

TARA ESMERALDA - PHASE 2

FINAL DEVELOPMENT PLAN

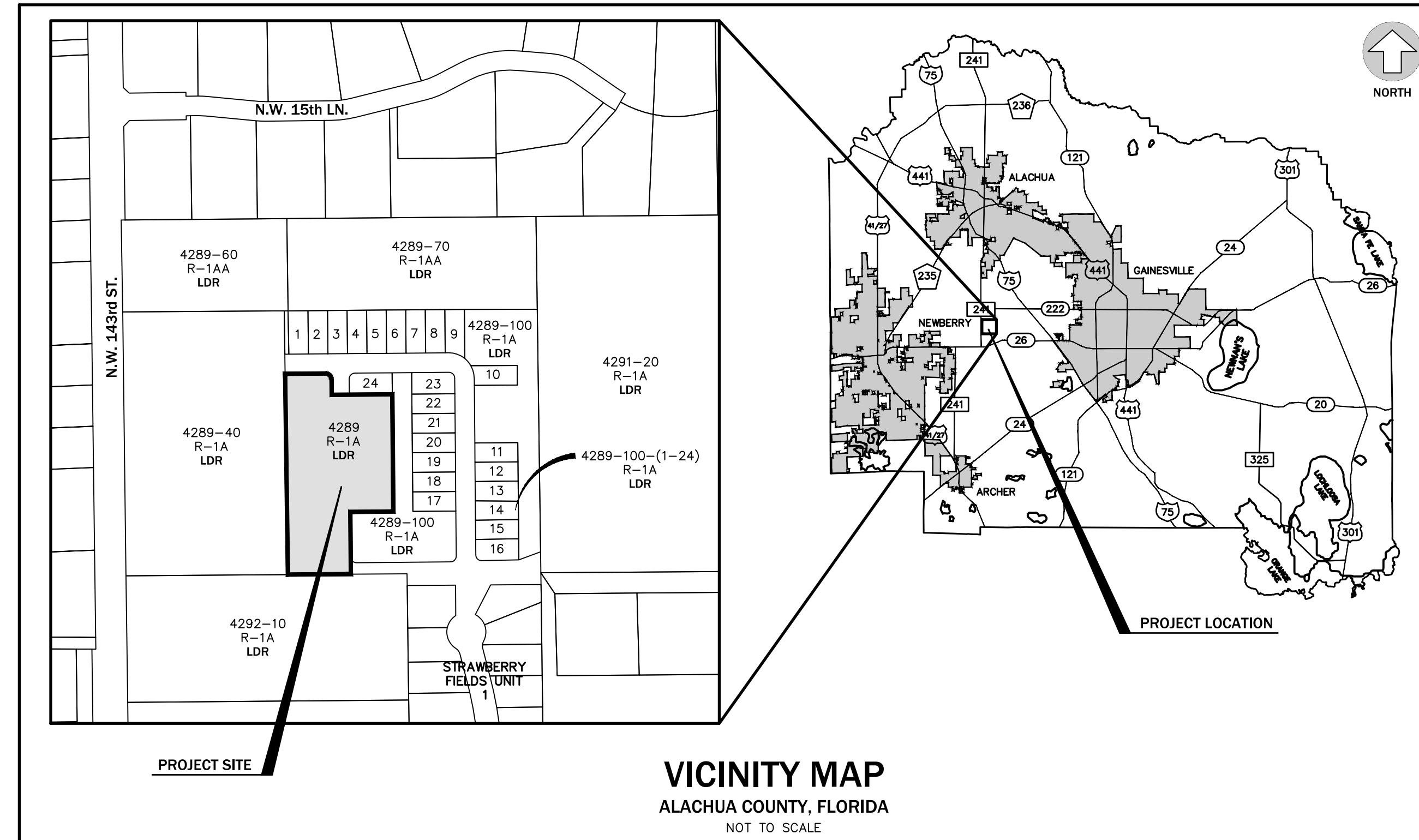
ALACHUA COUNTY, FLORIDA



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GAINESVILLE, FLORIDA 32601
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DEVELOPMENT INFORMATION	
1. NAME OF PROJECT:	TARA ESMERALDA - PHASE 2
2. TITLE UNDER WHICH SUBDIVISION WILL BE RECORDED:	TARA ESMERALDA - PHASE 2
3. PROJECT DESCRIPTION	A 16 LOT RESIDENTIAL PLATTED SUBDIVISION WITH ASSOCIATED UTILITIES AND STORMWATER.
4. TAX PARCEL NUMBER:	04289-000-000
5. SECTION/TOWNSHIP/RANGE:	SECTION 34, TOWNSHIP 09 SOUTH, RANGE 18 EAST
6. ZONING:	R-1A: SINGLE FAMILY RESIDENTIAL
7. FUTURE LAND USE DESIGNATION:	LDR: LOW DENSITY RESIDENTIAL (1-4 DU/ACRE)
8. PROJECT AREA:	2.61 ACRES

CONTACT INFORMATION	
1. PROPERTY OWNER:	TARA ESMERALDA, LLC 7717 NW 20TH LANE GAINESVILLE, FL 32605
2. ENGINEER:	eda consultants, inc. 720 S.W. 2nd AVE., SOUTH TOWER, SUITE 300 GAINESVILLE, FL 32601 (352) 373-3541 CONTACT: CLAUDIA VEGA, P.E.
3. PLANNER:	eda consultants, inc. 720 S.W. 2nd AVE., SOUTH TOWER, SUITE 300 GAINESVILLE, FL 32601 (352) 373-3541 CONTACT: CLAY SWEGER, AICP, LEED AP
4. SURVEYOR:	eda consultants, inc. 720 S.W. 2nd AVE., SOUTH TOWER, SUITE 300 GAINESVILLE, FL 32601 (352) 373-3541 CONTACT: JARED ROGERS, PSM



LEGAL DESCRIPTION

THAT PART OF FRACTIONAL SECTION 34, TOWNSHIP 9 SOUTH, RANGE 18 EAST, INSIDE THE ARREDONDO GRANT, ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHWEST CORNER OF FRACTIONAL SECTION 34, TOWNSHIP 9 SOUTH, RANGE 18 EAST, INSIDE THE ARREDONDO GRANT FOR A POINT OF REFERENCE; THENCE RUN SOUTH 00 DEGREES 09 MINUTES 44 SECONDS EAST ALONG THE CENTERLINE OF STATE ROAD NO. S-241 AND THE WEST LINE OF SAID SECTION 34, 1571.02 FEET; THENCE RUN SOUTH 89 DEGREES 42 MINUTES 50 SECONDS EAST, 40.0 FEET TO AN INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID STATE ROAD NO. S-241; THENCE RUN SOUTH 00 DEGREES 09 MINUTES 44 SECONDS EAST ALONG SAID EAST RIGHT-OF-WAY LINE, 698.94 FEET; THENCE RUN SOUTH 00 DEGREES 00 MINUTES 17 SECONDS WEST ALONG THE SAID EAST RIGHT-OF-WAY LINE, 701.06 FEET, THENCE RUN SOUTH 89 DEGREES 42 MINUTES 50 SECONDS EAST, 413.40 FEET TO THE POINT OF BEGINNING, FROM SAID POINT OF BEGINNING THENCE RUN SOUTH 89 DEGREES 42 MINUTES 50 SECONDS EAST, 647.12 FEET, THENCE RUN SOUTH 00 DEGREES 00 MINUTES 17 SECONDS WEST, PARALLEL TO SAID STATE ROAD NO. S-241, 230.79 FEET, THENCE RUN NORTH 89 DEGREES 42 MINUTES 50 SECONDS WEST, 636.00 FEET, THENCE RUN SOUTH 00 DEGREES 00 MINUTES 17 SECONDS WEST, 445.36 FEET, THENCE RUN NORTH 89 DEGREES 42 MINUTES 50 SECONDS WEST 10 FEET, THENCE RUN NORTH 00 DEGREES 00 MINUTES 17 SECONDS EAST 676.15 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

ALSO
THAT PART OF FRACTIONAL SECTION 34, TOWNSHIP 9 SOUTH, RANGE 18 EAST, INSIDE THE ARREDONDO GRANT, ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHWEST CORNER OF FRACTIONAL SECTION 34, TOWNSHIP 9 SOUTH, RANGE 18 EAST, INSIDE THE ARREDONDO GRANT FOR A POINT OF REFERENCE; THENCE RUN SOUTH 00 DEGREES 09 MINUTES 44 SECONDS EAST ALONG THE CENTERLINE OF STATE ROAD NO. S-241 AND THE WEST LINE OF SAID SECTION 34, 1571.02 FEET; THENCE RUN SOUTH 89 DEGREES 42 MINUTES 50 SECONDS EAST, 40.0 FEET TO AN INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID STATE ROAD NO. S-241; THENCE RUN SOUTH 00 DEGREES 09 MINUTES 44 SECONDS EAST ALONG SAID EAST RIGHT-OF-WAY LINE, 698.94 FEET; THENCE RUN SOUTH 00 DEGREES 00 MINUTES 17 SECONDS WEST ALONG THE SAID EAST RIGHT-OF-WAY LINE, 1377.21 FEET; THENCE RUN SOUTH 89 DEGREES 42 MINUTES 50 SECONDS EAST, 597.52 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89 DEGREES 42 MINUTES 50 SECONDS EAST A DISTANCE OF 463 FEET; THENCE RUN NORTH 00 DEGREES 00 MINUTES 17 SECONDS EAST A DISTANCE OF 445.36 FEET; THENCE RUN NORTH 89 DEGREES 42 MINUTES 50 SECONDS WEST A DISTANCE OF 636 FEET; THENCE RUN SOUTH 00 DEGREES 00 MINUTES 17 SECONDS WEST A DISTANCE OF 173 FEET; THENCE RUN SOUTH 89 DEGREES 42 MINUTES 50 SECONDS EAST A DISTANCE OF 173 FEET; THENCE RUN SOUTH 00 DEGREES 00 MINUTES 17 SECONDS WEST, 267 FEET TO THE POINT OF BEGINNING.

ALSO
THAT PART OF FRACTIONAL SECTION 34, TOWNSHIP 9 SOUTH, RANGE 18 EAST, INSIDE THE ARREDONDO GRANT, ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHWEST CORNER OF FRACTIONAL SECTION 34, TOWNSHIP 9 SOUTH, RANGE 18 EAST, INSIDE THE ARREDONDO GRANT FOR A POINT OF REFERENCE; THENCE RUN SOUTH 00'09'44" EAST ALONG THE CENTER LINE OF STATE ROAD NO. S. 241 AND THE WEST LINE OF SAID SECTION 34, 1571.02 FEET; THENCE RUN SOUTH 89°42'50" EAST 40.0 FEET TO AN INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID STATE ROAD NO. S. 241; THENCE RUN SOUTH 00'09'44" EAST ALONG SAID EAST RIGHT-OF-WAY LINE 698.94 FEET; THENCE RUN SOUTH 00'00'17" WEST ALONG THE SAID EAST RIGHT-OF-WAY LINE 1377.21 FEET; THENCE RUN SOUTH 89°42'50" EAST 424.52 FEET TO THE POINT OF BEGINNING; THENCE RUN NORTH 00'00'17" EAST 267.00 FEET; THENCE RUN SOUTH 89°42'50" EAST 173.00 FEET; THENCE RUN SOUTH 00'00'17" WEST 267.00 FEET; THENCE RUN NORTH 89°42'50" WEST 173.00 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT ANY PORTION THEREOF LYING WITHIN THE LANDS CONVEYED TO THE STATE OF FLORIDA IN DEED BOOK 324, PAGE 465, OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.

TOTAL AREA: 10.03± AC

LEGEND	
ZONING:	
R-1A	- SINGLE FAMILY RESIDENTIAL
R-1AA	- SINGLE FAMILY RESIDENTIAL
FUTURE LAND USE:	
LDR	- LOW DENSITY RESIDENTIAL

DEVELOPMENT DATA			
DESCRIPTION	CRITERIA	REQUIRED	PROPOSED
MAXIMUM DENSITY / PROPOSED DENSITY	R-1A ZONING	1-4 DU/ACRE = 40 MAX	24 EXISTING UNITS (PH-1) 16 PROPOSED UNITS (PH-2) 40 UNITS TOTAL
DESCRIPTION	CRITERIA	REQUIRED	PROVIDED
OPEN SPACE	10%	0.10 X 10.03 Ac = 1.0 Ac	1.0 Ac (10.0%)
BUFFER & SCREENING	1. NORTH: TABLE 403.07.1	1. NORTH: NONE REQUIRED	1. NORTH: NONE PROVIDED
	2. WEST: TABLE 403.07.1	2. WEST: 5' AGRICULTURAL BUFFER	2. WEST: 5' AGRICULTURAL BUFFER
	3. EAST: TABLE 403.07.1	3. EAST: NONE REQUIRED	3. EAST: NONE PROVIDED
	4. SOUTH: TABLE 403.07.1	4. SOUTH: 5' AGRICULTURAL BUFFER	4. SOUTH: 5' AGRICULTURAL BUFFER
TREE CANOPY	10% OF EXISTING CANOPY COVER SHALL REMAIN	EXISTING CANOPY COVER = 4.03 Ac x 0.10 = 0.403 Ac	EXISTING CANOPY TO REMAIN = 0.91 Ac (22.6%)

ITE LAND USE: (210) SINGLE-FAMILY DETACHED HOUSING							
PROPOSED : 16 DWELLING UNITS							
PERIOD	RATE	PER UNIT	TRIPS	TRIP DISTRIBUTION		PROJECT TRIPS	
				ENTER	EXIT	IN	OUT
AM	0.70	16	11.20	26%	74%	2.91	8.29
PM	0.94	16	15.04	63%	37%	9.48	5.56
AVG	9.43	16	150.88	50%	50%	75.44	75.44

SOURCE: ITE TRIP GENERATION, 11TH EDITION

UTILITIES TO BE PROVIDED AND PROVIDER	
1. ELECTRIC:	CLAY ELECTRIC
2. POTABLE WATER:	GAINESVILLE REGIONAL UTILITIES (GRU)
3. WASTE WATER:	GAINESVILLE REGIONAL UTILITIES (GRU)
4. FIRE SUPPRESSION WATER SUPPLY:	GAINESVILLE REGIONAL UTILITIES (GRU)

DRAWING INDEX	
SHEET NUMBER	SHEET TITLE
C100	COVER SHEET
C110	LEGEND AND GENERAL NOTES
C120	DEMOLITION AND EROSION CONTROL PLAN AND DETAILS
C150	GENERAL DEVELOPMENT AND TRANSPORTATION NETWORK PLAN
C170	OPEN SPACE PLAN
C180	TREE CANOPY PRESERVATION PLAN
C200	PAVING, GRADING, AND DRAINAGE PLAN
C250	PAVING, GRADING, AND DRAINAGE DETAILS
C295	STORMWATER POLLUTION PREVENTION PLAN
C300	UTILITY PLAN
C310	UTILITY ALLOCATIONS AND DETAILS
C400	PLAN AND PROFILE 1
V-001 - V-004	BOUNDARY AND TOPOGRAPHIC SURVEY
V-001 - V-003	BOUNDARY SURVEY
SHEET 1-2	PLAT
L100 - L201	LANDSCAPE PLANS

IMPERVIOUS AREA CALCULATIONS (PHASE 1 & 2)				
#	DESCRIPTION	SQUARE FOOTAGE (S.F.)	ACREAGE (AC.)	PERCENTAGE (%)
1.	TOTAL SITE AREA:	436,866	10.03	100.0%
2.	PROPOSED IMPERVIOUS AREA:	76,028	1.75	17.4%
3.	EXISTING IMPERVIOUS FROM PHASE 1:	132,751	3.05	30.4%
4.	TOTAL IMPERVIOUS AREA:	208,779	4.79	47.8%
5.	OPEN AREA:	228,087	5.24	52.2%

NOTE: PHASE TWO DIRECTLY CONNECTED IMPERVIOUS AREA IS EQUAL TO 19,477 SF AND THE INDIRECTLY CONNECTED IMPERVIOUS AREA (65% OF THE LOT AREA) IS EQUAL TO 56,551 SF.

