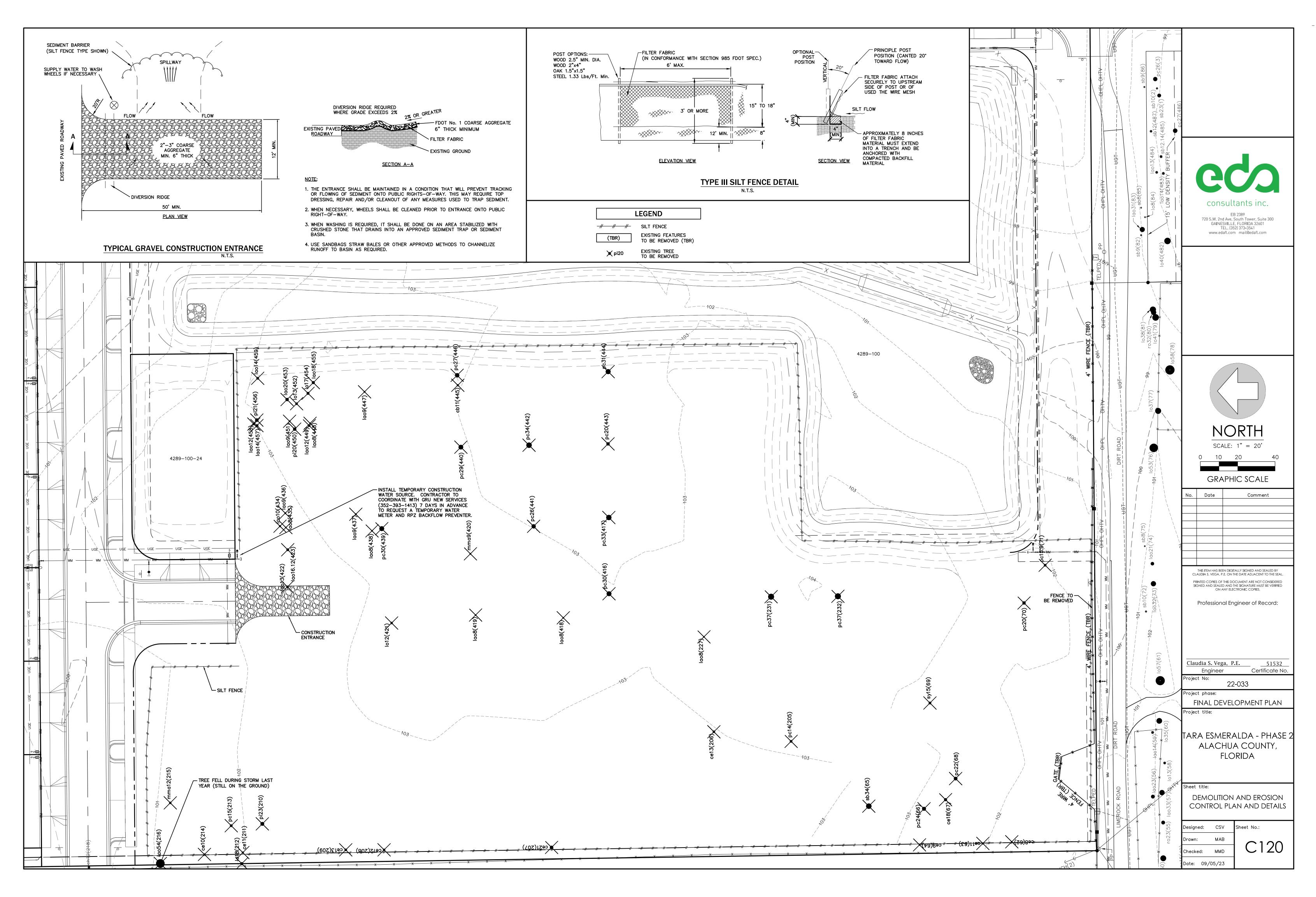
- 1. SIGNS AND BARRICADES SHALL BE IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION'S 'MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES', AND THE FLORIDA DEPARTMENT OF TRANSPORTATION'S 'ROADWAY AND TRAFFIC DESIGN STANDARDS' INDEXES 600 THROUGH 685 (LATEST EDITIONS).
- 2. SAFE PEDESTRIAN TRAFFIC IS TO BE MAINTAINED AT ALL TIMES.
- 3. ANY SIDEWALK WHICH BECOMES UNDERMINED MUST BE REMOVED AND REPLACED. SIDEWALKS ARE TO BE RECONSTRUCTED WITHIN THREE (3) DAYS AFTER REMOVAL. WHEN EXISTING SIDEWALK IS REMOVED, IT IS TO BE REMOVED TO THE NEAREST JOINT.
- 4. DISTURBED AREA WITHIN THE R-O-W WILL BE COMPACTED TO 95% OF MAXIMUM DENSITY AND SODDED.
- 5. STOCKPILING OF MATERIAL IS NOT ALLOWED ON ROADWAYS OR SIDEWALKS. ALL DIRT AND DEBRIS WILL BE REMOVED FROM JOB SITE DAILY. ROADS AND SIDEWALKS ARE TO BE SWEPT DAILY AS PART OF DAILY CLEANUP.
- 6. ANY PORTION OF ROADWAYS OR SIDEWALKS THAT SUSTAIN EXCESSIVE CONSTRUCTION RELATED DAMAGE, IN THE OPINION OF APPLICABLE AGENCIES, SHALL BE RESTORED TO EXISTING CONDITION AT CONTRACTOR EXPENSE.
- 7. CONSTRUCTION MUST BE PER THE APPROVED SITE PLAN OF THE DRC (OR EQUIVALENT). DEVIATIONS IN ROADWAY, UTILITY OR DRAINAGE CONSTRUCTION WILL REQUIRE PRIOR WRITTEN APPROVAL OF THE COUNTY ENGINEER OR THE DIRECTOR OF PUBLIC SERVICES (OR EQUIVALENT). NOTE: SIGNIFICANT CHANGES FROM THE DRC APPROVED PLAN MAY REQUIRE THE OWNER/DEVELOPER TO SUBMIT A REVISED SITE PLAN FOR REVIEW THROUGH THE DRC AND MAY CAUSE PROJECT DELAYS.
- 8. OFF-SITE OR ROADWAY R-O-W CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CONDITIONS OF THE APPROVED R-O-W PERMIT(S). A COPY OF THE APPROVED R-O-W PERMIT MUST BE KEPT ON-SITE AND READILY AVAILABLE DURING ALL CONSTRUCTION ACTIVITIES WITHIN THE R-O-W.
- 9. DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS/HER PERSONNEL.
- 10. ALL CONSTRUCTION, MATERIALS AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARDS.
- 11. CONTRACTOR IS RESPONSIBLE FOR CHECKING ACTUAL SITE CONDITIONS BEFORE
- STARTING CONSTRUCTION. 12. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE COMMENCING WORK.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
- 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTORS RESPONSIBILITY. BOTH PAPER AND AUTOCAD FILES SHALL BE PROVIDED.
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER AND ENGINEER OF RECORD FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. BOTH PAPER AND AUTOCAD SHALL BE PROVIDED.

EROSION CONTROL NOTES

- 1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS REFERENCED BY THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- 2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- 3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- 4. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- 5. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING,
- ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
 6. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- 8. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER RUNOFF.
- 9. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN SHALL BE INITIATED AS SOON AS PRACTICABLE.
- 10. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM DRAINS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- 12. ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION CONTROL PLAN BY THE CONTRACTOR AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STABILIZATION, SEDIMENT BASINS, ETC.) AS NEEDED FOR EACH STAGE OF SITE WORK / GRADING.
- 14. NO GRADING, CUTTING, OR FILLING SHALL COMMENCE UNTIL SUCH TIME AS APPROPRIATE EROSION AND SEDIMENTATION CONTROL DEVICES HAVE BEEN INSTALLED BETWEEN ALL DISTURBED AREAS AND WATER BODIES, WATERCOURSES OR WETLANDS AND ANY CONVEYANCES SUCH AS DRAINAGE DITCHES, STORM DRAINS, AND INLETS.
- 15. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED PRECEEDING ANY DISTURBANCE OF THE LAND AND SHALL REMAIN FUNCTIONAL UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED. THE CONTRACTOR SHALL INSTALL ALL EROSION AND PREVENTION STRUCTURES SHOWN ON THE PLANS AT A MINIMUM AND IN FULL CONFORMANCE WITH ALL APPLICABLE WATER MANAGEMENT DISTRICT PERMITS AND REGULATIONS.
- 16. ALL CONTROL STRUCTURE AND OUTFALL CULVERT INSTALLATIONS SHALL BE PROTECTED WITH SEDIMENT BARRIERS AT A MINIMUM.
- 17. ALL DISTURBED AREAS (ABOVE NORMAL WATER LEVELS) UNLESS OTHERWISE NOTED HEREIN, SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS OF FINAL GRADING. UNLESS OTHERWISE NOTED, ALL SLOPES STEEPER THAN 4:1 SHALL BE SODDED.
- 18. EROSION CONTROL MEASURES WILL BE INSPECTED BY ACPW PRIOR TO COMMENCEMENT OF CONSTRUCTION.