FOR REVIEW ONLY

- GRU NOTES
- CERTIFICATION BY ENGINEER-OF-RECORD THAT WATER, AND WASTEWATER, SYSTEMS ARE IN ACCORDANCE WITH GRU DESIGN STANDARDS.
 - NOTIFY GRU WASTEWATER ENGINEERING 48 HOURS PRIOR TO CONSTRUCTION @ 352-393-1633. IF PROPER NOTIFICATION IS NOT MADE, CONTRACTOR SUBJECT TO BE SHUT DOWN.

No.	Date	Comment

THIS DRAWING HAS BEEN DIGITALLY SIGNED AND SEALED BY CLAUDIA S. VEGA, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Professional Engineer of Record:

Claudia S. Vega, P.E. 51532
Engineer Certificate No.

Project No: 22-033
Project phase: FINAL DEVELOPMENT PLAN
Project title:

TARA ESMERALDA - PHASE 2
ALACHUA COUNTY,
FLORIDA

Sheet title:
COVER SHEET

Designed: CSV Sheet No.:
Drawn: MAB
Checked: MMD
Date: 09/05/23
C100

\\server3\eng\projects\Tara Esmeralda Phase 2 - 2022-0033\Plans\Current\DWG\220331.dwg, C:\00 - COVER, 8/31/2023 10:24:44 AM, AutoCAD PDF (General Documentation).pc3, SLP

EXISTING SYMBOLS & ABBREVIATIONS

Table listing existing symbols and abbreviations such as C/L for centerline, CONC for concrete, and various utility symbols like WM for water main.

TREE LEGEND

THE ONLY TREES LOCATED FOR THIS SURVEY WERE HARDWOODS 8" AND GREATER AND PINES 12" AND GREATER (DIAMETER MEASURED AT BREAST HEIGHT)

Table listing tree species and their common names, such as 10" BAY, 11" CHINA BERRY, 12" CHERRY, etc.

LEGEND

Table listing various symbols for site features like tree barricade, silt fence, asphalt limits, and spot elevations.

PROPOSED UTILITY SYMBOLS

Table listing proposed utility symbols such as WM for water main, WW for wastewater, and SS for sanitary sewer.

GENERAL NOTES

- 1. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES... 2. PRIOR TO THE INITIATION OF SITE CONSTRUCTION... 3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES...

DEMOLITION NOTES

- 1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER. 2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES...

CONSTRUCTION NOTES

- 1. SIGNS AND BARRICADES SHALL BE IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES... 2. SAFE PEDESTRIAN TRAFFIC IS TO BE MAINTAINED AT ALL TIMES...

EROSION CONTROL NOTES

- 1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS REFERENCED BY THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS...

PAVING, GRADING, AND DRAINAGE NOTES

- 1. TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES... 2. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN...



Table with columns: No., Date, Comment. Contains one row with date 05/23 and comment 'THE PERMITS HAVE BEEN OBTAINED AND SEALED BY CLAUDIA S. VEGA, P.E. ON THE DATE ADJACENT TO THE SEAL'.

Professional Engineer of Record:

Table with columns: Name, Title, License No., Certificate No. Row: Claudia S. Vega, P.E., Engineer, 51532.

Project No: 22-033

Project phase: FINAL DEVELOPMENT PLAN

Project title: TARA ESMERALDA - PHASE 2

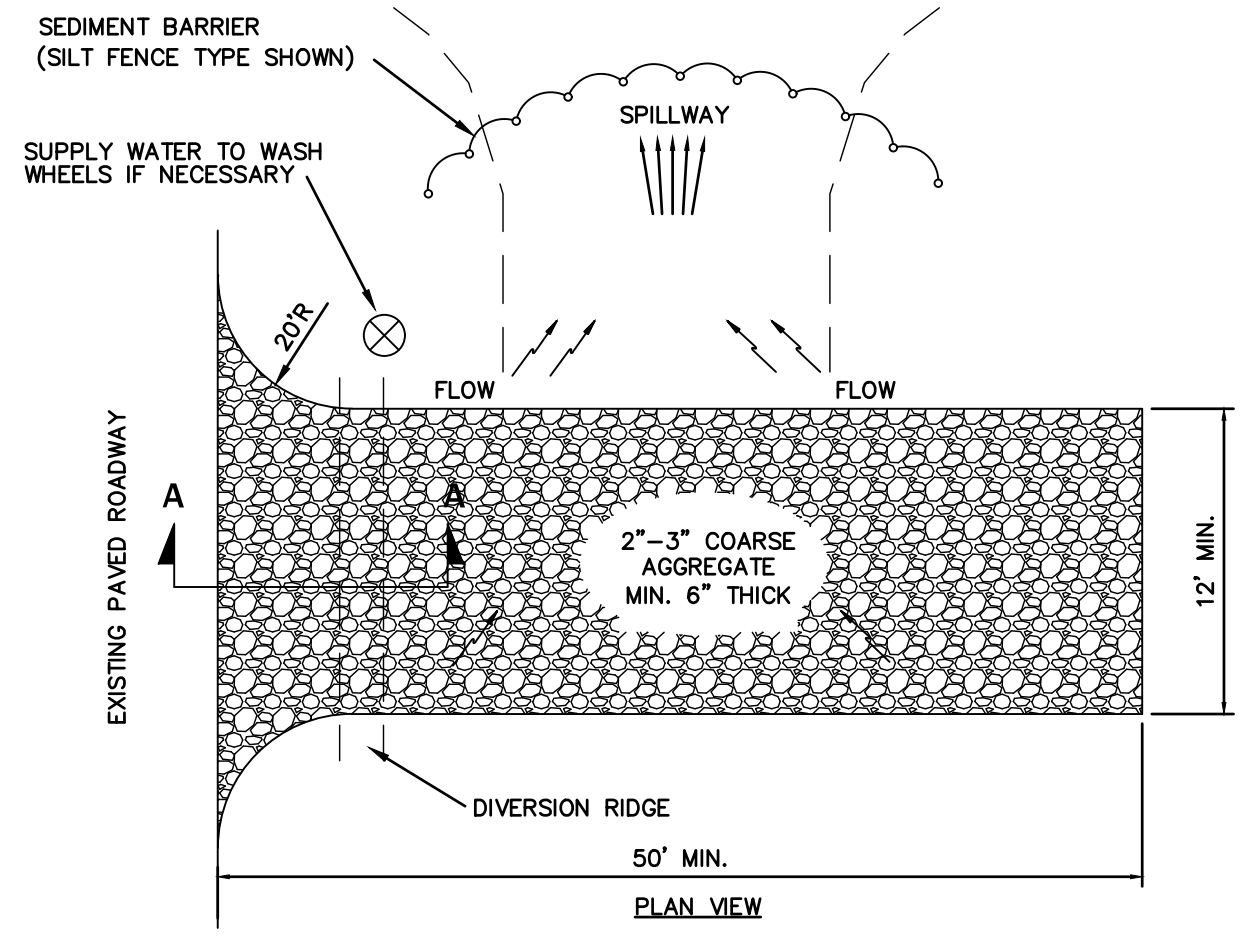
ALACHUA COUNTY, FLORIDA

Sheet title: LEGEND AND GENERAL NOTES

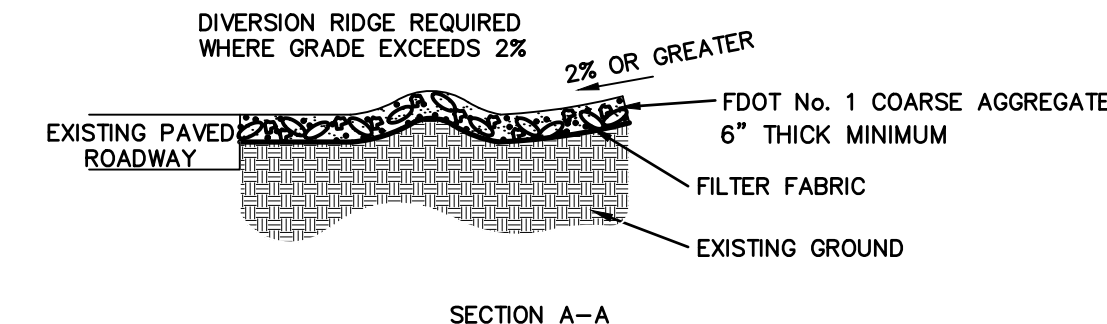
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Sheet No.: C110

Call to action box: BEFORE YOU DIG! CALL SUNSHINE STATE ONE CALL OF FLORIDA AT LEAST TWO FULL BUSINESS DAYS BEFORE DIGGING OR DISTURBING EARTH. Includes 811 logo and phone number 1-800-432-4770.

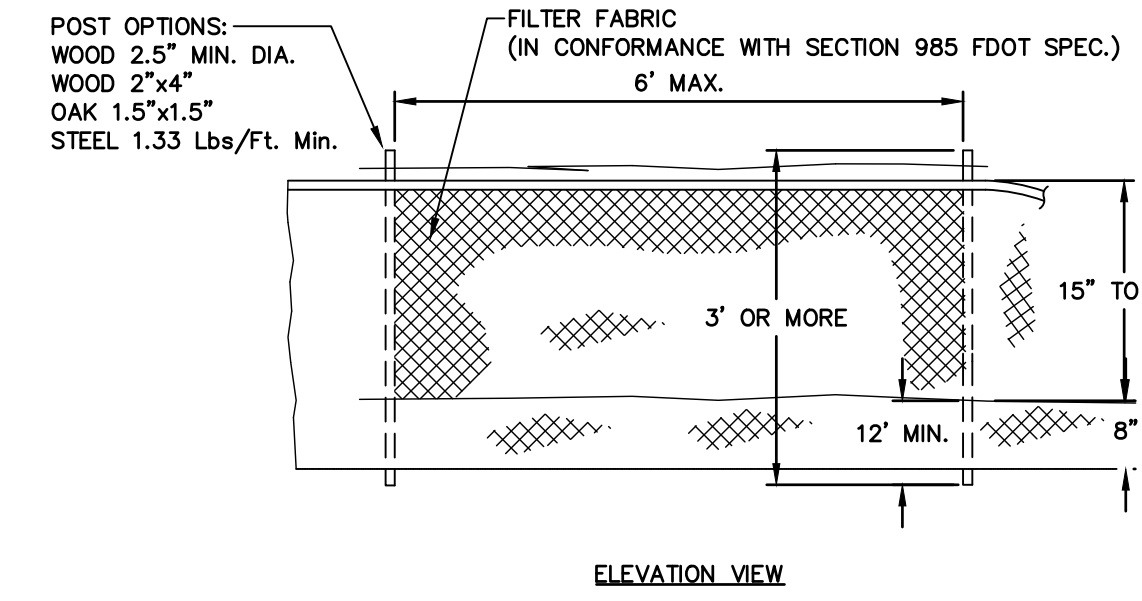


TYPICAL GRAVEL CONSTRUCTION ENTRANCE
N.T.S.



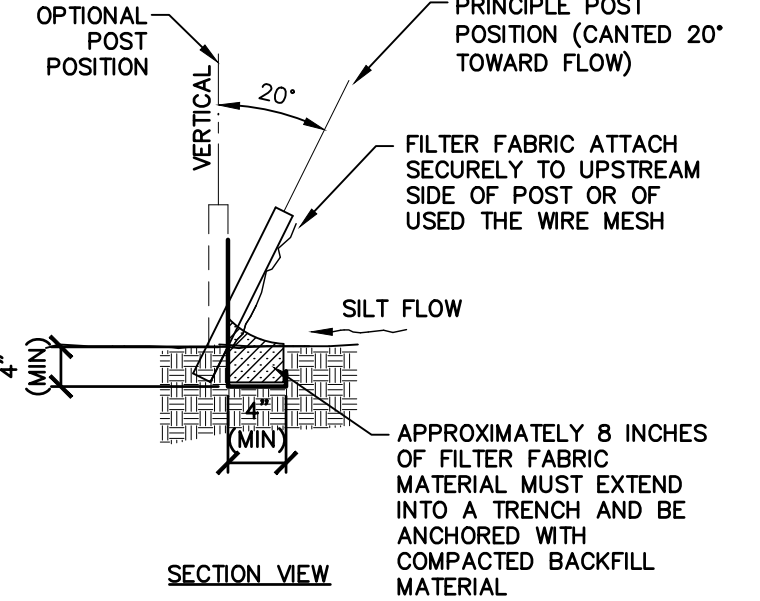
SECTION A-A

- NOTE:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 4. USE SANDBAGS STRAW BALES OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.