					
	PAVING, GRADING, AND DRAINAGE NOTES				
	TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.				
5.	THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.				
⊦.	IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.				
5.	THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.				
i .	THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.		C		
' .	THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. DE-WATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED.				ants inc.
3.	THE CONTRACTOR WILL STABILIZE BY SEED AND MULCH, SOD, OR OTHER APPROVED MATERIALS ANY DISTURBED AREAS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE UTILITY SYSTEMS AND PAVEMENT AREAS. CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER. CONTRACTOR TO COORDINATE WITH OWNER REGARDING TYPE OF MATERIAL, LANDSCAPING AND IRRIGATION IMPROVEMENTS TO FOLLOW.		GAINE T	d Ave, S SVILLE TEL. (35	3 2389 South Tower, Suite 300 5, FLORIDA 32601 2) 373-3541 5 mail@edafl.com
).	SITE GRADING, PAVING AND DRAINAGE MATERIALS AND CONSTRUCTION SHALL CONFORM TO FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.	<u> </u>			
0.	IMMEDIATELY AT ONSET OF CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES CRITICAL TO COMPLETING THE PROJECT (INCLUDING WATER, SEWER, POWER, TELEPHONE, GAS, AND CABLE TV) AND SHALL EVALUATE POTENTIAL CONFLICTS. ALL SUCH CONFLICTS SHALL BE REPORTED TO ENGINEER/OWNER IMMEDIATELY UPON DISCOVERY.				
	PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD STAKE AND ROPE OFF CONSERVATION AREA LINES. OWNER RESERVES THE RIGHTS TO CHECK THE STAKING AND ROPING AND REQUIRE IT TO BE RELOCATED IF NECESSARY. IT SHALL REMAIN IN PLACE UNTIL ADJACENT CONSTRUCTION IS COMPLETE. CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH ARE TO BE SAVED,				
3.	WHETHER SHOWN IN THE PLANS OR DESIGNATED IN THE FIELD. ALL SIGNAGE, PAVEMENT MARKING AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS" AND FHWA "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".				
4.	REGULATORY SIGNS (STOP, ETC.) SHALL BE PAID FOR BY THE CONTRACTOR AND IN PLACE PRIOR TO FINAL INSPECTION OF PAVING AND DRAINAGE IMPROVEMENTS.				
5.	BLUE REFLECTIVE PAVEMENT MARKERS SHALL BE PLACED OPPOSITE FIRE HYDRANTS IN THE CENTER OF THE NEAREST TRAVELED LANE TO MARK THEIR LOCATIONS.				
	CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENTS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. SHOULD AREAS OF POOR DRAINAGE BE OBSERVED, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PLACEMENT OF CURBS OR PAVEMENT COURSES, SO THAT RECOMMENDATIONS FOR CORRECTION MAY BE MADE.				
	PROPOSED AND EXISTING SIDEWALKS SHALL BE RAMPED FLUSH WITH PAVEMENT. RAMPS SHALL NOT EXCEED SLOPES OF 12 HORIZONTAL TO 1 VERTICAL.				
8.	FINISHED FLOOR ELEVATIONS ARE MINIMUM ELEVATIONS REQUIRED TO SATISFY DRAINAGE AND/OR 100-FLOODPLAIN REQUIREMENTS. PAD ELEVATIONS, IMMEDIATELY OUTSIDE OF BUILDING WALLS, SHALL BE NO MORE THAN 8 INCHES BELOW THE FINISHED FLOOR ELEVATIONS SHOWN.				
9.	CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND DISPOSING ALL WASTE MATERIALS CONSISTENT WITH ALL RULES AND REGULATIONS APPLICABLE TO THE SPECIFIC MATERIAL FOUND. ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS, ETC.) IS TO BE EXCAVATED AND REPLACED WITH SUITABLE/COMPACTED SOILS, AS DIRECTED BY THE OWNER, THE OWNERS ENGINEERS, OR OWNERS SOILS TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE.				
20.	ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOILS TESTING COMPANY OR ENGINEER AND BE PLACED AND COMPACTED ACCORDING TO THESE PLANS.				
21.	PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT, SIDEWALK, OR GROUND SURFACE GRADES, UNLESS OTHERWISE NOTED.	No.	Date		Comment
	CURBING SHALL BE PLACED AT THE EDGES OF ALL PAVEMENT, UNLESS OTHERWISE NOTED. REFER TO THE LATEST EDITION OF F.D.O.T. "ROADWAY AND TRAFFIC DESIGN STANDARDS" FOR DETAILS AND SPECIFICATIONS OF ALL FDOT TYPE CURB AND GUTTERS CALLED FOR IN THESE PLANS. THE CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL AND/OR BETTER CONDITION				
	THAN EXISTING PRIOR TO START OF CONSTRUCTION. UNLESS OTHERWISE NOTED, GRADE TO MEET EXISTING ELEVATION AT PROPERTY LINES.				
	SURVEY MONUMENTS OR BENCHMARKS, WHICH HAVE TO BE DISTURBED BY THIS WORK, SHALL BE REPLACED UPON COMPLETION OF WORK BY A REGISTERED LAND SURVEYOR. ALL SURVEY COSTS WILL BE CONTRACTORS RESPONSIBILITY.				
26.	FINAL GRADES SHOWN INCLUDE SOD HEIGHT. ALL AREAS SHALL BE GRADED TO DRAIN AWAY FROM THE BUILDINGS.	Cl			ALLY SIGNED AND SEALED BY HE DATE ADJACENT TO THE SEAL.
27.	IF WORK IS SUSPENDED OR DELAYED FOR 14 DAYS, THE CONTRACTOR SHALL TEMPORARILY STABILIZE THE DISTURBED AREAS AT NO ADDITIONAL COST TO THE OWNER.		GNED AND SEALE	D AND T	CUMENT ARE NOT CONSIDERED HE SIGNATURE MUST BE VERIFIED CTRONIC COPIES.
	STORM DRAINS SHALL BE REINFORCED CONCRETE PIPE, PER ASTM C-76 CLASS III, UNLESS OTHERWISE SPECIFIED. LIFTING HOLES ARE PROHIBITED. ALL OTHER TYPE OF PIPE MATERIAL SHALL MEET FDOT STANDARDS ALL STORM STRUCTURES SHALL CONFORM WITH FDOT STANDARD INDEX DRAWINGS AND SPECIFICATIONS		Profession	al En	gineer of Record:
50.	EXCEPT THAT DITCH BOTTOM INLETS IN PAVED AREAS SHALL HAVE TRAVERSABLE, TRAFFIC BEARING, GRATES SUPPORTED BY STEEL ANGLE SEATS OR SUPPORTED ON FOUR SIDES. GRATES SHALL BE CAST IRON UNLESS OTHERWISE SPECIFIED OR APPROVED. ALL CONCRETE CURBS, SIDEWALKS, INLET TOPS, ETC. SHALL BE 3000 PSI MINIMUM, UNLESS OTHERWISE				
51.	SPECIFIED. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT WITH THE SOILS REPORT. UPON COMPLETION OF WORK THE SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER AND OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.		udia S. Veg Enginee		. <u>E. 51532</u> Certificate No.
52.	A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN-PLACE MATERIALS AS REQUIRED BY THESE PLANS, THE VARIOUS AGENCIES AND PERMIT CONDITIONS. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL COSTS OF SAID RETESTING	Projec	ct No: ct phase:		-033 OPMENT PLAN
33.	THE STORM DRAINAGE PIPING SYSTEM SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION. HDPE AND HDPP ARE ALLOWED PER FDOT STANDARD SPECIFICATIONS AND ALACHUA COUNTY PUBLIC WORKS STANDARDS.		ct title:	. •	
	THE CONTRACTOR SHALL MAINTAIN AND PROTECT FROM MUD, DIRT, DEBRIS, ETC. THE STORM DRAINAGE SYSTEM UNTIL FINAL ACCEPTANCE OF THE PROJECT. THE STORM SYSTEM WILL BE RE-INSPECTED BY THE OWNER'S ENGINEER PRIOR TO APPROVAL FOR CERTIFICATE OF OCCUPANCY PURPOSES. THE CONTRACTOR MAY BE REQUIRED TO RE-CLEAN PIPES AND INLETS FOR THESE PURPOSES. EMBANKMENT, SUBGRADE, BASE, ASPHALT, AND STORM SEWER/DRAINAGE WILL BE INSPECTED BY ACPW	TAR	ALAC	HU/	ALDA - PHASE 2 A COUNTY, RIDA
•••	INSPECTOR. BEFORE YOU DIG !				
	CALL SUNSHINE STATE ONE CALL OF FLORIDA AT LEAST TWO FULL BUSINESS DAYS BEFORE DIGGING OR DISTURBING EARTH	Sheet LE(Desigr	GEND A		GENERAL NOTES
	Know what's below.	Drawn	n: MA		C110
	1-800-432-4770 Call before you dig.	Check	ed: MM	D	

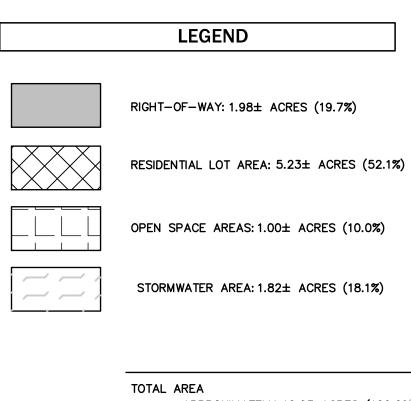
Date: 09/05/23



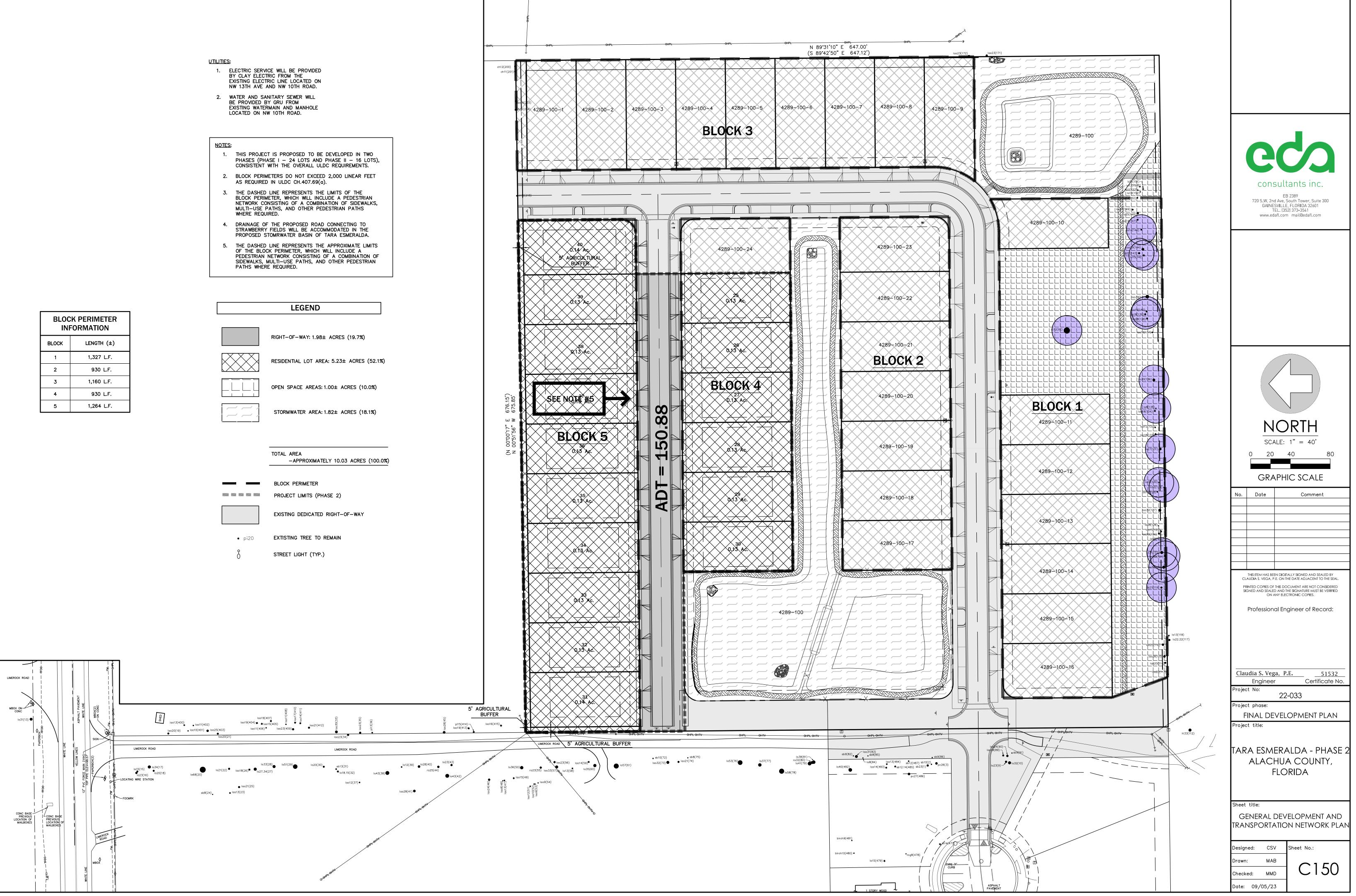
UTILITIES:

- NW 13TH AVE AND NW 10TH ROAD.
- LOCATED ON NW 10TH ROAD.

- CONSISTENT WITH THE OVERALL ULDC REQUIREMENTS.
- AS REQUIRED IN ULDC CH.407.69(a). 3. THE DASHED LINE REPRESENTS THE LIMITS OF THE
- MULTI-USE PATHS, AND OTHER PEDESTRIAN PATHS WHERE REQUIRED.
- STRAWBERRY FIELDS WILL BE ACCOMMODATED IN THE
- OF THE BLOCK PERIMETER, WHICH WILL INCLUDE A PATHS WHERE REQUIRED.

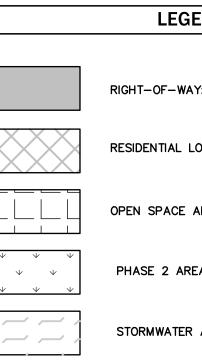


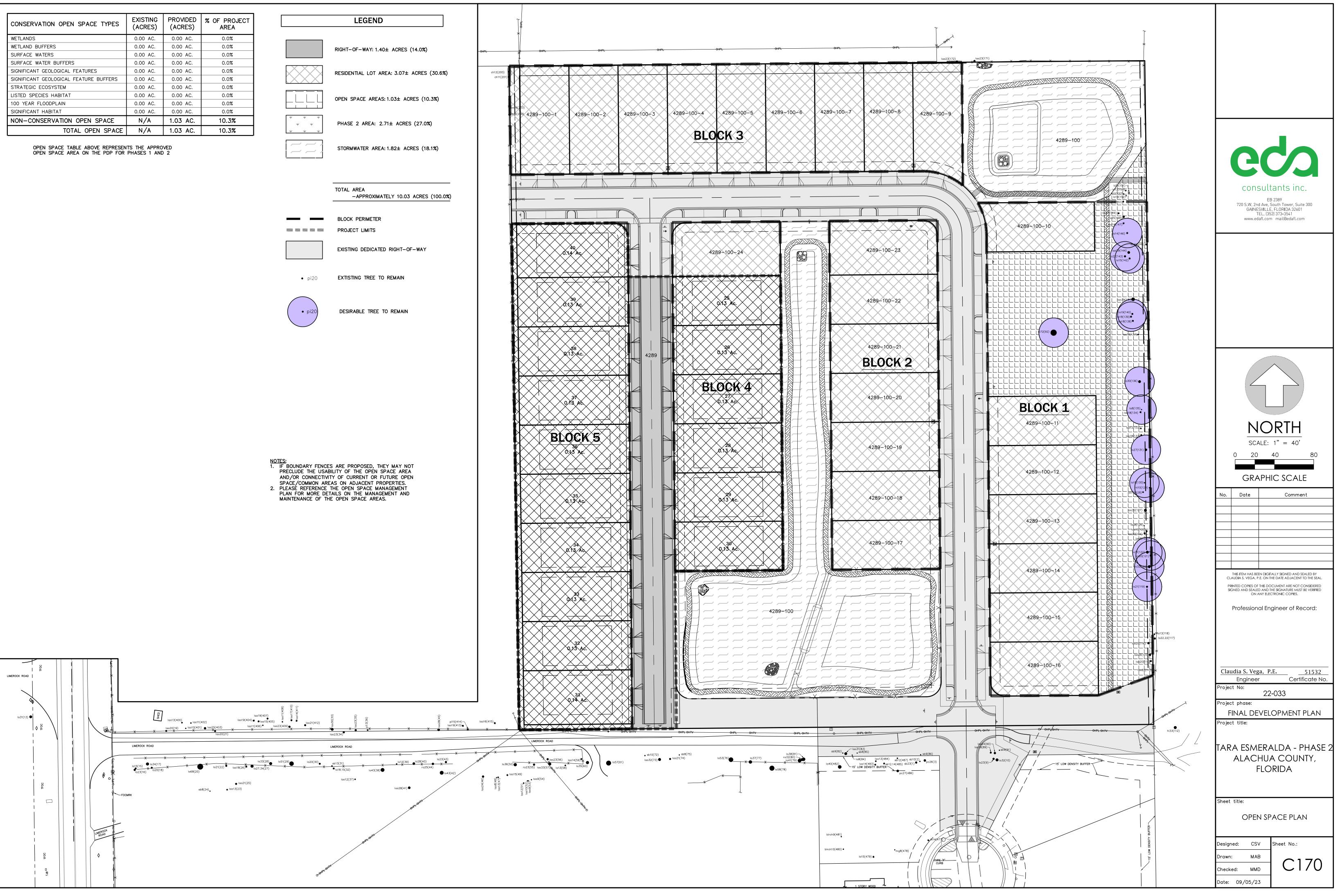
TOTAL	AREA	
		(100 000)



BLOCK PERIMETER INFORMATION		
BLOCK	LENGTH (±)	
1	1,327 L.F.	
2	930 L.F.	
3	1,160 L.F.	
4	930 L.F.	
5	1,264 L.F.	

CONSERVATION OPEN SPACE TYPES	EXISTING (ACRES)	PROVIDED (ACRES)	% OF PROJECT AREA
WETLANDS	0.00 AC.	0.00 AC.	0.0%
WETLAND BUFFERS	0.00 AC.	0.00 AC.	0.0%
SURFACE WATERS	0.00 AC.	0.00 AC.	0.0%
SURFACE WATER BUFFERS	0.00 AC.	0.00 AC.	0.0%
SIGNIFICANT GEOLOGICAL FEATURES	0.00 AC.	0.00 AC.	0.0%
SIGNIFICANT GEOLOGICAL FEATURE BUFFERS	0.00 AC.	0.00 AC.	0.0%
STRATEGIC ECOSYSTEM	0.00 AC.	0.00 AC.	0.0%
LISTED SPECIES HABITAT	0.00 AC.	0.00 AC.	0.0%
100 YEAR FLOODPLAIN	0.00 AC.	0.00 AC.	0.0%
SIGNIFICANT HABITAT	0.00 AC.	0.00 AC.	0.0%
NON-CONSERVATION OPEN SPACE	N/A	1.03 AC.	10.3%
TOTAL OPEN SPACE	N/A	1.03 AC.	10.3%

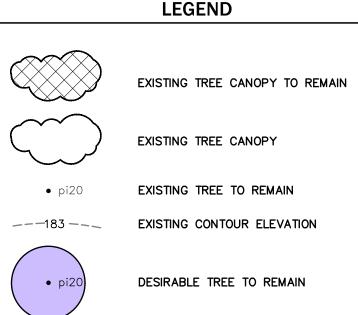




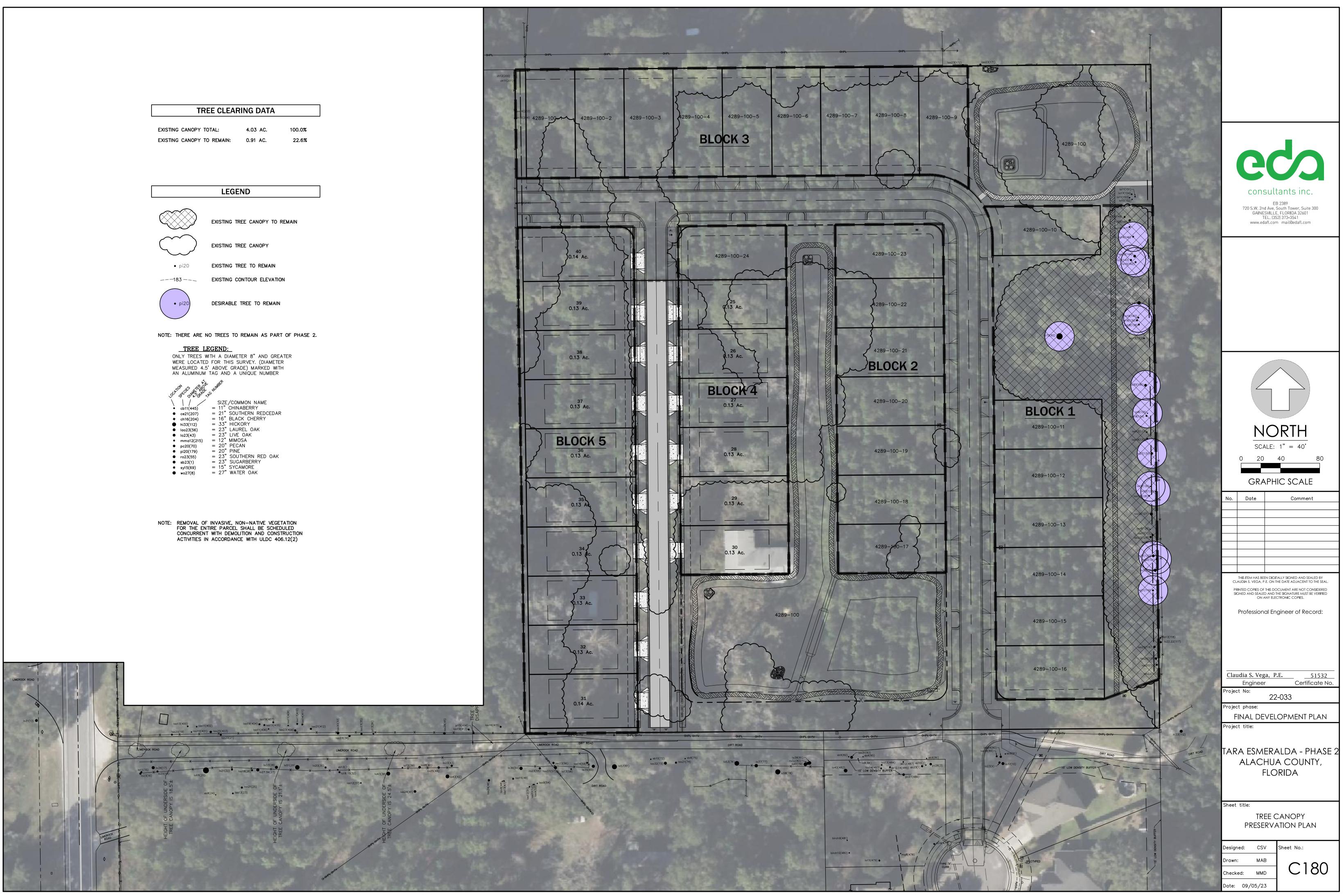
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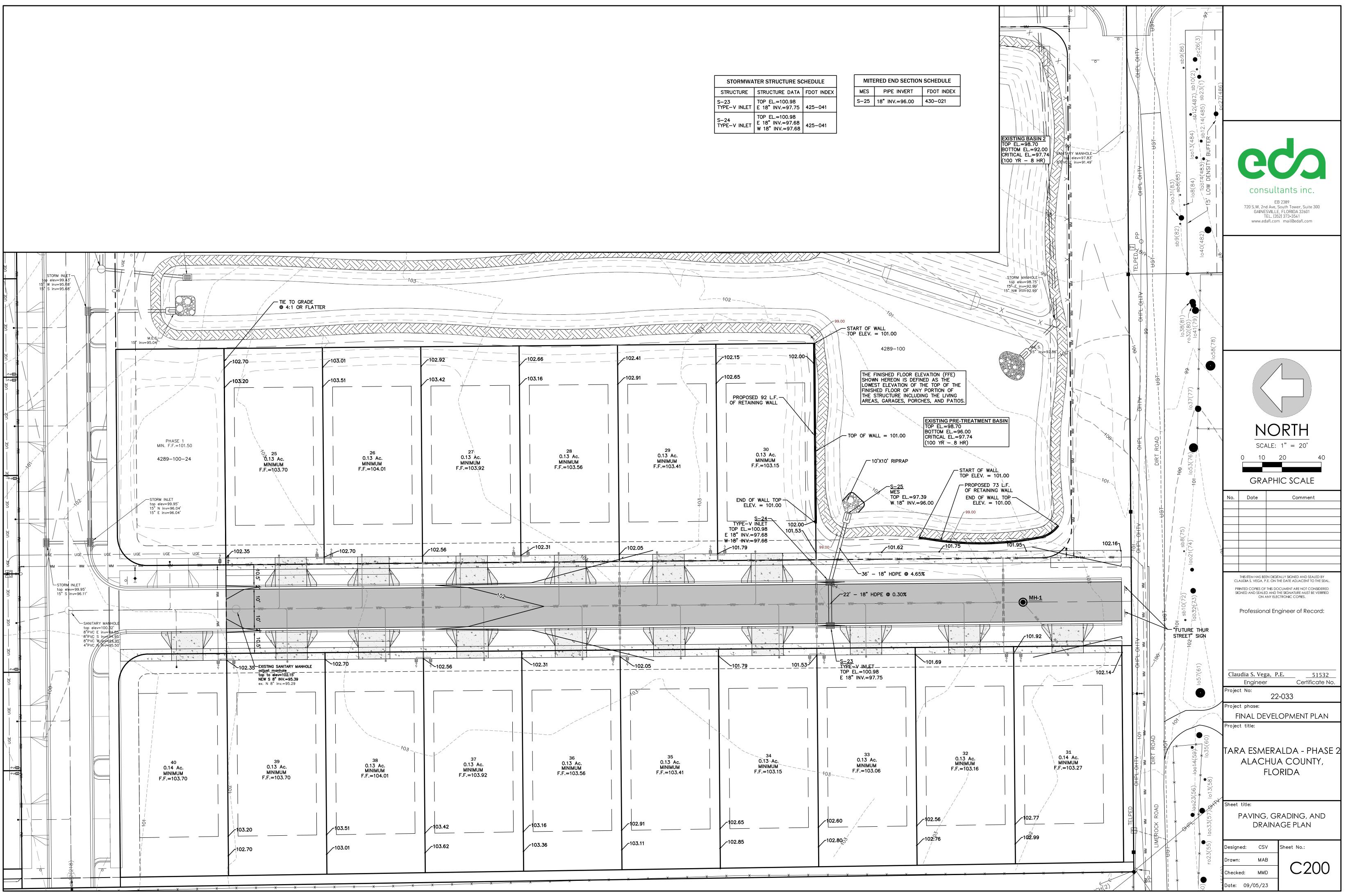
4.03 AC. EXISTING CANOPY TO REMAIN: 0.91 AC.

100.0%



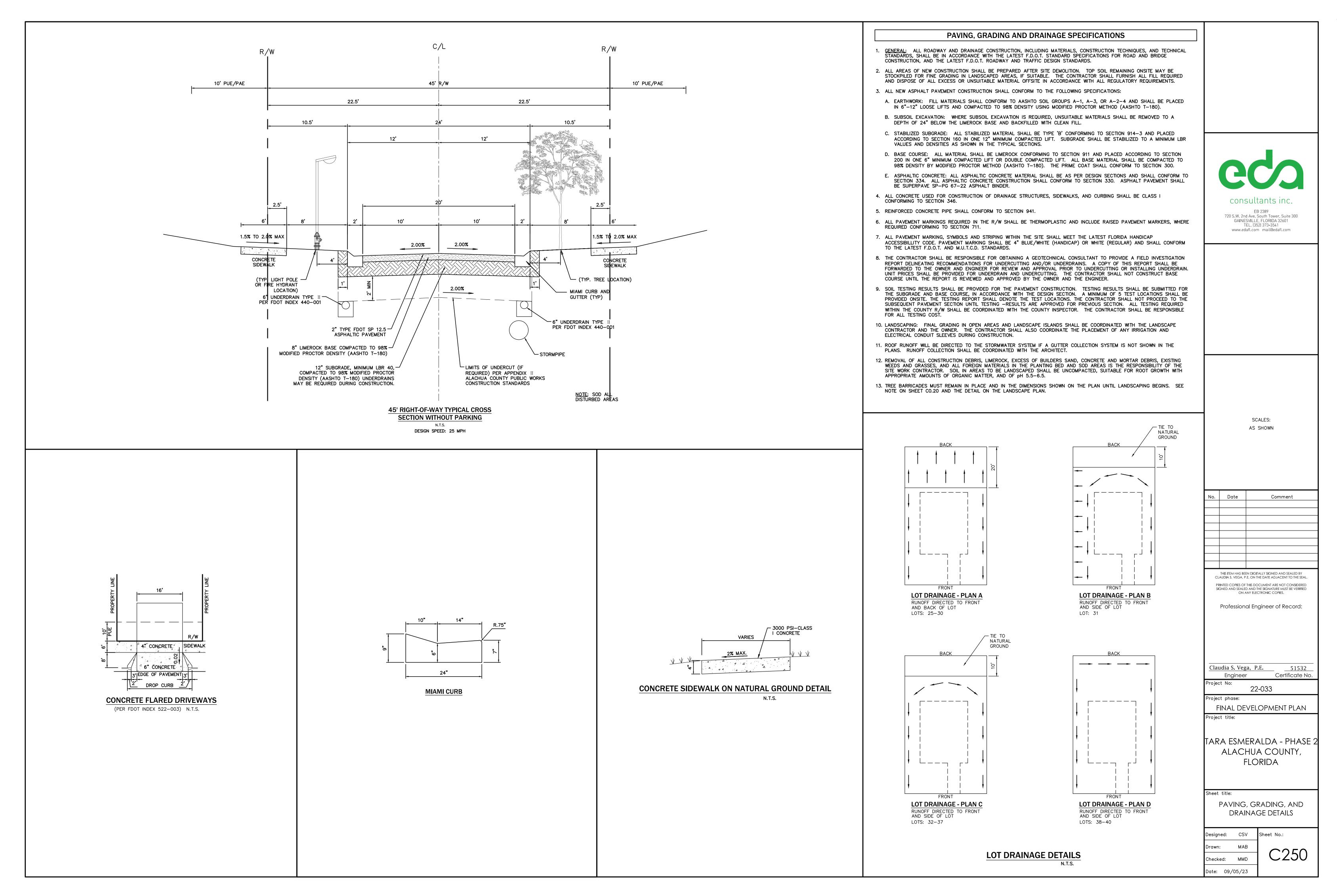
AN ALUMINUM TAG AND A UNÍQUE NUMBER JCA. SEC. DIAMES CAD'TA SIZE/COMMON NAME $\langle | / /$ • cb11(445) = 11" CHINABERRY • ce21(207) = 21" SOUTHERN REDCEDAR ★ ch16(204) = 16" BLACK CHERRY • hi33(112) = 33" HICKORY = 23" LAUREL OAK Iao23(56) • Io23(43) = 23" LIVE OAK • mma12(215) = 12" MIMOSA • pc20(70) = 20" PECAN• pi20(179) = 20" PINE





STORMWATER STRUCTURE SCHEDULE				
STRUCTURE	STRUCTURE DATA	FDOT INDEX		
S-23 TYPE-V INLET	TOP EL.=100.98 E 18" INV.=97.75	425-041		
S-24 TYPE-V INLET	TOP EL.=100.98 E 18" INV.=97.68 W 18" INV.=97.68	425–041		

MITERED END SECTION SCHEE				
MES	PIPE INVERT	FDOT		
S-25	18" INV.=96.00	430-0		



THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MAY BE MODIFIED AND UPDATED DURING CONSTRUCTION AS A RESULT OF WEATHER, UNPREDICTABLE EVENTS AND SITE INSPECTIONS.