ELEVATION VIEW

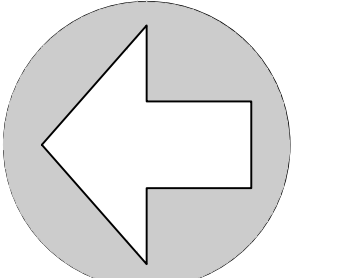
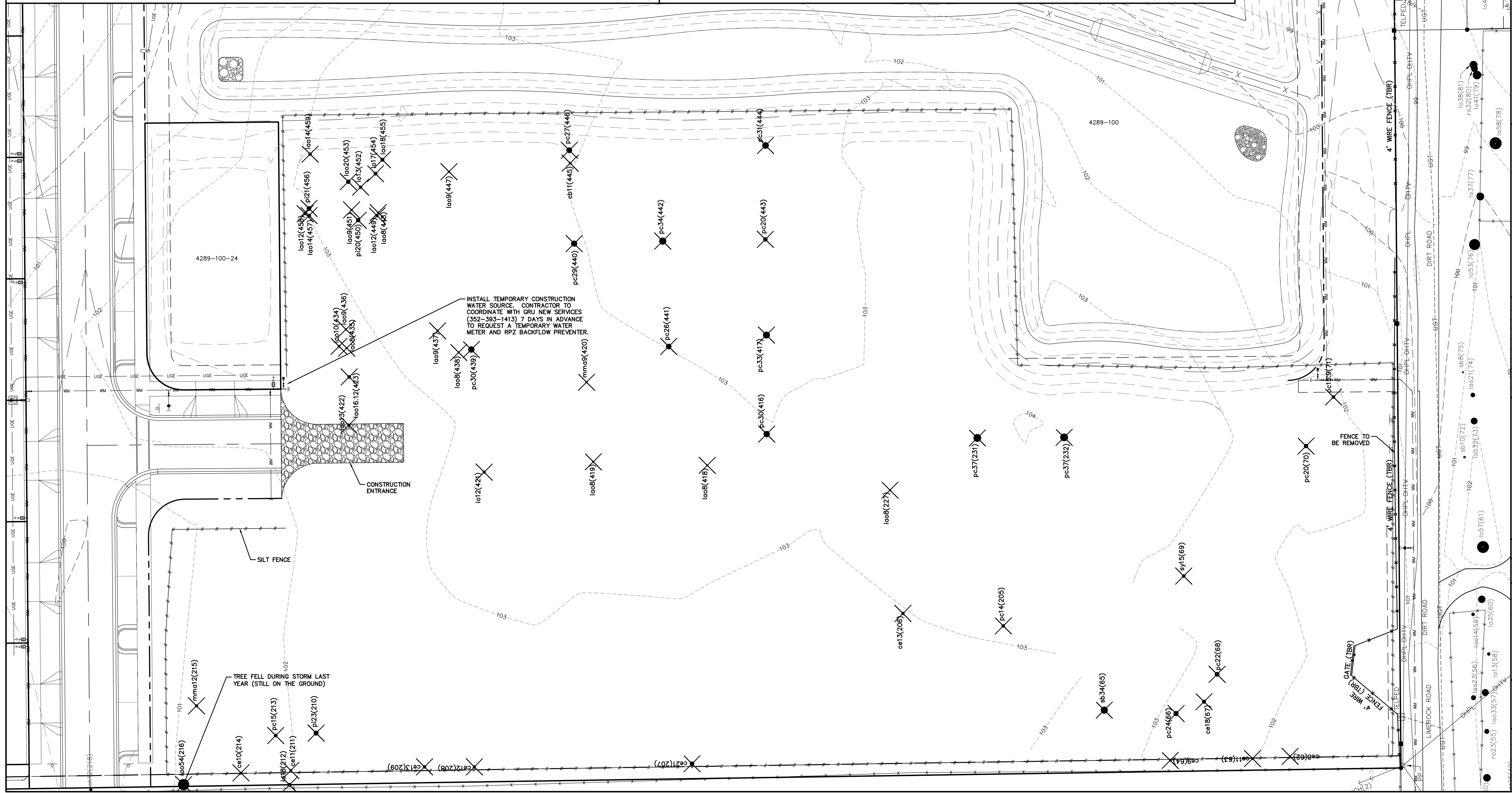
TYPE III SILT FENCE DETAIL
N.T.S.



SECTION VIEW

LEGEND

---//---	SILT FENCE
(TBR)	EXISTING FEATURES TO BE REMOVED (TBR)
X p120	EXISTING TREE TO BE REMOVED



NORTH
SCALE: 1" = 20'
0 10 20 40
GRAPHIC SCALE

No.	Date	Comment

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Professional Engineer of Record:

Claudia S. Vega, P.E. 51532
Engineer Certificate No.

Project No: 22-033

Project phase: FINAL DEVELOPMENT PLAN

Project title: TARA ESMERALDA - PHASE 2

ALACHUA COUNTY, FLORIDA

Sheet title: DEMOLITION AND EROSION CONTROL PLAN AND DETAILS

Designed: CSV Sheet No.:

Drawn: MAB

Checked: MMD

Date: 09/05/23

C120

- UTILITIES:**
- ELECTRIC SERVICE WILL BE PROVIDED BY CLAY ELECTRIC FROM THE EXISTING ELECTRIC LINE LOCATED ON NW 13TH AVE AND NW 10TH ROAD.
 - WATER AND SANITARY SEWER WILL BE PROVIDED BY GRU FROM EXISTING WATERMAIN AND MANHOLE LOCATED ON NW 10TH ROAD.

- NOTES:**
- THIS PROJECT IS PROPOSED TO BE DEVELOPED IN TWO PHASES (PHASE I - 24 LOTS AND PHASE II - 16 LOTS), CONSISTENT WITH THE OVERALL ULDC REQUIREMENTS.
 - BLOCK PERIMETERS DO NOT EXCEED 2,000 LINEAR FEET AS REQUIRED IN ULDC CH.407.69(a).
 - THE DASHED LINE REPRESENTS THE LIMITS OF THE BLOCK PERIMETER, WHICH WILL INCLUDE A PEDESTRIAN NETWORK CONSISTING OF A COMBINATION OF SIDEWALKS, MULTI-USE PATHS, AND OTHER PEDESTRIAN PATHS WHERE REQUIRED.
 - DRAINAGE OF THE PROPOSED ROAD CONNECTING TO STRAWBERRY FIELDS WILL BE ACCOMMODATED IN THE PROPOSED STORMWATER BASIN OF TARA ESMERALDA.
 - THE DASHED LINE REPRESENTS THE APPROXIMATE LIMITS OF THE BLOCK PERIMETER, WHICH WILL INCLUDE A PEDESTRIAN NETWORK CONSISTING OF A COMBINATION OF SIDEWALKS, MULTI-USE PATHS, AND OTHER PEDESTRIAN PATHS WHERE REQUIRED.

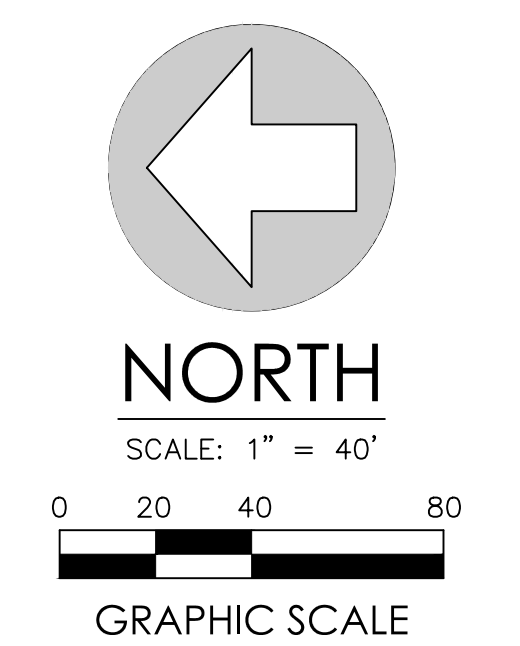
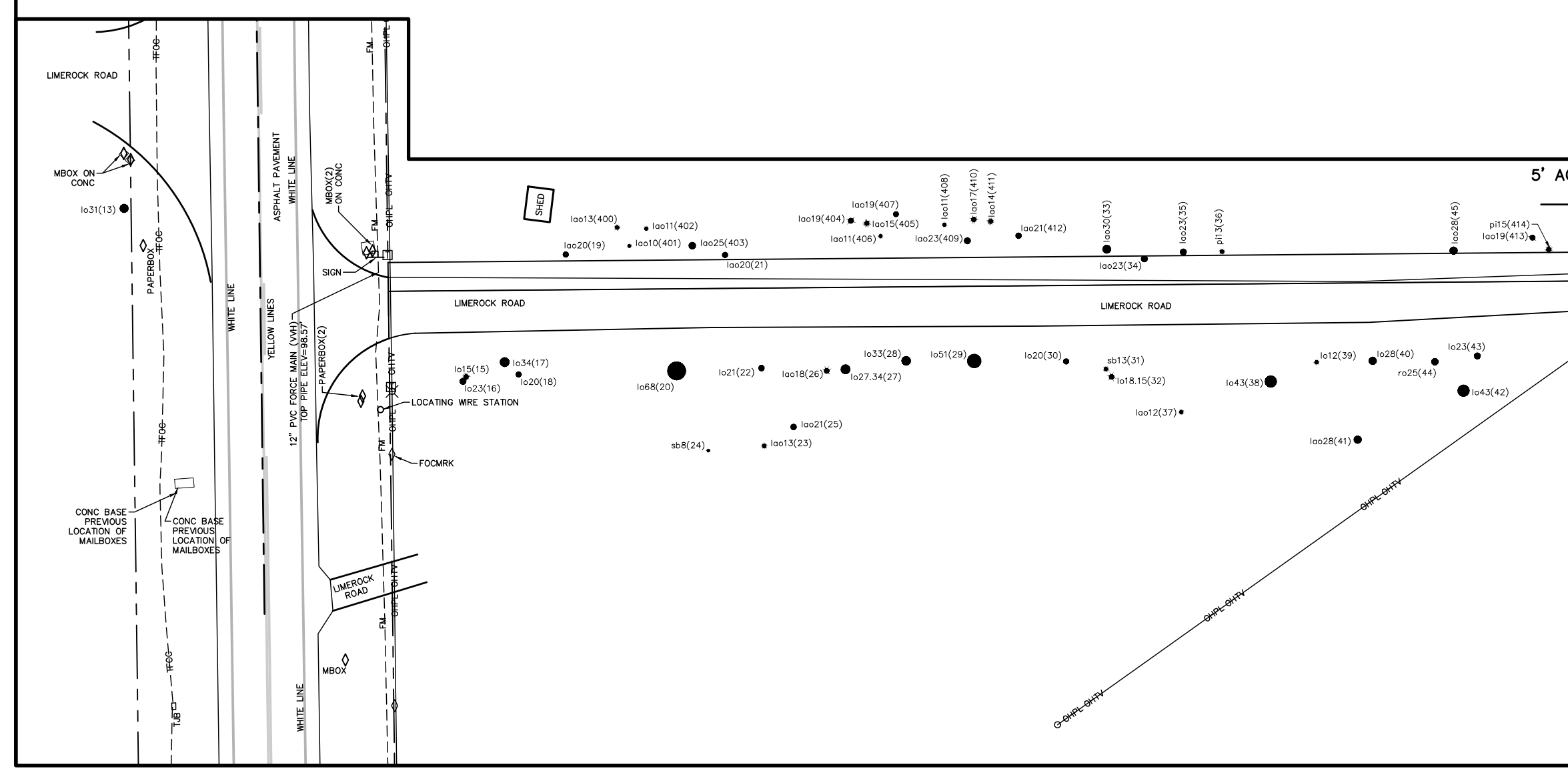
BLOCK PERIMETER INFORMATION	
BLOCK	LENGTH (±)
1	1,327 L.F.
2	930 L.F.
3	1,160 L.F.
4	930 L.F.
5	1,264 L.F.

LEGEND

- RIGHT-OF-WAY: 1.98± ACRES (19.7%)
- RESIDENTIAL LOT AREA: 5.23± ACRES (52.1%)
- OPEN SPACE AREAS: 1.00± ACRES (10.0%)
- STORMWATER AREA: 1.82± ACRES (18.1%)

TOTAL AREA
- APPROXIMATELY 10.03 ACRES (100.0%)

- BLOCK PERIMETER
- PROJECT LIMITS (PHASE 2)
- EXISTING DEDICATED RIGHT-OF-WAY
- EXISTING TREE TO REMAIN
- STREET LIGHT (TYP.)



No.	Date	Comment

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Professional Engineer of Record:

Claudia S. Vega, P.E. 51532
Engineer Certificate No.

Project No: 22-033
Project phase: FINAL DEVELOPMENT PLAN
Project title:

TARA ESMERALDA - PHASE 2
ALACHUA COUNTY,
FLORIDA

Sheet title:
GENERAL DEVELOPMENT AND
TRANSPORTATION NETWORK PLAN



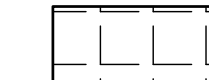






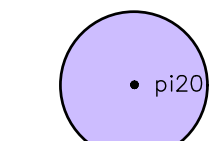
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Checked: MMD
Date: 09/05/23

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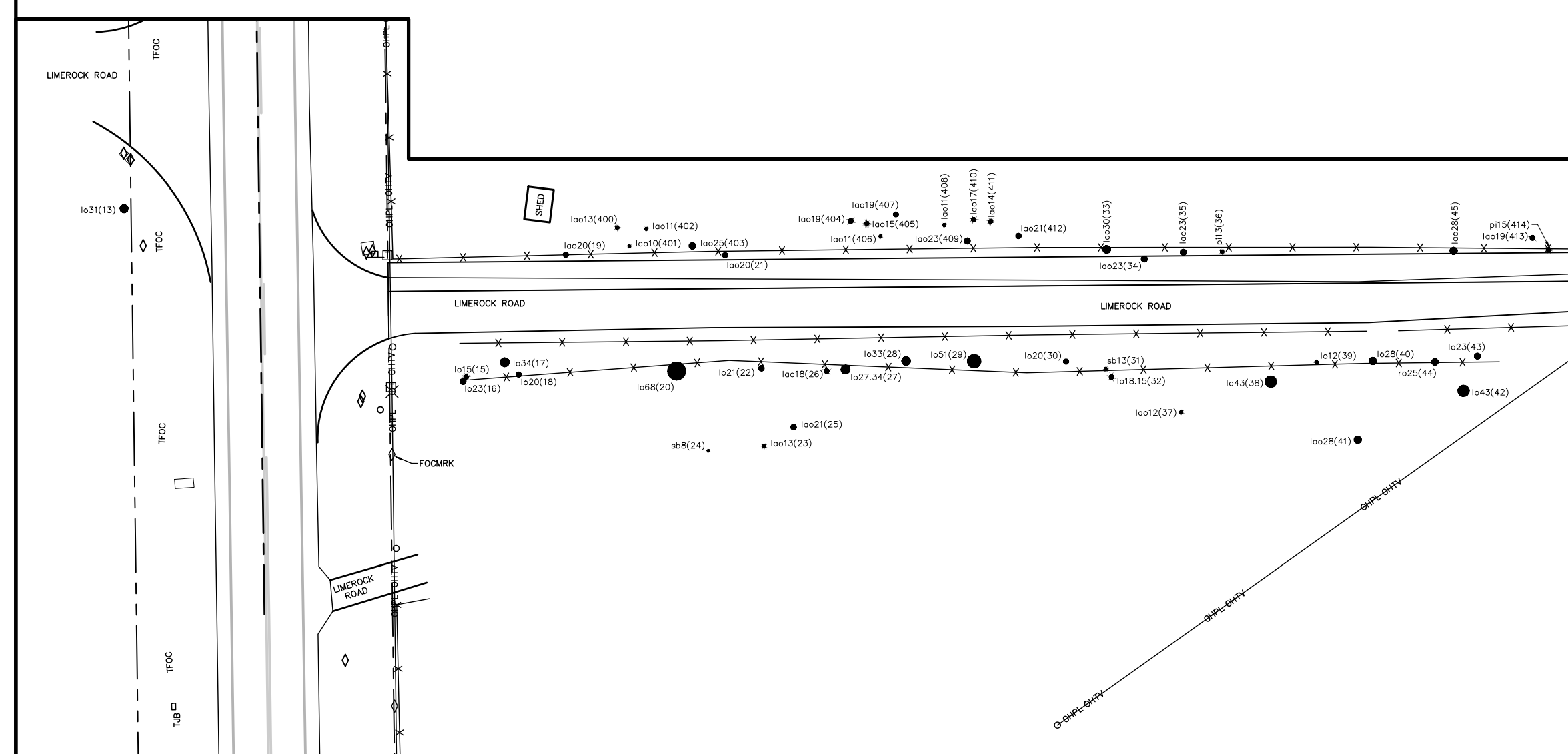
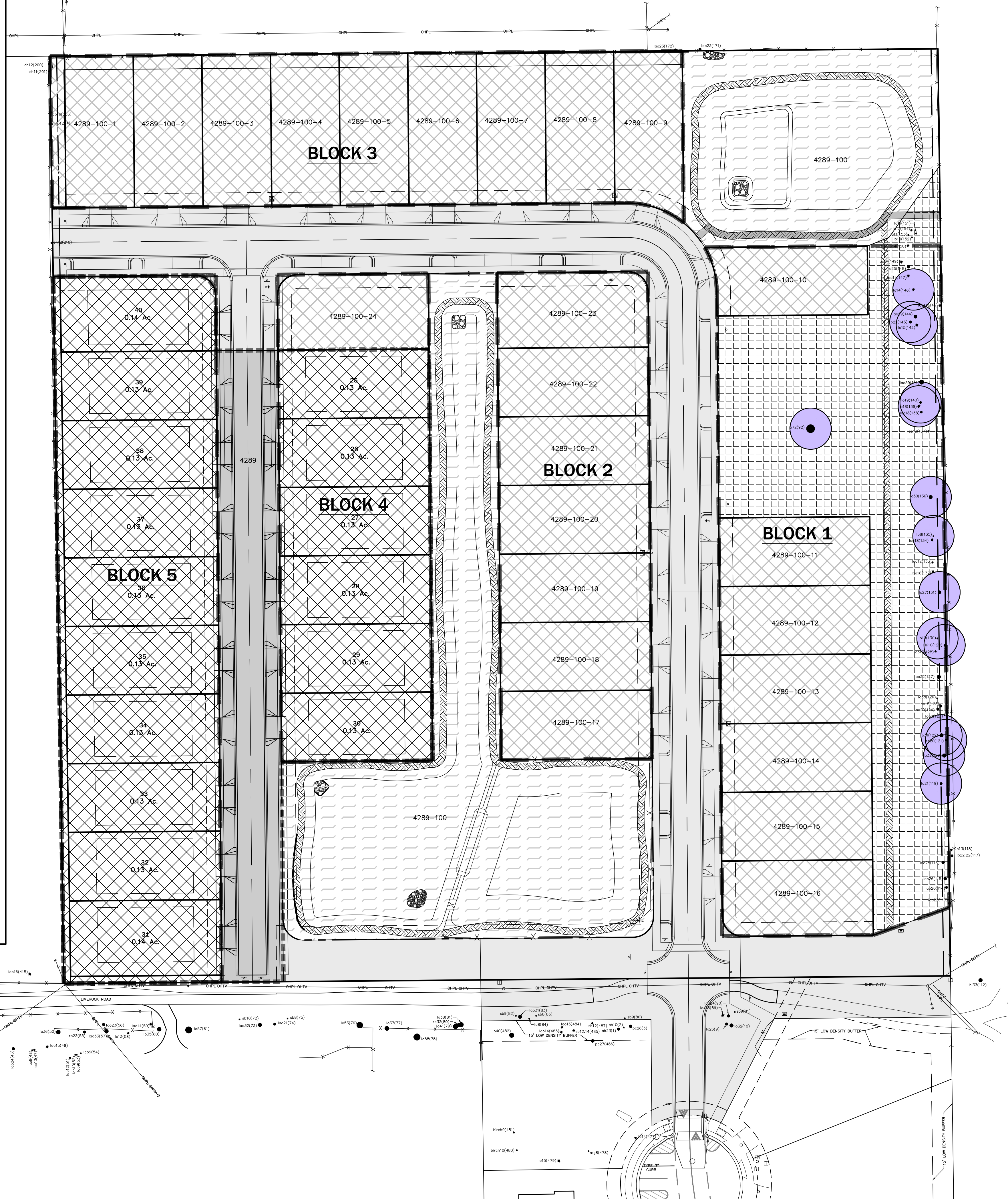
CONSERVATION OPEN SPACE TYPES	EXISTING (ACRES)	PROVIDED (ACRES)	% OF PROJECT AREA
WETLANDS	0.00 AC.	0.00 AC.	0.0%
WETLAND BUFFERS	0.00 AC.	0.00 AC.	0.0%
SURFACE WATERS	0.00 AC.	0.00 AC.	0.0%
SURFACE WATER BUFFERS	0.00 AC.	0.00 AC.	0.0%
SIGNIFICANT GEOLOGICAL FEATURES	0.00 AC.	0.00 AC.	0.0%
SIGNIFICANT GEOLOGICAL FEATURE BUFFERS	0.00 AC.	0.00 AC.	0.0%
STRATEGIC ECOSYSTEM	0.00 AC.	0.00 AC.	0.0%
LISTED SPECIES HABITAT	0.00 AC.	0.00 AC.	0.0%
100 YEAR FLOODPLAIN	0.00 AC.	0.00 AC.	0.0%
SIGNIFICANT HABITAT	0.00 AC.	0.00 AC.	0.0%
NON-CONSERVATION OPEN SPACE	N/A	1.03 AC.	10.3%
TOTAL OPEN SPACE	N/A	1.03 AC.	10.3%

OPEN SPACE TABLE ABOVE REPRESENTS THE APPROVED OPEN SPACE AREA ON THE POP FOR PHASES 1 AND 2

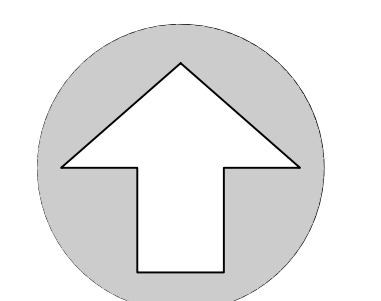
LEGEND

-  RIGHT-OF-WAY: 1.40± ACRES (14.0%)
 -  RESIDENTIAL LOT AREA: 3.07± ACRES (30.6%)
 -  OPEN SPACE AREAS: 1.03± ACRES (10.3%)
 -  PHASE 2 AREA: 2.71± ACRES (27.0%)
 -  STORMWATER AREA: 1.82± ACRES (18.1%)
- TOTAL AREA**
-APPROXIMATELY 10.03 ACRES (100.0%)
-  BLOCK PERIMETER
 -  PROJECT LIMITS
 -  EXISTING DEDICATED RIGHT-OF-WAY
 -  EXISTING TREE TO REMAIN
 -  DESIRABLE TREE TO REMAIN

NOTES:
1. IF BOUNDARY FENCES ARE PROPOSED, THEY MAY NOT PRECLUDE THE USABILITY OF THE OPEN SPACE AREA AND/OR CONNECTIVITY OF CURRENT OR FUTURE OPEN SPACE/Common AREAS ON ADJACENT PROPERTIES.
2. PLEASE REFERENCE THE OPEN SPACE MANAGEMENT PLAN FOR MORE DETAILS ON THE MANAGEMENT AND MAINTENANCE OF THE OPEN SPACE AREAS.



EB 2389
720 S.W. 2nd Ave. South Tower, Suite 300
GAINESVILLE, FLORIDA 32601
TEL: (352) 373-3541
www.edafl.com mail@edafl.com



NORTH
SCALE: 1" = 40'
0 20 40 80
GRAPHIC SCALE

No.	Date	Comment

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Professional Engineer of Record:

Claudia S. Vega, P.E. 51532
Engineer Certificate No.

Project No: 22-033
Project phase: FINAL DEVELOPMENT PLAN
Project title:

TARA EMERALDA - PHASE 2
ALACHUA COUNTY,
FLORIDA

Sheet title:
OPEN SPACE PLAN




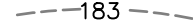
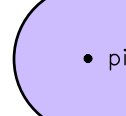
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TREE CLEARING DATA

EXISTING CANOPY TOTAL:	4.03 AC.	100.0%
EXISTING CANOPY TO REMAIN:	0.91 AC.	22.6%

LEGEND

-  EXISTING TREE CANOPY TO REMAIN
-  EXISTING TREE CANOPY
-  pi20 EXISTING TREE TO REMAIN
-  -183- EXISTING CONTOUR ELEVATION
-  pi20 DESIRABLE TREE TO REMAIN

NOTE: THERE ARE NO TREES TO REMAIN AS PART OF PHASE 2.

TREE LEGEND:

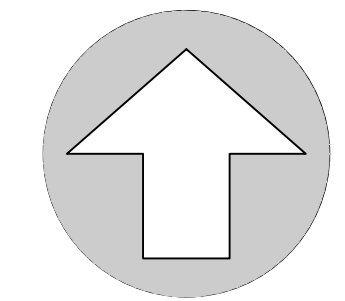
ONLY TREES WITH A DIAMETER 8" AND GREATER WERE LOCATED FOR THIS SURVEY. (DIAMETER MEASURED 4.5' ABOVE GRADE) MARKED WITH AN ALUMINUM TAG AND A UNIQUE NUMBER

LOCATION	SPECIES	DIAMETER AT 4.5' ABOVE GROUND	HEIGHT	Tag Number	SIZE / COMMON NAME
cb11(448)					11" CHINABERRY
oa21(207)					21" SOUTHERN REDCEDAR
ca16(204)					16" BLACK CHERRY
hi33(112)					33" HICKORY
lo23(56)					23" LAUREL OAK
lo23(43)					23" LIVE OAK
mi21(215)					12" MIMOSA
pc20(70)					20" PECAN
pi20(779)					20" PINE
so23(56)					23" SOUTHERN RED OAK
sb23(1)					23" SUGARBERRY
sy15(69)					15" SYCAMORE
wo27(8)					27" WATER OAK

NOTE: REMOVAL OF INVASIVE, NON-NATIVE VEGETATION FOR THE ENTIRE PARCEL SHALL BE SCHEDULED CONCURRENT WITH DEMOLITION AND CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH ULDC 406.12(2)



EB 2389
720 S.W. 2nd Ave, South Tower, Suite 300
GAINESVILLE, FLORIDA 32601
TEL: (352) 373-3541
www.edafl.com mail@edafl.com



NORTH

SCALE: 1" = 40'



GRAPHIC SCALE

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Project No: 22-033

Project phase: FINAL DEVELOPMENT PLAN

Project title:

TARA EMERALDA - PHASE 2
ALACHUA COUNTY,
FLORIDA

Sheet title:
TREE CANOPY
PRESERVATION PLAN

Designed: CSV Sheet No.:

Drawn: MAB

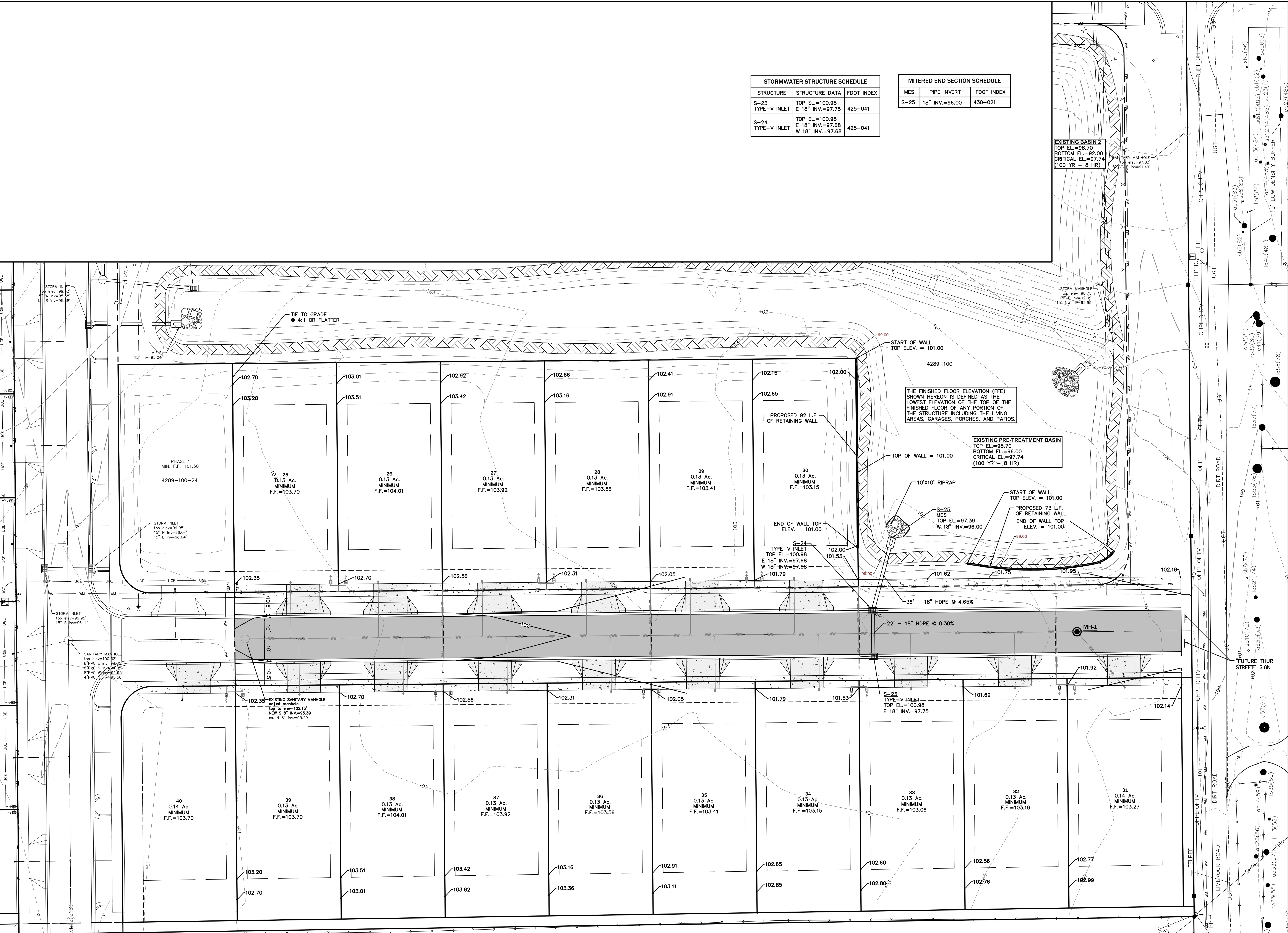
Checked: MMD

Date: 09/05/23

C180

STORMWATER STRUCTURE SCHEDULE		
STRUCTURE	STRUCTURE DATA	FDOT INDEX
S-23	TOP EL.=100.98 E 18" INV.=97.75	425-041
S-24	TOP EL.=100.98 E 18" INV.=97.68 W 18" INV.=97.68	425-041

MITERED END SECTION SCHEDULE		
MES	PIPE INVERT	FDOT INDEX
S-25	18" INV.=96.00	430-021



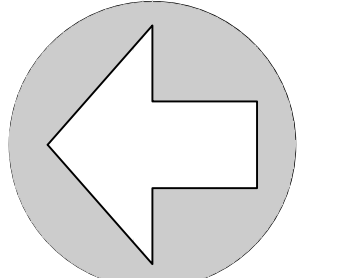
EXISTING BASIN 2
TOP EL.=98.70
BOTTOM EL.=92.00
CRITICAL EL.=97.74
(100 YR - 8 HR)

THE FINISHED FLOOR ELEVATION (FFE) SHOWN HEREON IS DEFINED AS THE LOWEST ELEVATION OF THE TOP OF THE FINISHED FLOOR OF ANY PORTION OF THE STRUCTURE INCLUDING THE LIVING AREAS, GARAGES, PORCHES, AND PATIOS.

EXISTING PRE-TREATMENT BASIN
TOP EL.=98.70
BOTTOM EL.=96.00
CRITICAL EL.=97.74
(100 YR - 8 HR)

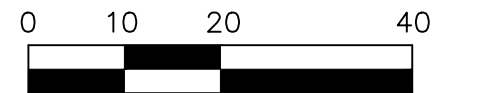


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NORTH

SCALE: 1" = 20'



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Engineer Certificate No.

Project No: 22-033

Project phase: FINAL DEVELOPMENT PLAN

Project title: TARA ESMERALDA - PHASE 2 ALACHUA COUNTY, FLORIDA

Sheet title: PAVING, GRADING, AND DRAINAGE PLAN

Designed: CSV Sheet No.:

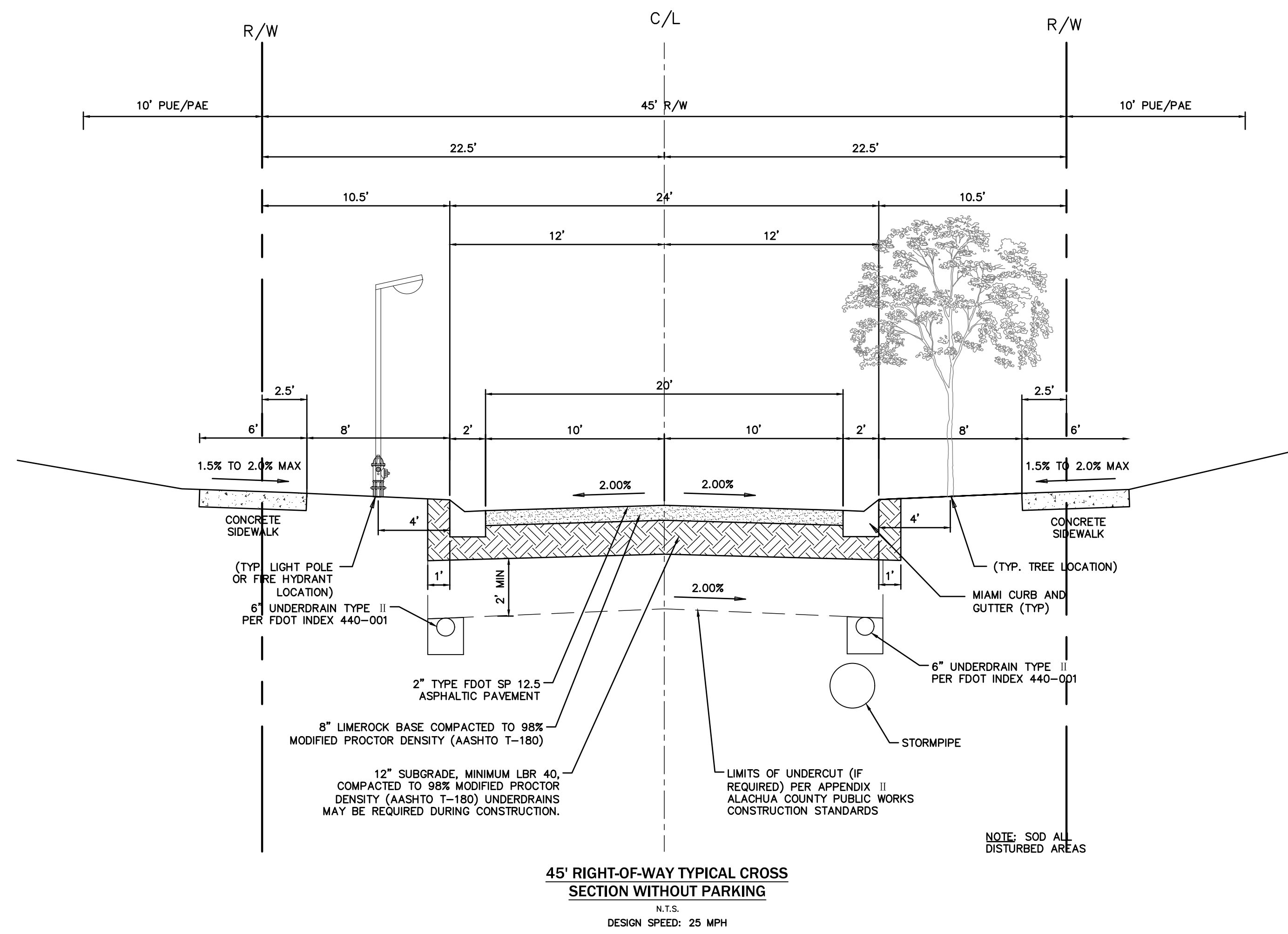
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Date: 09/05/23

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PAVING, GRADING AND DRAINAGE SPECIFICATIONS

1. GENERAL: ALL ROADWAY AND DRAINAGE CONSTRUCTION, INCLUDING MATERIALS, CONSTRUCTION TECHNIQUES, AND TECHNICAL STANDARDS, SHALL BE IN ACCORDANCE WITH THE LATEST F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE LATEST F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS.
2. ALL AREAS OF NEW CONSTRUCTION SHALL BE PREPARED AFTER SITE DEMOLITION. TOP SOIL REMAINING ON-SITE MAY BE STOCKPILED FOR FINE GRADING IN LANDSCAPED AREAS, IF SUITABLE. THE CONTRACTOR SHALL FURNISH ALL FILL REQUIRED AND DISPOSE OF ALL EXCESS OR UNSUITABLE MATERIAL OFF-SITE IN ACCORDANCE WITH ALL REGULATORY REQUIREMENTS.
3. ALL NEW ASPHALT PAVEMENT CONSTRUCTION SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
 - A. EARTHWORK: FILL MATERIALS SHALL CONFORM TO AASHTO SOIL GROUPS A-1, A-3, OR A-2-4 AND SHALL BE PLACED IN 6"-12" LOOSE LIFTS AND COMPACTED TO 98% DENSITY USING MODIFIED PROCTOR METHOD (AASHTO T-180).
 - B. SUBSOIL EXCAVATION: WHERE SUBSOIL EXCAVATION IS REQUIRED, UNSUITABLE MATERIALS SHALL BE REMOVED TO A DEPTH OF 24" BELOW THE LIMEROCK BASE AND BACKFILLED WITH CLEAN FILL.
 - C. STABILIZED SUBGRADE: ALL STABILIZED MATERIAL SHALL BE TYPE 'B' CONFORMING TO SECTION 914-3 AND PLACED ACCORDING TO SECTION 160 IN ONE 12" MINIMUM COMPACTED LIFT. SUBGRADE SHALL BE STABILIZED TO A MINIMUM LBR VALUES AND DENSITIES AS SHOWN IN THE TYPICAL SECTIONS.
 - D. BASE COURSE: ALL MATERIAL SHALL BE LIMEROCK CONFORMING TO SECTION 911 AND PLACED ACCORDING TO SECTION 200 IN ONE 6" MINIMUM COMPACTED LIFT OR DOUBLE COMPACTED LIFT. ALL BASE MATERIAL SHALL BE COMPACTED TO 98% DENSITY BY MODIFIED PROCTOR METHOD (AASHTO T-180). THE PRIME COAT SHALL CONFORM TO SECTION 300.
 - E. ASPHALTIC CONCRETE: ALL ASPHALTIC CONCRETE MATERIAL SHALL BE AS PER DESIGN SECTIONS AND SHALL CONFORM TO SECTION 334. ALL ASPHALTIC CONCRETE CONSTRUCTION SHALL CONFORM TO SECTION 330. ASPHALT PAVEMENT SHALL BE SUPERPAVE SP-PG 67-22 ASPHALT BINDER.
4. ALL CONCRETE USED FOR CONSTRUCTION OF DRAINAGE STRUCTURES, SIDEWALKS, AND CURBING SHALL BE CLASS I CONFORMING TO SECTION 346.
5. REINFORCED CONCRETE PIPE SHALL CONFORM TO SECTION 941.
6. ALL PAVEMENT MARKINGS REQUIRED IN THE R/W SHALL BE THERMOPLASTIC AND INCLUDE RAISED PAVEMENT MARKERS, WHERE REQUIRED CONFORMING TO SECTION 711.
7. ALL PAVEMENT MARKING, SYMBOLS AND STRIPING WITHIN THE SITE SHALL MEET THE LATEST FLORIDA HANDICAP ACCESSIBILITY CODE. PAVEMENT MARKING SHALL BE 4" BLUE/WHITE (HANDICAP) OR WHITE (REGULAR) AND SHALL CONFORM TO THE LATEST F.D.O.T. AND M.U.T.C.D. STANDARDS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A GEOTECHNICAL CONSULTANT TO PROVIDE A FIELD INVESTIGATION REPORT DELINEATING RECOMMENDATIONS FOR UNDERCUTTING AND/OR UNDERDRAINS. A COPY OF THIS REPORT SHALL BE FORWARDED TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO UNDERCUTTING OR INSTALLING UNDERDRAIN. UNIT PRICES SHALL BE PROVIDED FOR UNDERDRAIN AND UNDERCUTTING. THE CONTRACTOR SHALL NOT CONSTRUCT BASE COURSE UNTIL THE REPORT IS REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
9. SOIL TESTING RESULTS SHALL BE PROVIDED FOR THE PAVEMENT CONSTRUCTION. TESTING RESULTS SHALL BE SUBMITTED FOR THE SUBGRADE AND BASE COURSE, IN ACCORDANCE WITH THE DESIGN SECTION. A MINIMUM OF 5 TEST LOCATIONS SHALL BE PROVIDED ON-SITE. THE TESTING REPORT SHALL DENOTE THE TEST LOCATIONS. THE CONTRACTOR SHALL NOT PROCEED TO THE SUBSEQUENT PAVEMENT SECTION UNTIL TESTING RESULTS ARE APPROVED FOR PREVIOUS SECTION. ALL TESTING REQUIRED WITHIN THE COUNTY R/W SHALL BE COORDINATED WITH THE COUNTY INSPECTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TESTING COST.
10. LANDSCAPING: FINAL GRADING IN OPEN AREAS AND LANDSCAPE ISLANDS SHALL BE COORDINATED WITH THE LANDSCAPE CONTRACTOR AND THE OWNER. THE CONTRACTOR SHALL ALSO COORDINATE THE PLACEMENT OF ANY IRRIGATION AND ELECTRICAL CONDUIT SLEEVES DURING CONSTRUCTION.
11. ROOF RUNOFF WILL BE DIRECTED TO THE STORMWATER SYSTEM IF A GUTTER COLLECTION SYSTEM IS NOT SHOWN IN THE PLANS. RUNOFF COLLECTION SHALL BE COORDINATED WITH THE ARCHITECT.
12. REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS IS THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR. SOIL IN AREAS TO BE LANDSCAPED SHALL BE UNCOMPACTED, SUITABLE FOR ROOT GROWTH WITH APPROPRIATE AMOUNTS OF ORGANIC MATTER, AND OF PH 5.5-6.5.
13. TREE BARRICADES MUST REMAIN IN PLACE AND IN THE DIMENSIONS SHOWN ON THE PLAN UNTIL LANDSCAPING BEGINS. SEE NOTE ON SHEET C0.20 AND THE DETAIL ON THE LANDSCAPE PLAN.