THIS DOCUMENT WAS PREPARED IN ORDER TO BE IN COMPLIANCE WITH CHAPTER 62-621.300 (4) OF THE FLORIDA ADMINISTRATIVE CODE, WHICH PERTAINS TO THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. THE ADMINISTRATIVE CODE GRANTS THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) THE AUTHORITY TO REGULATE POINT SOURCE DISCHARGES OF STORM-WATER FROM CONSTRUCTION SITES. THIS DOCUMENT ESTABLISHES A STORMWATER POLLUTION PREVENTION PLAN FOR THE SITE AND IS ORGANIZED TO CORRESPOND TO PART V OF DEP DOCUMENT No. 62-621.300 (4) (A) FDEP FORM 62-261.300 (4) (B) IS TO BE SUBMITTED IN CONJUNCTION WITH THIS DOCUMENT.

- I. PROJECT INFORMATION:
- PROJECT: TARA ESMERALDA PHASE 2 COUNTY: ALACHUA COUNTY, FLORIDA SECTION/TOWNSHIP/RANGE: S 34, T 9 SOUTH, R 18 EAST COUNTY PARCEL NO.: 04289-000-000 LATITUDE AND LONGITUDE: 29°39'59.1"N 82°29'35.6"W STREET ADDRESS: NW 143 ST, ALACHUA, FL PROJECT AREA: 10.03 ACRES
- APPROXIMATE AREA TO BE DISTURBED BY CONSTRUCTION: 2.61 Ac.
- II. SITE DESCRIPTION:
- PHASE 2 OF THE PROPOSED DEVELOPMENT WILL CONSIST OF THE CONSTRUCTION OF A 16 LOT RESIDENTIAL PLATTED SUBDIVISION WITH ASSOCIATED DRAINAGE AND UTILITY IMPROVEMENTS.
- THE PROPOSED STORMWATER SYSTEM CONSISTS OF EXISTING MASTER STORMWATER BASINS WHICH PROVIDE WATER QUALITY, AND FLOOD CONTROL FOR THE PROPOSED PROJECT. THIS IS THE SECOND PHASE OF THE PROJECT PERMITTED UNDER ERP-239694.
- THE SOIL CONDITIONS WERE INVESTIGATED AND SUMMARIZED IN THE SOILS REPORT PREPARED BY GSE ENGINEERING & CONSULTING, INC. THE PROPOSED DRAINAGE PLAN WILL CONSIST OF 5 DRAINAGE AREAS. AREA (1): 7.78 ACRES OF RUNOFF WILL BE ATTENUATED BY PRE-TREATMENT BASIN 1. AREA (2): 0.42 ACRES OF RUNOFF WILL BE SELF CONTAINED IN BASIN 2. AREA (3): 3.13 ACRES OF RUNOFF WILL BE ATTENUATED BY BASIN 3. AREA (4): 1.76 ACRES WILL BE UNMODIFIED AND CONTINUE TO SHEET FLOW TO THE NORTH EAST AS IN EXISTING CONDITIONS. AREA (5): 5.24 ACRES OF RUNOFF WILL BE ATTENUATED BY THE MODIFIED STRAWBERRY FIELDS BASIN 4.
- 3. EXISTING AND FUTURE DRAINAGE PATTERNS ARE SHOWN ON THE DRAINAGE PLAN FOR PRE-DEVELOPMENT CONDITIONS AND POST-DEVELOPMENT CONDITIONS. OUTFALLS, AND STORMWATER BASINS ARE SHOWN IN THE DRAINAGE PLAN AND THE DETAIL PLAN.
- 4. SEQUENCE OF CONSTRUCTION:
- A. PRIOR TO CONSTRUCTION, SILT FENCING AND TREE PROTECTION BARRICADES SHALL BE INSTALLED AND ALL EXISTING DRAINAGE STRUCTURES SHALL BE PROTECTED IN ACCORDANCE WITH THE FDOT FLORIDA EROSION AND SEDIMENTATION CONTROL MANUAL
- B. THE CONSTRUCTION ENTRANCE(S) WILL BE STABILIZED TO MINIMIZE THE CREATION OF DUST AND OFF SITE TRACKING OF SEDIMENTS.
- C. THE SITE SHALL BE CLEARED AND GRUBBED OF UNDESIRABLE VEGETATION.
- D. THE UNDERGROUND UTILITIES AND STORMWATER PIPING WILL BE INSTALLED AND CONNECTED TO EXISTING STRUCTURES. E. THE SITE WILL BE ROUGHLY GRADED. IF SUITABLE, THE EXCAVATED MATERIAL MAY BE USED AS
- FILL FOR ON-SITE GRADING. THE ROADWAYS SHALL BE GRADED. (THE BASIN AREA SHALL BE STABILIZED AS SPECIFIED IN THE PLANS.)
- F. ROADWAYS AND PARKING LOTS WILL BE COMPACTED AND A LIMEROCK BASE WILL BE ESTABLISHED FOLLOWED BY AN OVERLAY OF ASPHALTIC CONCRETE. BUILDINGS SHALL BE CONSTRUCTED.
- G. UPON SIGNIFICANT COMPLETION OF CONSTRUCTION, THE STORMWATER SYSTEM SHALL BE FLUSHED OUT TO REMOVE ACCUMULATED DEBRIS AND SEDIMENT.
- H. ALL DISTURBED AREAS WITHIN THE CONSTRUCTION AREA SHALL BE COMPLETELY GRASSED AND/OR LANDSCAPED. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS.

III. CONTROLS:

THE CONTROLS SHALL BE IMPLEMENTED AND MAINTAINED DURING THE ENTIRE CONSTRUCTION OF THE PROJECT. IF SITE CONDITIONS ARE SUCH THAT ADDITIONAL CONTROL MEASURES ARE REQUIRED THAN WHAT IS SPECIFIED IN THE EROSION AND SEDIMENTATION CONTROL PLAN, THEN THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES NECESSARY

- THE CONSTRUCTION ACCESS SHALL BE STABILIZED WITH GRAVEL AND TEMPORARY VEGETATION TO PREVENT SILT LEAVING THE SITE.
- TREE BARRICADES SHALL BE IMPLEMENTED BEFORE CLEARING AND GRUBBING OF ANY OF THE WORK
- 3. BEFORE CLEARING. SILT FENCES SHALL BE INSTALLED AROUND THE PERIMETER OF THE CONSTRUCTION AND AROUND THE WETLAND(S) AND/OR BASIN(S) AS SHOWN IN THE PLANS. ALL EXISTING STORM DRAINAGE SWALES AND INLETS SHALL BE PROTECTED PER THE FDOT FLORIDA EROSION AND SEDIMENTATION CONTROL MANUAL.
- AFTER CLEARING BUT BEFORE EXCAVATION AND GRADING, TEMPORARY BERMS AND SWALES SHALL BE CONSTRUCTED AS REQUIRED TO DIVERT THE FLOW INTO THE CORRESPONDING STORMWATER BASIN.
- 5. DURING CONSTRUCTION OF PAVING AND BUILDINGS, EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS REQUIRED.
- ALL DISTURBED AREAS WITHIN THE CONSTRUCTION SITE SHALL BE COMPLETELY LANDSCAPED AND/OR GRASSED. FINAL STABILIZATION (INCLUDING SEEDING, MULCHING, SODDING OR RIPRAP) SHALL BE INSTALLED AS REQUIRED. GRASS SEEDING RATES AND MIXTURES SHALL BE PER FDOT INDEX 104. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS AND PRIOR TO FINAL RELEASE.

IV. EROSION AND SEDIMENTATION CONTROLS:

STABILIZATION PRACTICES

- 1. ALL ENTRANCES TO THE SITE SHALL BE STABILIZED BEFORE CONSTRUCTION AND FURTHER DISTURBANCE BEGINS. GRAVEL PAD SHALL PROVIDE STABILIZATION AND MINIMIZE THE AMOUNT OF SEDIMENT LEAVING THE SITE. MAINTENANCE OF THE ENTRANCE SHALL INCLUDE SWEEPING OF THE AREA ADJACENT TO THE ENTRANCE. STONE AND GRAVEL MIGHT NEED TO BE PERIODICALLY ADDED TO MAINTAIN THE EFFECTIVENESS OF THE ENTRANCE(S).
- 2. TREE BARRICADES SHALL BE INSTALLED AROUND THE TREES AS SHOWN IN THE DETAIL PLAN TO PROTECT THE EXISTING VEGETATION.
- 3. MULCH SHALL BE PLACED IN THE AREAS REQUIRED TO PREVENT EROSION FROM STORMWATER RUNOFF AND THE AREAS SHOWN ON THE PLANS. MULCH SHALL BE ANCHORED TO RESIST WIND DISPLACEMENT AND SHALL BE INSPECTED AFTER EVERY RAINSTORM TO IDENTIFY AREAS WHERE MULCH HAS BEEN WASHED OUT OR LOOSENED. THESE AREAS SHALL HAVE MULCH COVER REPLACEMENT.
- 4. SEEDING SHALL BE STARTED AFTER GRADING HAS BEEN FINISHED ON THE AREAS SHOWN IN THE PLANS. SEEDED AREAS SHOULD BE INSPECTED FOR FAILURE TO ESTABLISH, AND NECESSARY REPAIRS AND RESEEDING SHOULD BE MADE AS SOON AS POSSIBLE. ADDITIONAL SEEDING AND MULCH MAY BE REQUIRED AS NECESSARY TO PREVENT EROSION DURING OR AFTER CONSTRUCTION HAS FINISHED.
- 5. SOD SHALL BE INSTALLED IN THE AREAS SHOWN IN THE PLANS. SOD SHALL BE PEGGED IF INSTALLED ON SLOPES GREATER THAN 3:1. SODDED AREAS SHALL BE MAINTAINED AND INSPECTED TO ENSURE SUCCESSFUL ESTABLISHMENT.

SEDIMENTATION PRACTICES

- 1. SILT FENCES SHALL BE INSTALLED IN THE AREAS SHOWN IN THE PLANS AND SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT TO ENSURE THAT THERE ARE NO GAPS OR TEARS. IF GAPS OR TEARS ARE FOUND THE FABRIC SHOULD BE REPAIRED OR REPLACED. SEDIMENT REMOVAL SHALL BE PART OF THE REGULAR MAINTENANCE. SILT FENCES SHALL REMAIN IN PLACE STABILIZED.
- 2. DIVERSION SWALES, IF REQUIRED, SHALL BE CONSTRUCTED BEFORE MAJOR LAND DISTURBANCE OF THE RECEIVING BASIN. DIVERSION SWALES SHALL BE STABILIZED AFTER CONSTRUCTION TO MAINTAIN ITS EFFICIENCY.
- 3. INLETS SHOULD BE TEMPORARILY PROTECTED TO PREVENT SEDIMENT ENTERING THE INLET. BARRIERS WILL CATCH SOIL, DEBRIS AND SEDIMENT AT THE ENTRANCE OF THE INLET.
- 4. OUTFALL STRUCTURES SHALL HAVE SILT FENCES TO PREVENT SILT FROM ENTERING THE STORMWATER BASINS AND SHALL BE STABILIZED AS REQUIRED TO PREVENT EROSION FROM WASHOUTS.