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AS SHOWN

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Claudia S. Vega, P.E. 51532
Engineer Certificate No.

Project No: 22-033

Project phase: FINAL DEVELOPMENT PLAN

Project title:

TARA ESMERALDA - PHASE 2
ALACHUA COUNTY,
FLORIDA

Sheet title:
PAVING, GRADING, AND
DRAINAGE DETAILS

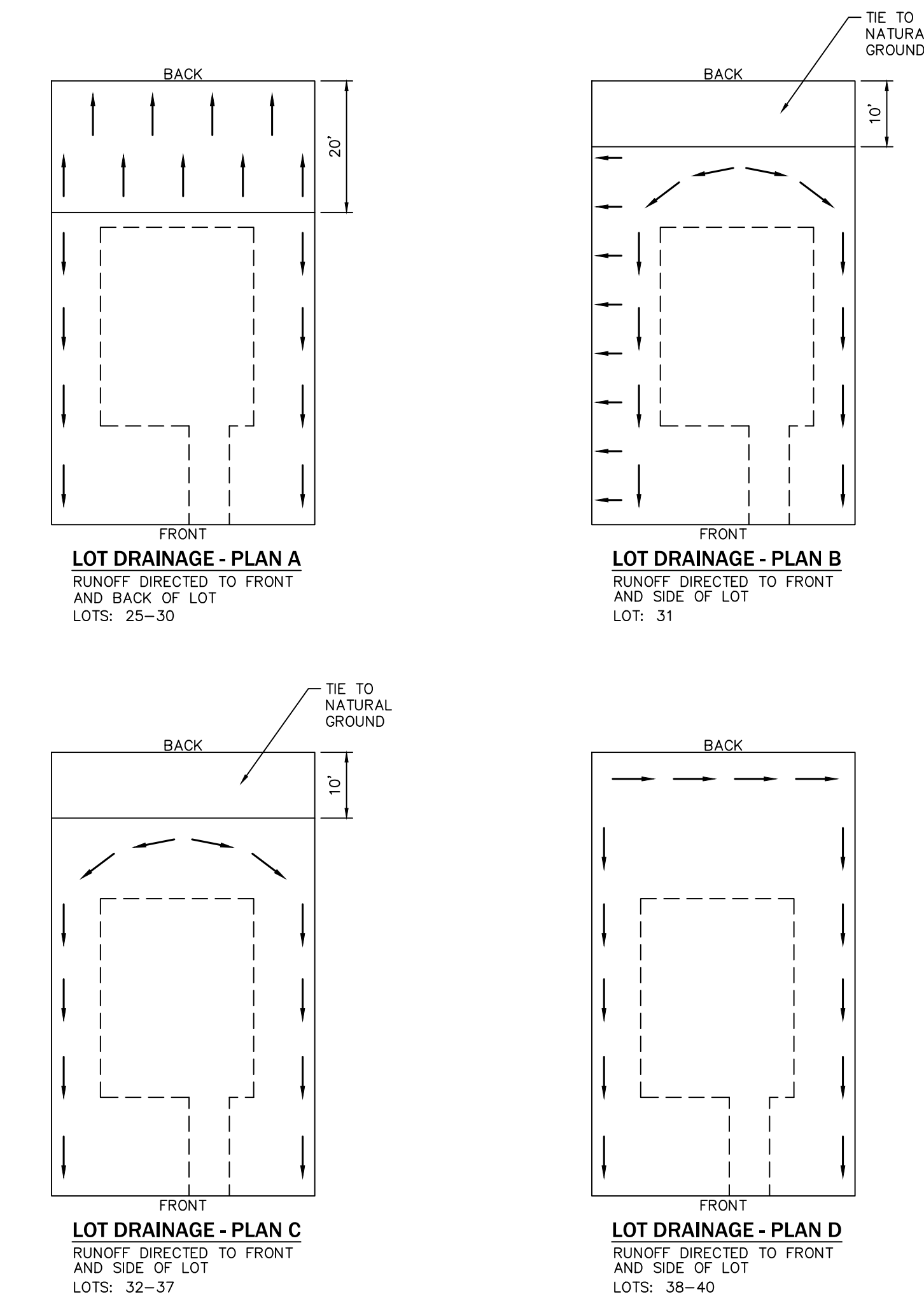
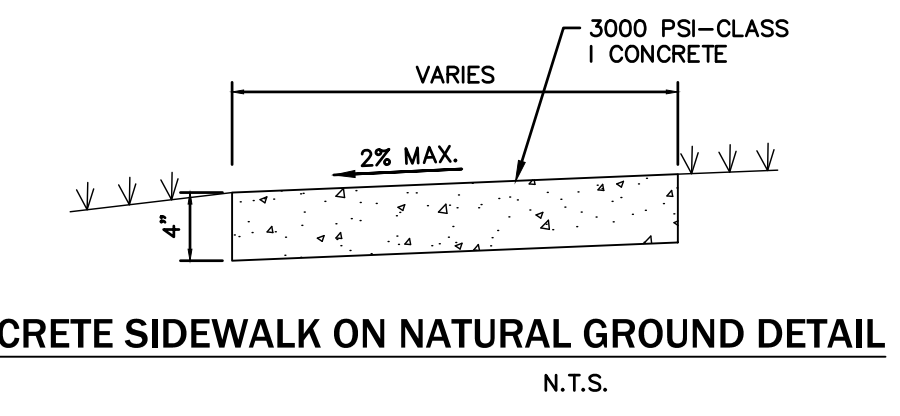
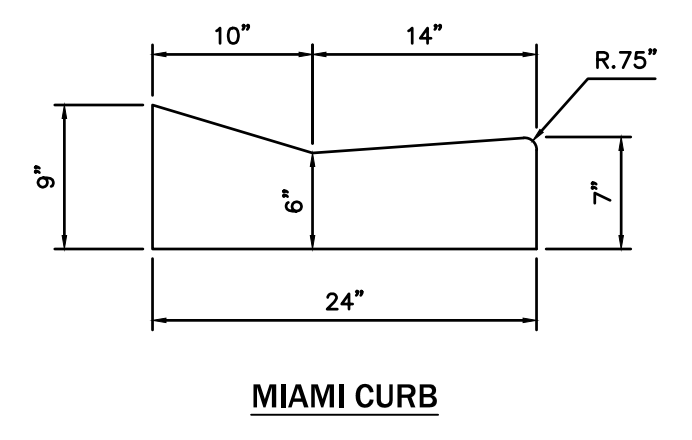
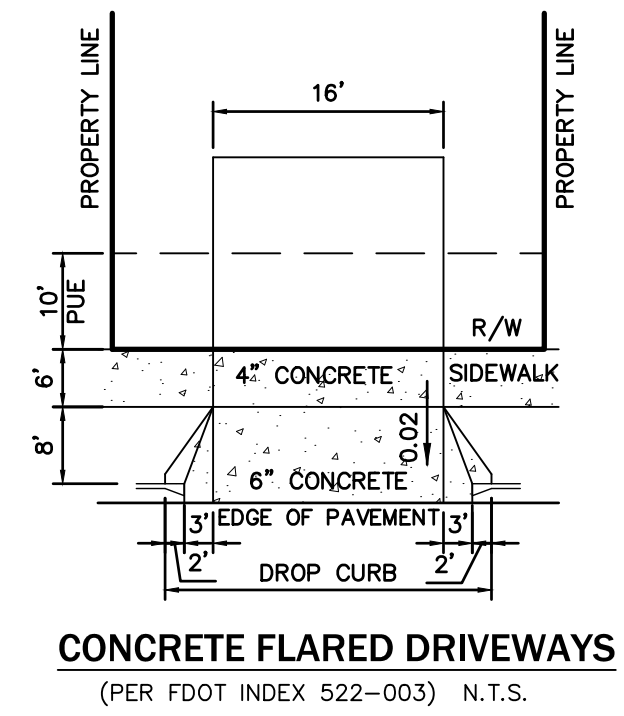
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Date: 09/05/23

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WATER FITTING SCHEDULE

KEY	ASSEMBLY
1	CONNECT PROPOSED 8" DIP WATER MAIN TO EXISTING 8" WATERLINE 1 - 8"x2" SADDLE 1 - DOUBLE 1" POLYETHYLENE WATER SERVICE PER GRU DETAIL W-7.1
2	5/8" WATER METER ASSEMBLIES PER GRU DETAIL W-8.0.1 (END OF GRU MAINTENANCE) 2 - 3/4" BACKFLOW PREVENTER (PER GRU DETAIL W-8.4)
3	8"x2" SADDLE 1 - 2" CTS POLYETHYLENE SERVICE ROADWAY CROSSING PER GRU DETAIL W-7.2 1 - DOUBLE 2" POLYETHYLENE WATER SERVICE PER GRU DETAIL W-7.3 2 - 5/8" WATER METER ASSEMBLIES PER GRU DETAIL W-8.0.1 (END OF GRU MAINTENANCE) 2 - 3/4" BACKFLOW PREVENTER (PER GRU DETAIL W-8.4)

NOTE: WATERMAIN SHALL BE DIP IN ALL SECTIONS UNDERNEATH ASPHALT PAVEMENT.

WASTEWATER CLEANOUT SCHEDULE

CLEANOUT	CLEANOUT DATA
CO-25	TOP EL.=194.69 INV.=190.69
CO-26	TOP EL.=102.72 INV.=98.72
CO-27	TOP EL.=102.48 INV.=98.48
CO-28	TOP EL.=102.23 INV.=98.23
CO-29	TOP EL.=101.97 INV.=97.97
CO-30	TOP EL.=101.71 INV.=97.71
CO-31	TOP EL.=102.06 INV.=98.06
CO-32	TOP EL.=101.82 INV.=97.82

WASTEWATER CLEANOUT SCHEDULE

CLEANOUT	CLEANOUT DATA
CO-33	TOP EL.=101.60 INV.=97.60
CO-34	TOP EL.=101.65 INV.=97.65
CO-35	TOP EL.=101.91 INV.=97.91
CO-36	TOP EL.=102.17 INV.=98.17
CO-37	TOP EL.=102.42 INV.=98.42
CO-38	TOP EL.=102.68 INV.=98.68
CO-39	TOP EL.=102.63 INV.=98.63

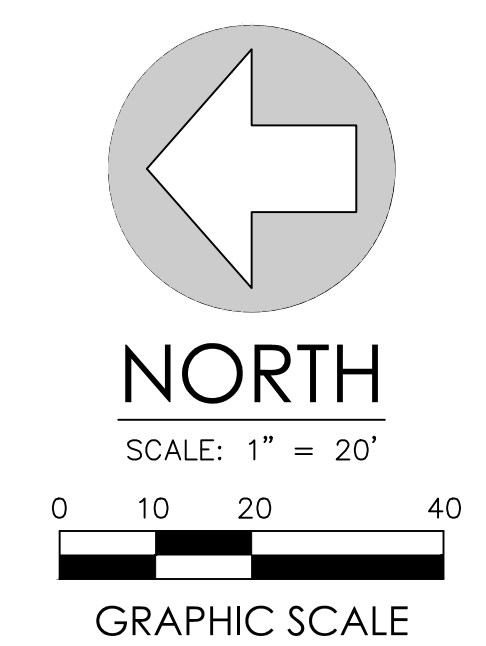
*CLEANOUT NUMBERS MATCH LOT NUMBERS

GRU GAS NOTES

- CALL 811 BEFORE DIGGING AND LOCATE AND PROTECT GRU GAS FACILITIES. MAINTAIN A MINIMUM COVER OF 36" OVER GRU GAS MAIN DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
- PLEASE INDICATE VIA PROJECT DOX IF THE CUSTOMER DESIRES G.R.U. GAS SERVICE FOR THIS PROJECT, AS WELL AS CONTACTING VANESSA ARAGON, G.R.U. GAS MARKETING AT 352-393-1466, 7 DAYS BEFORE CONSTRUCTION BEGINS.
- ALL PVC GAS CASINGS FURNISHED AND INSTALLED BY OWNER.