V. STORMWATER MANAGEMENT:

1. THE PROPOSED PROJECT OBTAINED AN ENVIRONMENTAL RESOURCE PERMIT FOR THE CONSTRUCTION AND OPERATION OF A STORMWATER TREATMENT SYSTEM AND CONTROLS. THE PROPOSED SYSTEM (AS SHOWN ON THE PLANS) UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETED AND FINAL STABILIZATION HAS BEEN ACCOMPLISHED. HOWEVER, THE OWNER AND/OR AN ENTITY SIMILAR AND MAINTENANCE OF THE STORMWATER SYSTEM IN PERPETUITY, IN ACCORDANCE WITH THE REQUIREMENTS OF THE ENVIRONMENTAL RESOURCE PERMIT.

VI. CONTROLS FOR OTHER POTENTIAL POLLUTANTS:

- THE ISSUED ENVIRONMENTAL RESOURCE PERMIT 2. THE USE OF GRAVEL AND CONTINUING SWEEPING ACTIVITIES AT THE ENTRANCE
- THE SITE 3. THE PROPOSED DEVELOPMENT WILL PROVIDE WATER AND SEWER SYSTEM BY CONNECTING INTO THE CENTRAL MUNICIPAL SYSTEM OF GAINESVILLE REGIONAL UTILITIES.
- 4. ANY APPLICATION OF FERTILIZERS AND PESTICIDES NECESSARY TO ESTABLISH AND MAINTENANCE OF VEGETATION DURING CONSTRUCTION AND THROUGH PERPETUITY MAINTENANCE SHALL FOLLOW THE MANUFACTURERS
- 5. ANY TOXIC MATERIALS REQUIRED DURING CONSTRUCTION SHALL BE PROPERLY STORED, DISPOSED OF AND CONTRACTOR AND/OR OWNER SHALL PROVIDE THE APPROPRIATE PERMITS FROM THE LOCAL OR STATE AGENCIES.

VII. APPROVED STATE OR LOCAL PLANS:

- 1. ALL THE SEDIMENT AND EROSION CONTROLS THAT ARE LISTED IN THE SITE PLAN AS APPROVED BY THE SRWMD ARE INCLUDED IN THIS STORMWATER POLLUTION PREVENTION PLAN (SEE ITEM III AND IV).
- 2. THIS STORMWATER POLLUTION PREVENTION PLAN SHALL BE AMENDED IF REQUIRED BY ANY LOCAL OR STATE AGENCY OR AS REQUIRED BY UNFORESEEABLE CONDITIONS AND THE OWNER SHALL SUBMIT A RE-CERTIFICATION TO THE NPDES STATE OFFICE THAT THE PLAN HAS BEEN AMENDED TO ADDRESS THOSE CHANGES.

AS REQUIRED TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION AREA. UNTIL CONSTRUCTION HAS FINISHED AND DISTURBED AREAS ARE PERMANENTLY

(ERP-239694) FROM SUWANNEE RIVER WATER MANAGEMENT DISTRICT (SRWMD) INCLUDED THE USE OF THE BEST MANAGEMENT PRACTICES (BMP) CONSISTENT WITH THE APPLICABLE REQUIREMENTS OF RULE 40C-42 OF THE DISTRICT. THE OWNER AND/OR THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER TREATMENT SYSTEM AND CONTROLS TO A HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE OPERATION

. WASTE DISPOSAL: NO SOLID MATERIALS, INCLUDING CONSTRUCTION MATERIALS, SHALL BE DISCHARGED TO SURFACE WATERS AND ARE NOT AUTHORIZED UNDER

OF THE SITE WILL CONTROL THE TRACKING OF SEDIMENT AND DUST LEAVING

RECOMMENDATIONS AND THE APPLICABLE RULES OF THE STATE OF FLORIDA.

VIII. MAINTENANCE:

THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE, INSPECTION SCHEDULE, AND REPAIRS OUTLINED IN THIS PLAN. MAINTENANCE SHALL CONTINUE THROUGHOUT THE PROJECT UNTIL WORK IS COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER CONSTRUCTION IS COMPLETE.

IN ADDITION TO THE ITEMS MENTIONED IN THE PREVIOUS SECTIONS, THE CONTRACTOR SHALL INITIATE ANY REPAIRS WITHIN 24 HOURS OF BEING REPORTED. IN THE EVENT THAT THE BASINS DO NOT PERFORM PROPERLY OR IF A SINKHOLE DEVELOPS, THE PROJECT ENGINEER SHALL BE NOTIFIED TO ASSIST IN COORDINATING REMEDIAL ACTION.

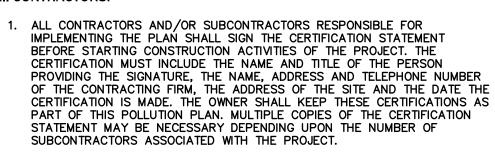
- 1. MAINTENANCE WOULD BE DIVIDED IN ROUTINE MAINTENANCE AND REPAIR MAINTENANCE. ALL STORMWATER BMP'S SHOULD BE INSPECTED FOR CONTINUED EFFECTIVENESS AND STRUCTURAL INTEGRITY ON A REGULAR BASIS. THE SYSTEMS SHOULD BE CHECKED AFTER EACH STORM EVENT IN ADDITION TO REGULARLY SCHEDULED INSPECTIONS.
- 2. ROUTINE MAINTENANCE REQUIREMENTS SHOULD BE INCLUDED IN THE INSPECTOR CHECKLIST TO AID THE INSPECTOR IN DETERMINING WHETHER A BMP'S MAINTENANCE IS ADEQUATE OR NEEDS A REVISION. INSPECTORS SHALL KEEP RECORD OF MAINTENANCE, ROUTINE OR REPAIR, TO PROVIDE EVIDENCE OF AN EFFICIENT INSPECTION AND MAINTENANCE.
- 3. SIDE ENTRANCES: MAINTENANCE SHALL INCLUDE REPLACEMENT OF GRAVEL AND CLEANING THE SOIL THAT IS TRACKED OFFSITE FOR PROPER DISPOSAL
- 4. TREE BARRICADES: MAINTENANCE SHALL INCLUDE INSPECTION OF MESH AND POSTS AND REPAIR OR REPLACEMENT OF DAMAGED VEGETATION.
- 5. SILT FENCES: MAINTENANCE SHALL INCLUDE SEDIMENT REMOVAL AND INSPECTION TO ENSURE PROPER ANCHORING AND THAT NO TEARING OR GAPS HAVE OCCURRED. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF SILT FENCE.
- 6. DIVERSION SWALES: MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY RAINFALL EVENT AND ONCE EVERY TWO WEEKS BEFORE FINAL STABILIZATION. THEY SHOULD BE CLEARED OF SEDIMENT AND MAINTAIN VEGETATIVE COVER.
- 7. TEMPORARY BERMS: MAINTENANCE SHALL INCLUDE REMOVAL OF DEBRIS, TRASH SEDIMENT AND LEAVES. SIDES OF THE BERM SHALL BE INSPECTED FOR EROSION AFTER EACH STORM EVENT.
- 8. MULCHING: ROUTINE MAINTENANCE SHALL INCLUDE REPLACEMENT PERIODICALLY.
- 9. SEEDING: ROUTINE MAINTENANCE SHALL INCLUDE RESEEDING OF AREAS THAT FAILED TO ESTABLISH.
- 10. SODDING: ROUTINE MAINTENANCE SHALL INCLUDE WATERING AND MOWING. REPLACEMENT OF GRASS MAY BE NECESSARY IF COVER IS NOT FULLY ESTABLISHED.
- 11. INLETS: ROUTINE MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY STORM EVENT AND MIGHT INCLUDE REMOVAL OF ACCUMULATED SEDIMENT.
- 12. OUTFALL STRUCTURES: ROUTINE MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY STORM EVENT TO ASSURE NO EROSION OR SCOUR HAS OCCURRED.

- IX. INSPECTIONS:
- 1. THE OWNER AND /OR CONTRACTOR SHALL PROVID TO INSPECT ALL POINTS OF POTENTIAL DISCHARG FOR DISTURBED AREAS, THE EROSION AND SEDIM BMP'S AS LISTED IN THIS PLAN. THE INSPECTION DURING CONSTRUCTION AND BEFORE FINAL STABI SEVEN-CALENDAR DAYS AND WITHIN 24 HOURS (THAT IS GREATER THAN 0.50 INCHES. AFTER FINA BEFORE FINISH OF CONSTRUCTION THE INSPECTION ONCE EVERY MONTH.
- 2. THE CONTRACTOR SHALL INSTALL A RAIN GAUGE AT THE SITE TO MONITOR AND DOCUMENT RAINFALL EVENTS IN EXCESS OF 0.50 INCHES.
- 3. ALL DISTURBED AREAS AND AREAS USED FOR MATERIALS STORAGE SHALL BE INSPECTED FOR POLLUTANTS ENTERING THE STORMWATER SYSTEM. THE STORMWATER MANAGEMENT SYSTEM AND EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE INSPECTED TO ENSURE THEY ARE OPERATING CORRECTLY. LOCATIONS WHERE VEHICLES ENTER AND LEAVE THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING.
- 4. REPAIR OR MAINTENANCE NEEDED TO ASSURE PROPER OPERATION OF THE STORMWATER POLLUTION PREVENTION PLAN SHALL BE DONE IN A TIMELY MANNER BUT NO LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.
- 5. A REPORT SHALL BE KEPT OF EACH INSPECTION FOR THREE YEARS AFTER FINAL STABILIZATION AND SHALL INCLUDE THE DATES OF EACH INSPECTION, THE SCOPE OF THE INSPECTION, MAJOR OBSERVATIONS, ANY REPAIR AND/OR MAINTENANCE REQUIRED AND ANY INCIDENT OF NON-COMPLIANCE. IF THE REPORT DOES NOT CONTAIN ANY INCIDENTS OF NON-COMPLIANCE, THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY HAS BEEN IN COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND THE NPDES PERMIT. THE REPORT SHALL INCLUDE THE NAME AND QUALIFICATIONS OF THE INSPECTOR AND SHALL BE SIGNED IN ACCORDANCE TO FDEP RULE 62-621.300, PART VII.C. A COPY OF THE CONSTRUCTION INSPECTION FORM IS INCLUDED ON THIS STORMWATER POLLUTION PREVENTION PLAN SHEET. A COPY SHALL BE RETAINED AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

X. NON-STORMWATER DISCHARGES:

- 1. THE FOLLOWING NON-STORMWATER DISCHARGES MIGHT BE COMBINED WITH STORMWATER AND WOULD BE AUTHORIZED AS PART OF THIS PERMIT: FIRE HYDRANT FLUSHING, CONTROL OF DUST, POTABLE WATER FLUSHING AND IRRIGATION DRAINAGE. BECAUSE OF THE NATURE OF THESE DISCHARGES, THE EROSION, STABILIZATION AND TREATMENT SYSTEMS TO BE IMPLEMENTED, AS PART OF THIS PLAN WOULD BE APPROPRIATE TO PREVENT AND TREAT ANY POLLUTION RELATED TO THESE NON-STORMWATER DISCHARGES.
- 2. DISCHARGES FROM DEWATERING ACTIVITIES ASSOCIATED WITH SITE CONSTRUCTION ARE NOT AUTHORIZED AND REQUIRED CONSTRUCTION OF TEMPORARY SEDIMENTATION BASINS AND USE OF APPROPRIATE FLOCCULATING AGENTS TO ENHANCE PARTICLE SEGREGATION AND SPEED UP SETTLING OF PARTICLES.

XI. CONTRACTORS:



STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT FORM

Inspections must occur at least once a week and within 24 hours of the end of a storm event that is 0.50 inches or greater.

PROJECT NAME: __TARA ESMERALDA - PHASE 2

OWNER:				CONTRACTOR:			
CONSTRU	CTION MANAGER:						
Date of Inspection	Location	Rain data	Type of control (see below)	Date installed / modified	Current Condition (see below)	Observations or Corrective Action / Other Remarks	Inspected By
		_					
		_					
		_					
CONDITIC	ON CODE:	G = Good C = Needs te	o be cleaned			or replacement soon O = Other nance or replacement	

CONTROL TYPE CODES

CONTROL TIFE CODES			
1. Silt Fence	10. Storm drain inlet protection	19. Reinforced soil retaining system	28. Tree protection
2. Earth dikes	11. Vegetative buffer strip	20. Gabion	29. Detention pond
3. Structural diversion	12. Vegetative preservation area	21. Sediment Basin	30. Retention pond
4. Swale	13. Retention Pond	22. Temporary seed / sod	31. Waste disposal / housekeeping
5. Sediment Trap	14. Construction entrance stabilization	23. Permanent seed / sod	32. Dam
6. Check dam	15. Perimeter ditch	24. Mulch	33. Sand Bag
7. Subsurface drain	16. Curb and gutter	25. Hay Bales	34. Other
8. Pipe slope drain	17. Paved road surface	26. Geotextile	
9. Level spreaders	18. Rock outlet protection	27. Rip-rap	

INSPECTOR INFORMATION:

Oualification

Name Date The above signature also shall certify that this facility is in compliance with the Stormwater Pollution Prevention Plan and the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities if there are not any incidents of non compliance identified above.

* * * * * *

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

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SHALL BE PERFORMED
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OF THE END OF A STORM
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N SHALL BE CONDUCTED

CERTIFICATION STATEMENT

CONTRACTING FIRM:

PROJECT ADDRESS:

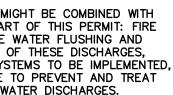
PROJECT ADDRESS:

CITY, STATE, ZIP CODE:

CITY, STATE, ZIP CODE:

ADDRESS:

TELEPHONE:



FDEP NPDES STORMWATER IDENTIFICATION NO.: FLR10

720 S.W. 2nd Ave, South Tower, Suite 300 GAINESVILLE, FLORIDA 32601 TEL. (352) 373-3541 www.edafl.com mail@edafl.com

No.	Date		Co	mment	:	
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Cla	udia S. Veg	ga, P	.E.	5	51532	_
	Enginee	r	(Certific	cate No).
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	STORMV PREV		er po fion f		ON	
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Drawn:

Checked:

Date: 09/05/23

MMD



. FLORIDA. SIGNATURE:

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND AND SHALL

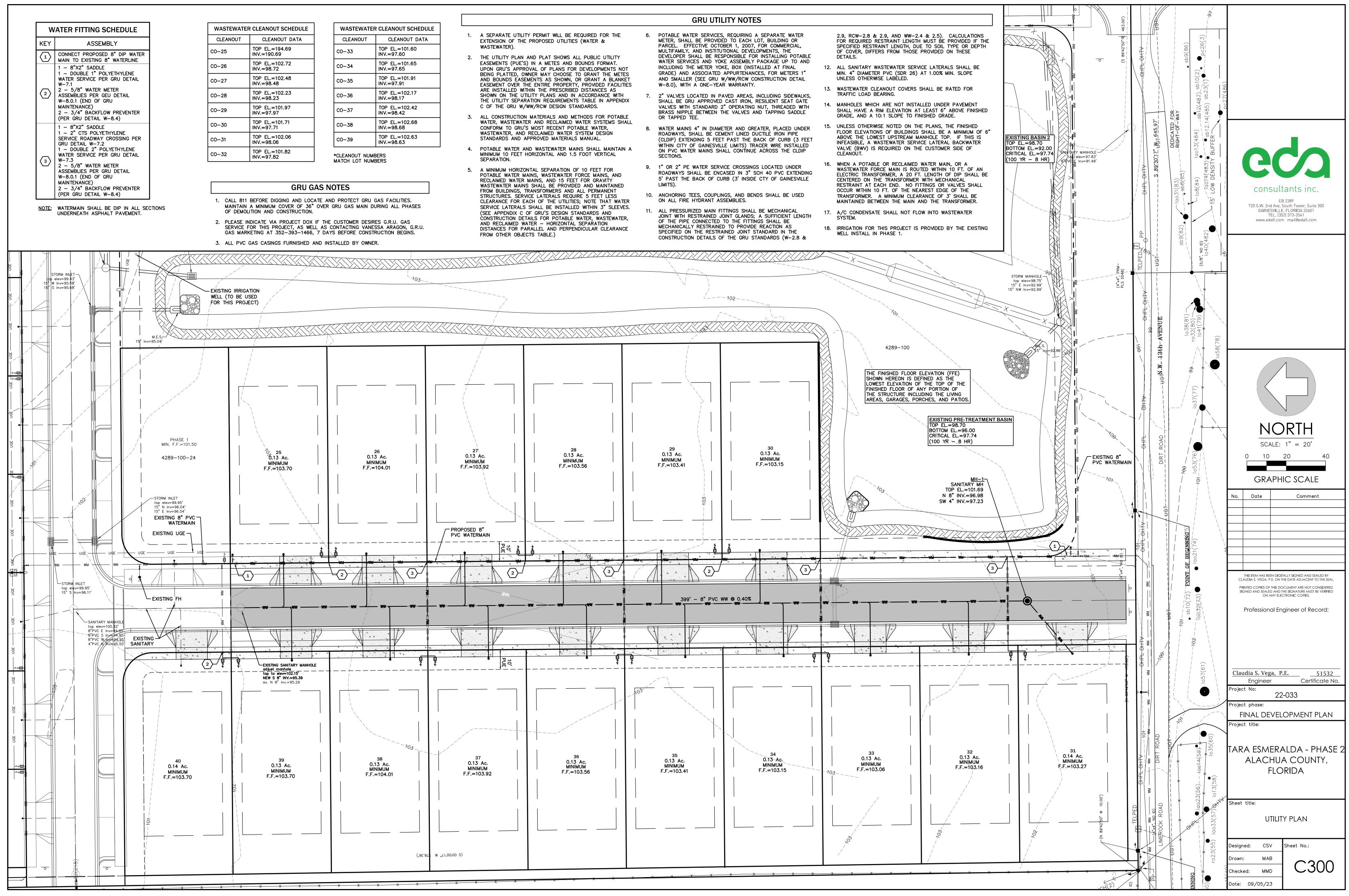
CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION

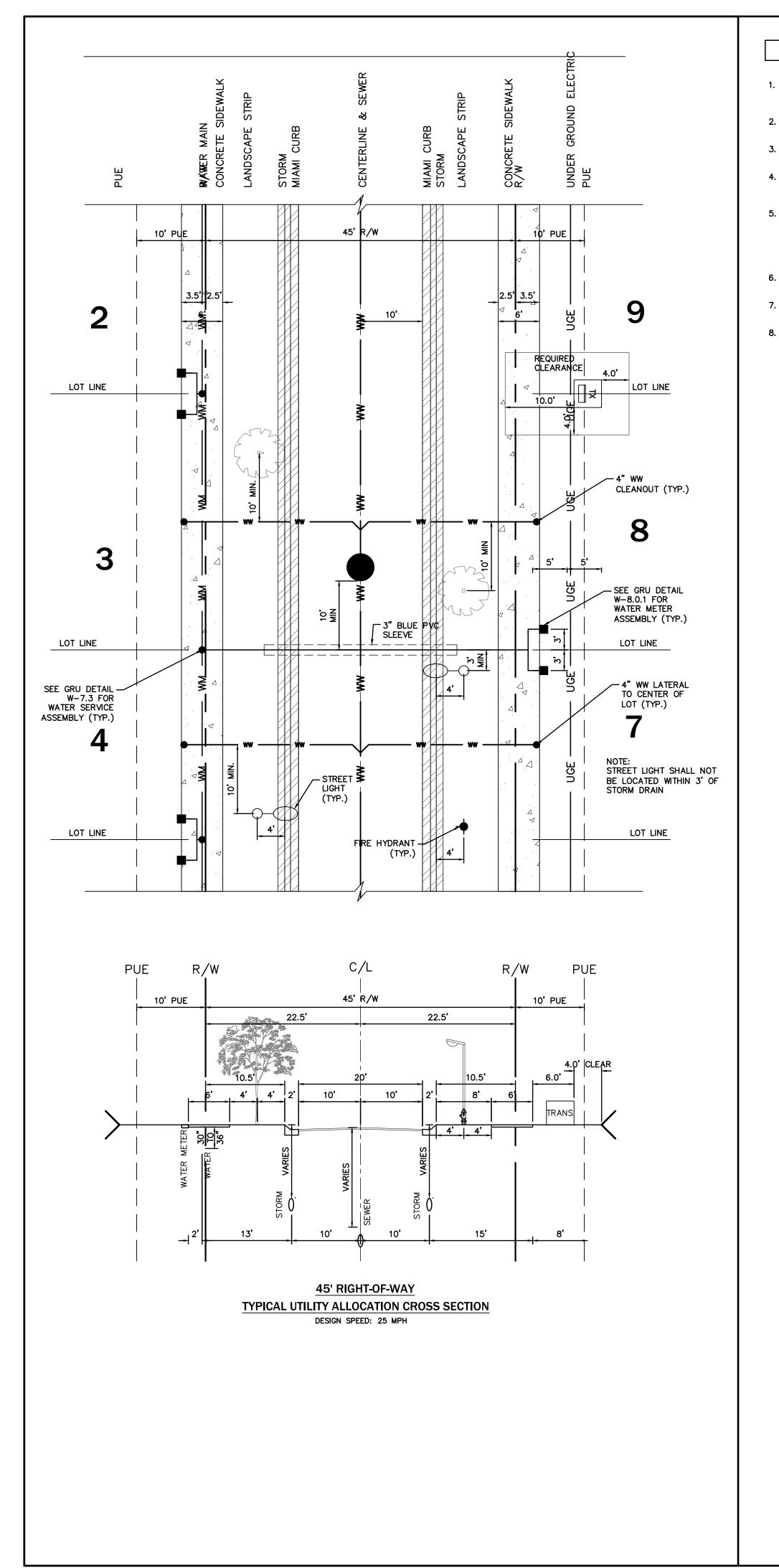
PREVENTION PLAN PREPARED THEREUNDER."

PROJECT NAME: TARA ESMERALDA - PHASE 2

COMPLY WITH THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA

GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL



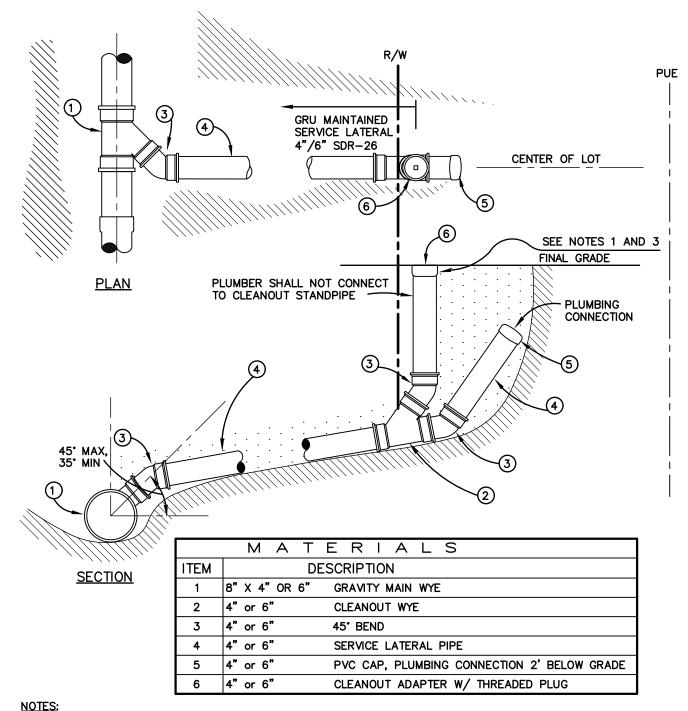


ENGINEERING DEPARTMENT. UTILITY INSTALLATION SHALL BARRICADE AREA AS SHOW DRAINAGE PLAN. THE CONTRACTOR SHALL BE UNSUITABLE MATERIALS OFF MATERIAL PER CITY OF GAIN BACKFILL AT NO ADDITIONAL CONTRACTOR MAY DISPOSE APPROVAL OF THE OWNER. NO PERMANENT STRUCTURE FEET OF ANY WATER LINE CONTRACTOR SHALL PROTECT

GENERAL UTILITY NOTES

- CONTRACTOR IS RESPONSIBLE FOR PROTECTION AND VERIFICATION OF EXISTING UTILITIES. ANY EXISTING UTILITY TO BE MODIFIED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER.
 WATER METER ASSEMBLIES SHALL BE INSTALLED BY GRU.
- 3. ELECTRIC SERVICE TO BE COORDINATED WITH GRU ELECTRIC
- 4. UTILITY INSTALLATION SHALL NOT TAKE PLACE WITHIN TREE BARRICADE AREA AS SHOWN ON THE PAVING, GRADING AND DRAINAGE PLAN.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF UNSUITABLE MATERIALS OFF-SITE AND FURNISH APPROVED MATERIAL PER CITY OF GAINESVILLE FOR SANITARY SEWER LINES BACKFILL AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR MAY DISPOSE OF UNSUITABLE MATERIAL ON-SITE BY APPROVAL OF THE OWNER.
- NO PERMANENT STRUCTURE SHALL BE CONSTRUCTED WITHIN 10 FEET OF ANY WATER LINE OR 15 FEET OF ANY SEWER LINE.
 CONTRACTOR SHALL PROTECT LANDSCAPE AND ANY DISTURBED
- AREAS SHALL BE RESTORED AS EXISTING.8. ANY DEVIATION FROM SPECIFIED LOCATION THAT BRINGS UTILITY INSTALLATION WITHIN 20' OF ANY EXISTING TREE REQUIRES AN

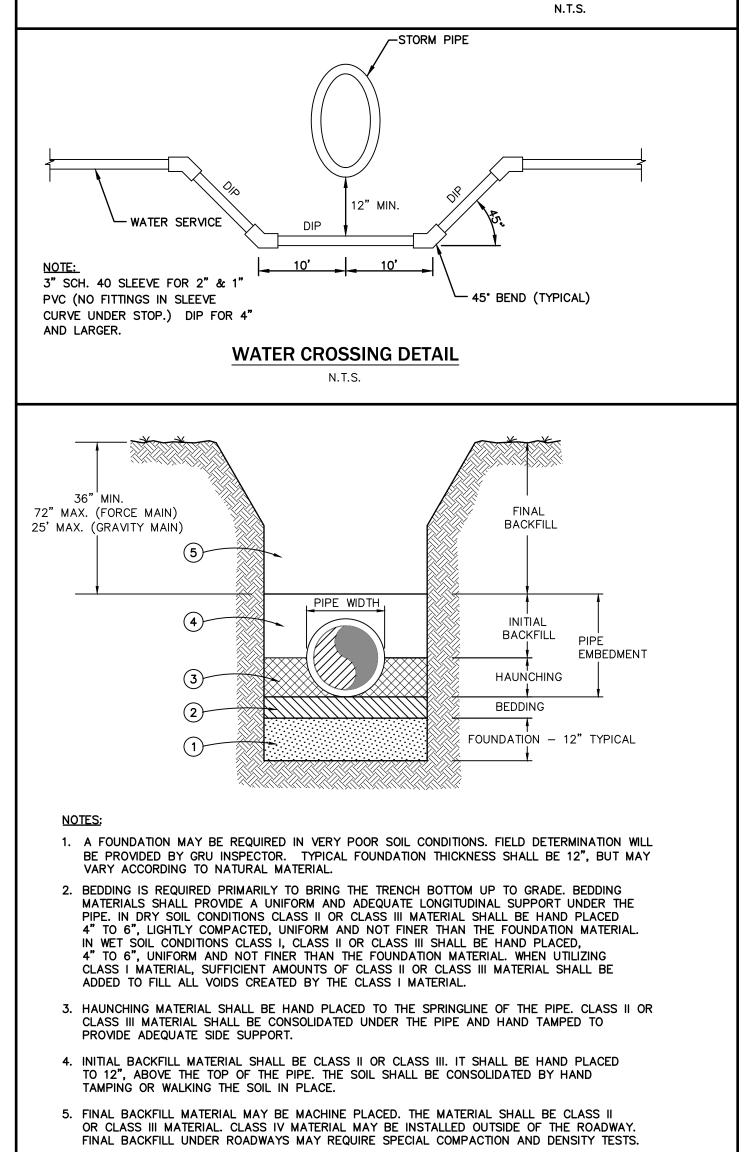
ON-SITE MEETING WITH THE COUNTY ARBORIST.



<u>NOTES</u>: 1. PLUMBER SHALL NOT CONNECT TO CLEANOUT STANDPIPE.

- 2. PVC (SDR-26) WYES ARE ACCEPTABLE. PVC T-WYE & STANDARD TEES ARE UNACCEPTABLE.
- 3. CLEANOUTS SHALL BE INSTALLED 3' ABOVE GRADE FOR SINGLE FAMILY RESIDENCES.
- 4. WHERE CLEANOUT IS WITHIN PARKING LOT AND/OR PAVING OR SIDEWALK, CLEANOUT MUST BE INSTALLED 3"-4" BELOW FINAL GRADES WITH TRAFFIC BEARING COVER AT FINAL GRADE.
- 5. WHERE CLEANOUT IS NOT WITHIN PAVEMENT OR SIDEWALK, IT MUST BE INSTALLED FLUSH WITH SURFACE WITH A SLOTTED OR SQUARE RECESS COVER.

WASTEWATER SERVICE LATERAL CONSTRUCTION (WW-5.0)



BACKFILL REQUIREMENTS (WW-2.2)

Consultants inc. EB 2389 720 S.W. 2nd Ave, South Tower, Suite 300 GAINESVILLE, FLORIDA 32601 TEL (352) 373-3541 www.edafl.com mail@edafl.com				
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PR	AUDIA S. VEGA, P RINTED COPIES OF GNED AND SEALED ON A	P.E. ON T THIS DC D AND T ANY ELEC	TALLY SIGNED AND SEALED BY HE DATE ADJACENT TO THE SEAL. DOLUMENT ARE NOT CONSIDERED HE SIGNATURE MUST BE VERIFIED CTRONIC COPIES. Gineer of Record:	
	Claudia S. Vega, P.E51532 Engineer Certificate No.			
	ct phase:		OPMENT PLAN	
FINAL DEVELOPMENT PLAN Project title: TARA ESMERALDA - PHASE 2 ALACHUA COUNTY, FLORIDA				
Sheet	UTILITY		locations details	
Designed: CSV Sheet No.: Drawn: MAB Checked: MMD Date: 09/05/23				