GRU UTILITY NOTES

- A SEPARATE UTILITY PERMIT WILL BE REQUIRED FOR THE EXTENSION OF THE PROPOSED UTILITIES (WATER & WASTEWATER).
- THE UTILITY PLAN AND PLAT SHOWS ALL PUBLIC UTILITY EASEMENTS (PUE'S) IN A METES AND BOUNDS FORMAT. UPON GRU'S APPROVAL OF PLANS FOR DEVELOPMENTS NOT BEING PLATTED, OWNER MAY CHOOSE TO GRANT THE METES AND BOUNDS EASEMENTS AS SHOWN, OR GRANT A BLANKET EASEMENT OVER THE ENTIRE PROPERTY, PROVIDED FACILITIES ARE INSTALLED WITHIN THE PRESCRIBED DISTANCES AS SHOWN ON THE UTILITY PLANS AND IN ACCORDANCE WITH THE UTILITY SEPARATION REQUIREMENTS TABLE IN APPENDIX C OF THE GRU W/WW/RCW DESIGN STANDARDS.
- ALL CONSTRUCTION MATERIALS AND METHODS FOR POTABLE WATER, WASTEWATER AND RECLAIMED WATER SYSTEMS SHALL CONFORM TO GRU'S MOST RECENT POTABLE WATER, WASTEWATER, AND RECLAIMED WATER SYSTEM DESIGN STANDARDS AND APPROVED MATERIALS MANUAL.
- POTABLE WATER AND WASTEWATER MAINS SHALL MAINTAIN A MINIMUM 10 FEET HORIZONTAL AND 1.5 FOOT VERTICAL SEPARATION.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FOR POTABLE WATER MAINS, WASTEWATER FORCE MAINS, AND RECLAIMED WATER MAINS, AND 15 FEET FOR GRAVITY WASTEWATER MAINS SHALL BE PROVIDED AND MAINTAINED FROM BUILDINGS, TRANSFORMERS AND ALL PERMANENT STRUCTURES. SERVICE LATERALS REQUIRE 5 FEET LESS CLEARANCE FOR EACH OF THE UTILITIES; NOTE THAT WATER SERVICE LATERALS SHALL BE INSTALLED WITHIN 3" SLEEVES. (SEE APPENDIX C OF GRU'S DESIGN STANDARDS AND CONSTRUCTION DETAILS FOR POTABLE WATER, WASTEWATER, AND RECLAIMED WATER - HORIZONTAL SEPARATION DISTANCES FOR PARALLEL AND PERPENDICULAR CLEARANCE FROM OTHER OBJECTS TABLE.)
- POTABLE WATER SERVICES, REQUIRING A SEPARATE WATER METER, SHALL BE PROVIDED TO EACH LOT, BUILDING OR PARCEL EFFECTIVE OCTOBER 1, 2007, FOR COMMERCIAL, MULTIFAMILY, AND INSTITUTIONAL DEVELOPMENTS. THE DEVELOPER SHALL BE RESPONSIBLE FOR INSTALLING POTABLE WATER SERVICES AND YOKE ASSEMBLY PACKAGE UP TO AND INCLUDING THE METER YOKE, BOX (INSTALLED AT FINAL GRADE) AND ASSOCIATED APPURTENANCES, FOR METERS 1" AND SMALLER (SEE GRU W/WW/RCW CONSTRUCTION DETAIL W-8.0), WITH A ONE-YEAR WARRANTY.
- 2" VALVES LOCATED IN PAVED AREAS, INCLUDING SIDEWALKS, SHALL BE GRU APPROVED CAST IRON, RESILIENT SEAT GATE VALVES WITH STANDARD 2" OPERATING NUT, THREADED WITH BRASS NIPPLE BETWEEN THE VALVES AND TAPPING SADDLE OR TAPPED TEE.
- WATER MAINS 4" IN DIAMETER AND GREATER, PLACED UNDER ROADWAYS, SHALL BE CEMENT LINED DUCTILE IRON PIPE (CLDIP) EXTENDING 5 FEET PAST THE BACK OF CURB (3 FEET WITHIN CITY OF GAINESVILLE LIMITS) ON PVC WATER MAINS SHALL CONTINUE ACROSS THE CLDIP SECTIONS.
- 1" OR 2" PE WATER SERVICE CROSSINGS LOCATED UNDER ROADWAYS SHALL BE ENCASED IN 3" SCH 40 PVC EXTENDING 5' PAST THE BACK OF CURB (3' INSIDE CITY OF GAINESVILLE LIMITS).
- ANCHORING TEES, COUPLINGS, AND BENDS SHALL BE USED ON ALL FIRE HYDRANT ASSEMBLIES.
- ALL PRESSURIZED MAIN FITTINGS SHALL BE MECHANICAL JOINT WITH RESTRAINED JOINT GLANDS; A SUFFICIENT LENGTH OF THE PIPE CONNECTED TO THE FITTINGS SHALL BE MECHANICALLY RESTRAINED TO PROVIDE REACTION AS SPECIFIED ON THE RESTRAINED JOINT STANDARD IN THE CONSTRUCTION DETAILS OF THE GRU STANDARDS (W-2.8 & 2.9, RCW-2.8 & 2.9, AND WW-2.4 & 2.5). CALCULATIONS FOR REQUIRED RESTRAINT LENGTH MUST BE PROVIDED IF THE SPECIFIED RESTRAINT LENGTH, DUE TO SOIL TYPE OR DEPTH OF COVER, DIFFERS FROM THOSE PROVIDED ON THESE DETAILS.
- ALL SANITARY WASTEWATER SERVICE LATERALS SHALL BE MIN. 4" DIAMETER PVC (SDR 26) AT 1.00% MIN. SLOPE UNLESS OTHERWISE LABELED.
- WASTEWATER CLEANOUT COVERS SHALL BE RATED FOR TRAFFIC LOAD BEARING.
- MANHOLES WHICH ARE NOT INSTALLED UNDER PAVEMENT SHALL HAVE A RIM ELEVATION AT LEAST 6" ABOVE FINISHED GRADE, AND A 10:1 SLOPE TO FINISHED GRADE.
- UNLESS OTHERWISE NOTED ON THE PLANS, THE FINISHED FLOOR ELEVATIONS OF BUILDINGS SHALL BE A MINIMUM OF 6" ABOVE THE LOWEST UPSTREAM MANHOLE TOP. IF THIS IS INFEASIBLE, A WASTEWATER SERVICE LATERAL BACKWATER VALVE (BWV) IS REQUIRED ON THE CUSTOMER SIDE OF CLEANOUT.
- WHEN A POTABLE OR RECLAIMED WATER MAIN, OR A WASTEWATER FORCE MAIN IS ROUTED WITHIN 10 FT. OF AN ELECTRIC TRANSFORMER, A 20 FT. LENGTH OF DIP SHALL BE CENTERED ON THE TRANSFORMER WITH MECHANICAL RESTRAINT AT EACH END. NO FITTINGS OR VALVES SHALL OCCUR WITHIN 10 FT. OF THE NEAREST EDGE OF THE TRANSFORMER. A MINIMUM CLEARANCE OF 3' SHALL BE MAINTAINED BETWEEN THE MAIN AND THE TRANSFORMER.
- A/C CONDENSATE SHALL NOT FLOW INTO WASTEWATER SYSTEM.
- IRRIGATION FOR THIS PROJECT IS PROVIDED BY THE EXISTING WELL INSTALL IN PHASE 1.



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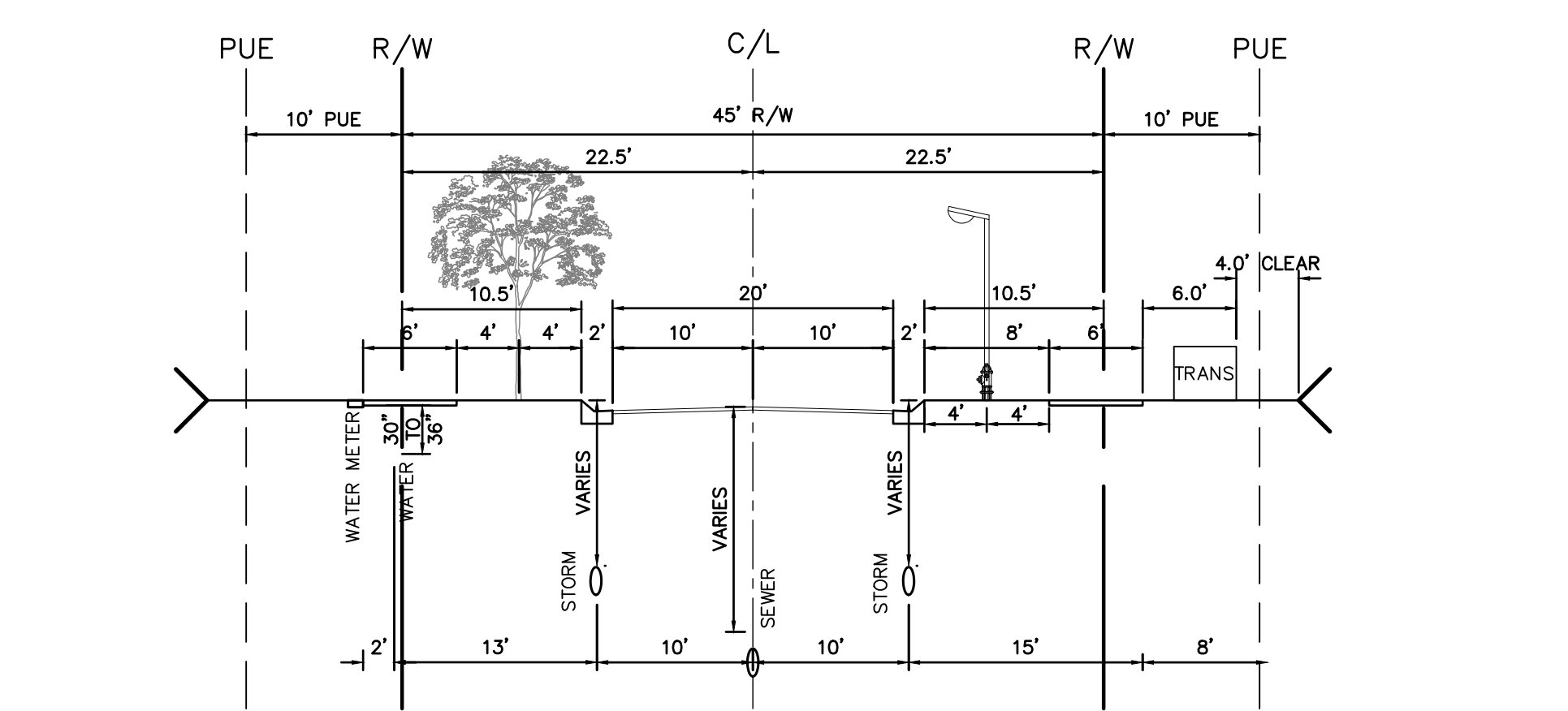
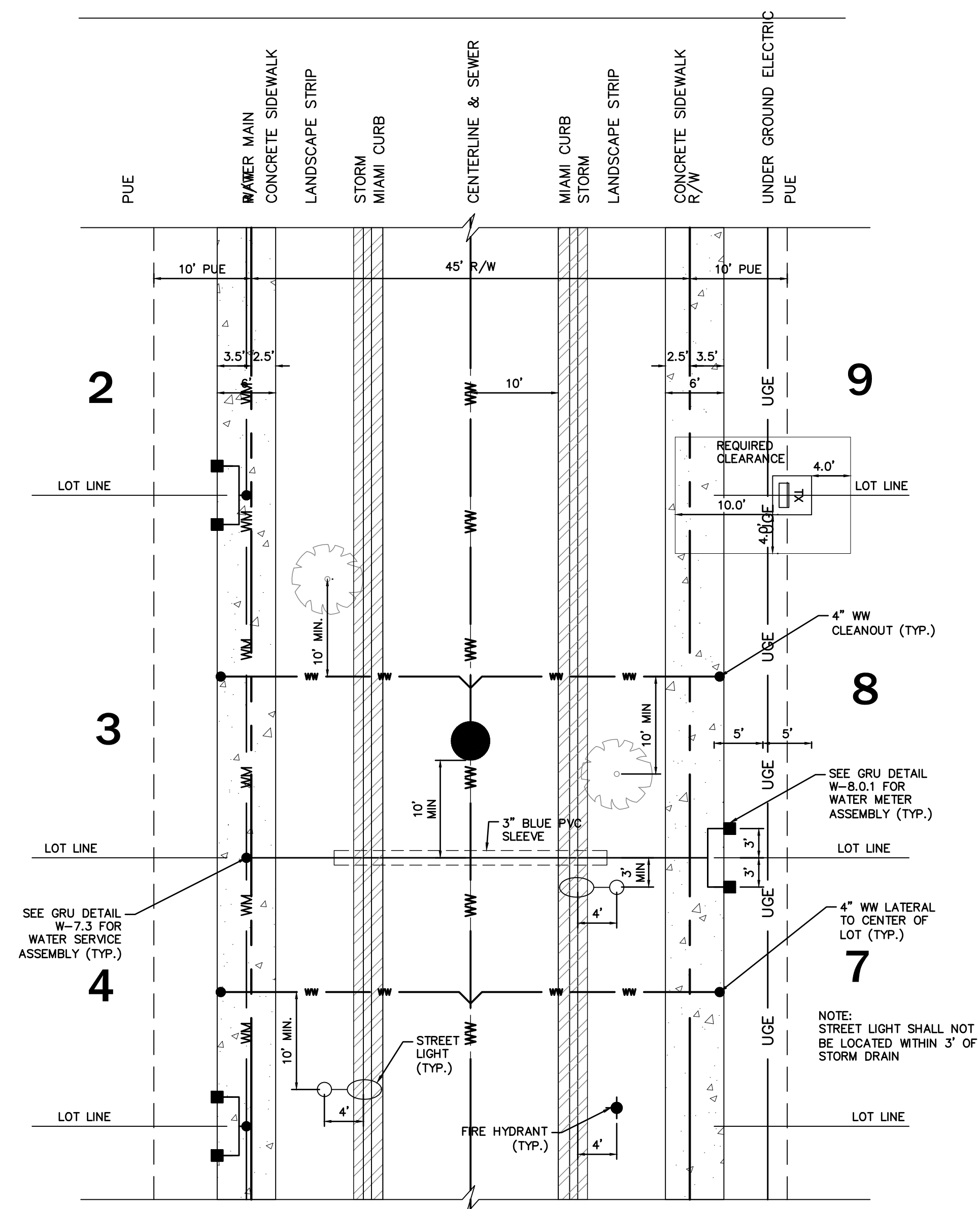
Project No: 22-033
Project phase: FINAL DEVELOPMENT PLAN
Project title:

TARA ESMERALDA - PHASE 2
ALACHUA COUNTY,
FLORIDA

Sheet title:
UTILITY PLAN

Designed: CSV Sheet No.:
Drawn: MAB
Checked: MMD
Date: 09/05/23
C300

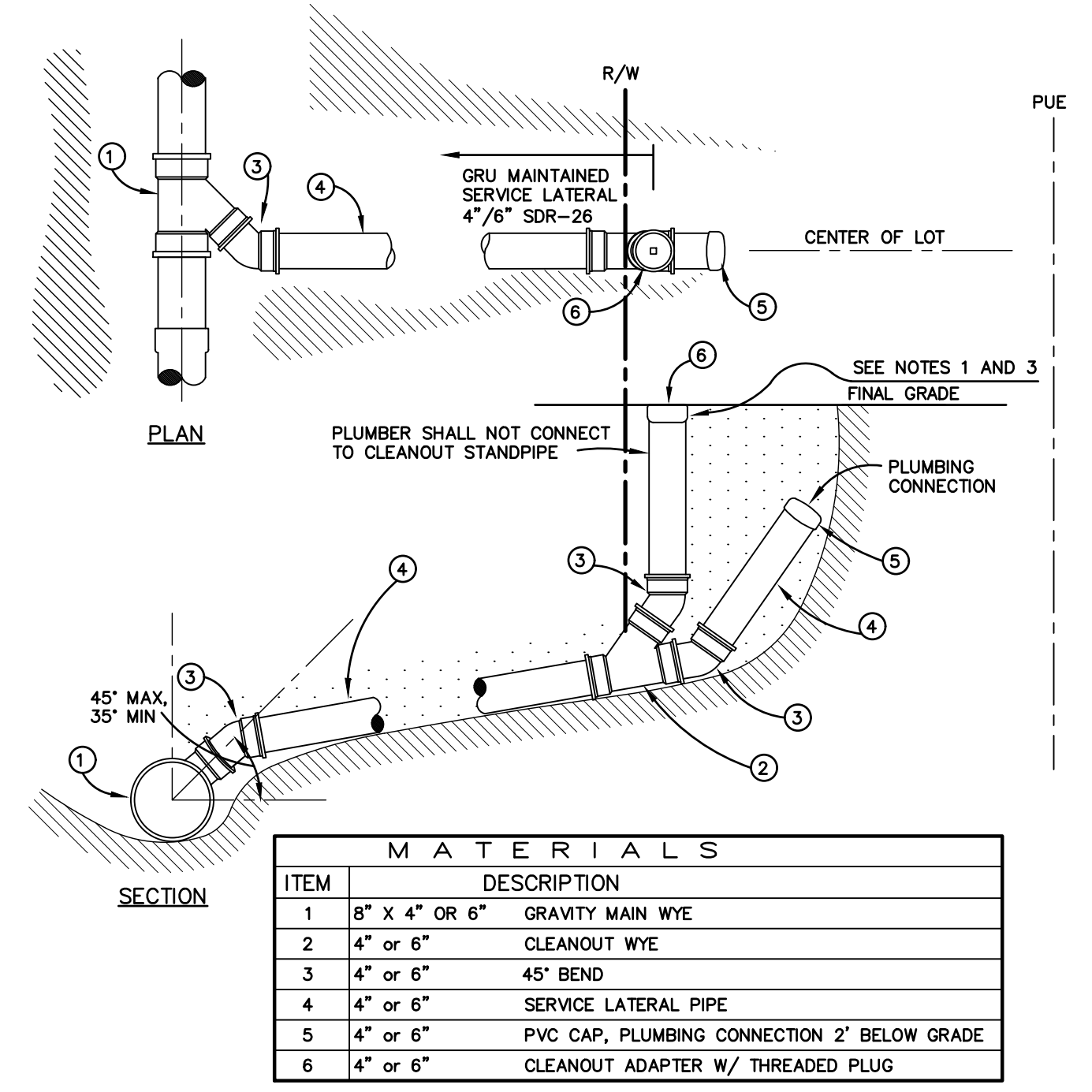
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**45' RIGHT-OF-WAY
TYPICAL UTILITY ALLOCATION CROSS SECTION**
DESIGN SPEED: 25 MPH

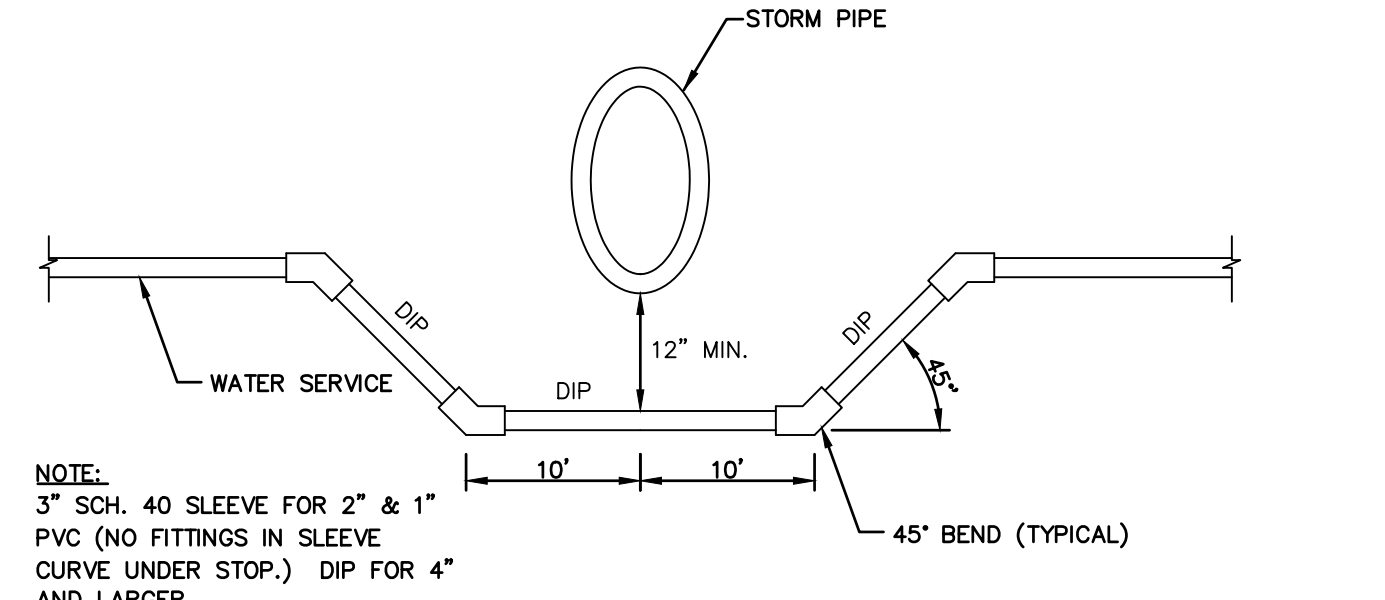
GENERAL UTILITY NOTES

- CONTRACTOR IS RESPONSIBLE FOR PROTECTION AND VERIFICATION OF EXISTING UTILITIES. ANY EXISTING UTILITY TO BE MODIFIED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER.
- WATER METER ASSEMBLIES SHALL BE INSTALLED BY GRU.
- ELECTRIC SERVICE TO BE COORDINATED WITH GRU ELECTRIC ENGINEERING DEPARTMENT.
- UTILITY INSTALLATION SHALL NOT TAKE PLACE WITHIN TREE BARRICADE AREA AS SHOWN ON THE PAVING, GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF UNSUITABLE MATERIALS OFF-SITE AND FURNISH APPROVED MATERIAL PER CITY OF GAINESVILLE FOR SANITARY SEWER LINES BACKFILL AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR MAY DISPOSE OF UNSUITABLE MATERIAL ON-SITE BY APPROVAL OF THE OWNER.
- NO PERMANENT STRUCTURE SHALL BE CONSTRUCTED WITHIN 10 FEET OF ANY WATER LINE OR 15 FEET OF ANY SEWER LINE.
- CONTRACTOR SHALL PROTECT LANDSCAPE AND ANY DISTURBED AREAS SHALL BE RESTORED AS EXISTING.
- ANY DEVIATION FROM SPECIFIED LOCATION THAT BRINGS UTILITY INSTALLATION WITHIN 20' OF ANY EXISTING TREE REQUIRES AN ON-SITE MEETING WITH THE COUNTY ARBORIST.

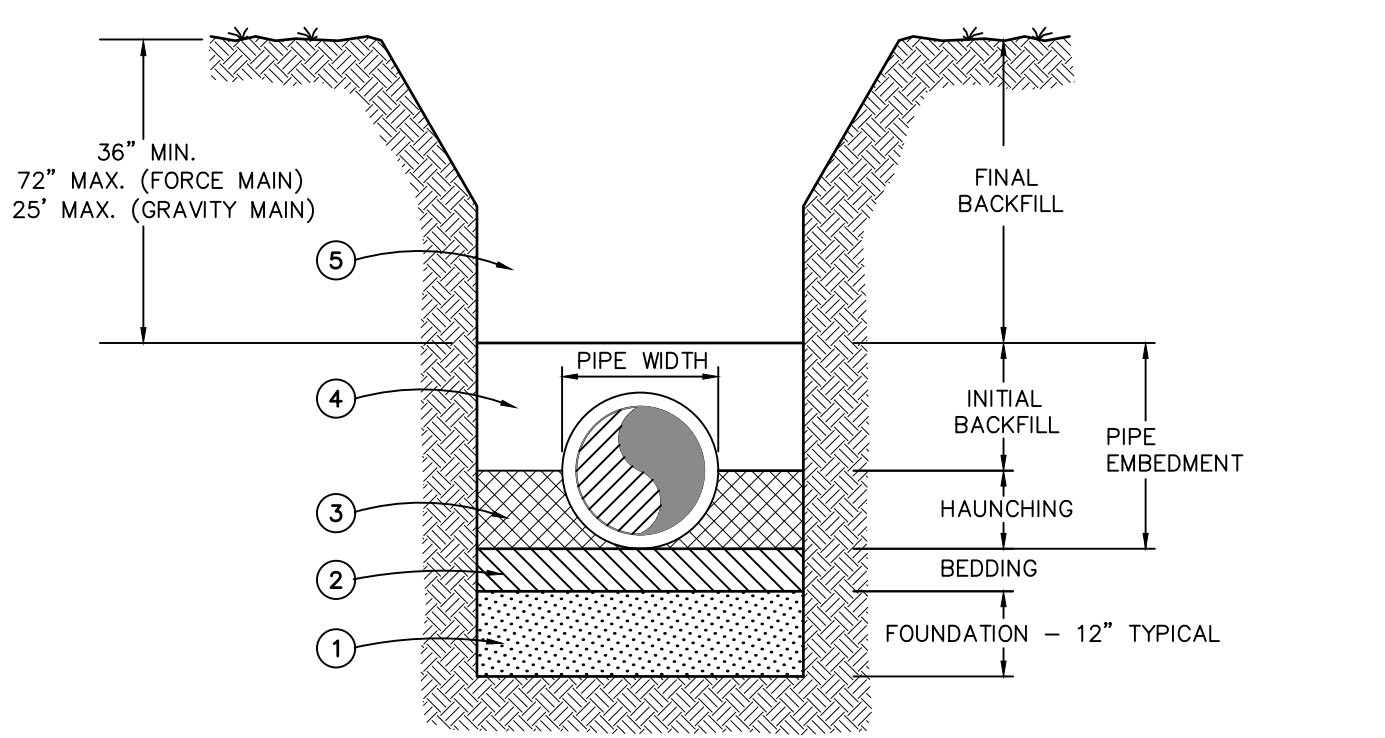


- NOTES:**
- PLUMBER SHALL NOT CONNECT TO CLEANOUT STANDPIPE.
 - PVC (SDR-26) WYES ARE ACCEPTABLE. PVC T-WYE & STANDARD TEES ARE UNACCEPTABLE.
 - CLEANOUTS SHALL BE INSTALLED 3' ABOVE GRADE FOR SINGLE FAMILY RESIDENCES.
 - WHERE CLEANOUT IS WITHIN PARKING LOT AND/OR PAVING OR SIDEWALK, CLEANOUT MUST BE INSTALLED 3"-4" BELOW FINAL GRADES WITH TRAFFIC BEARING COVER AT FINAL GRADE.
 - WHERE CLEANOUT IS NOT WITHIN PAVEMENT OR SIDEWALK, IT MUST BE INSTALLED FLUSH WITH SURFACE WITH A SLOTTED OR SQUARE RECESS COVER.

WASTEWATER SERVICE LATERAL CONSTRUCTION (WW-5.0)
N.T.S.



WATER CROSSING DETAIL
N.T.S.



- NOTES:**
- A FOUNDATION MAY BE REQUIRED IN VERY POOR SOIL CONDITIONS. FIELD DETERMINATION WILL BE PROVIDED BY GRU INSPECTOR. TYPICAL FOUNDATION THICKNESS SHALL BE 12", BUT MAY VARY ACCORDING TO NATURAL MATERIAL.
 - BEDDING IS REQUIRED PRIMARILY TO BRING THE TRENCH BOTTOM UP TO GRADE. BEDDING MATERIALS SHALL PROVIDE A UNIFORM AND ADEQUATE LONGITUDINAL SUPPORT UNDER THE PIPE. IN DRY SOIL CONDITIONS CLASS II OR CLASS III MATERIAL SHALL BE HAND PLACED 4" TO 6", LIGHTLY COMPACTED, UNIFORM AND NOT FINER THAN THE FOUNDATION MATERIAL. IN WET SOIL CONDITIONS CLASS I, CLASS II OR CLASS III SHALL BE HAND PLACED, 4" TO 6", UNIFORM AND NOT FINER THAN THE FOUNDATION MATERIAL. WHEN UTILIZING CLASS I MATERIAL, SUFFICIENT AMOUNTS OF CLASS II OR CLASS III MATERIAL SHALL BE ADDED TO FILL ALL VOIDS CREATED BY THE CLASS I MATERIAL.
 - HAUNCHING MATERIAL SHALL BE HAND PLACED TO THE SPRINGLINE OF THE PIPE. CLASS II OR CLASS III MATERIAL SHALL BE CONSOLIDATED UNDER THE PIPE AND HAND TAMPED TO PROVIDE ADEQUATE SIDE SUPPORT.
 - INITIAL BACKFILL MATERIAL SHALL BE CLASS II OR CLASS III. IT SHALL BE HAND PLACED TO 12" ABOVE THE TOP OF THE PIPE. THE SOIL SHALL BE CONSOLIDATED BY HAND TAMPING OR WALKING THE SOIL IN PLACE.
 - FINAL BACKFILL MATERIAL MAY BE MACHINE PLACED. THE MATERIAL SHALL BE CLASS II OR CLASS III MATERIAL. CLASS IV MATERIAL MAY BE INSTALLED OUTSIDE OF THE ROADWAY. FINAL BACKFILL UNDER ROADWAYS MAY REQUIRE SPECIAL COMPACTION AND DENSITY TESTS.

BACKFILL REQUIREMENTS (WW-2.2)
N.T.S.



SCALES:
AS SHOWN

No.	Date	Comment

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY CLAUDIA S. VEGA, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Professional Engineer of Record:

Claudia S. Vega, P.E. 51532
Engineer Certificate No.

Project No: 22-033

Project phase: FINAL DEVELOPMENT PLAN

Project title:

TARA EMERALDA - PHASE 2
ALACHUA COUNTY,
FLORIDA

Sheet title:
UTILITY ALLOCATIONS
AND DETAILS

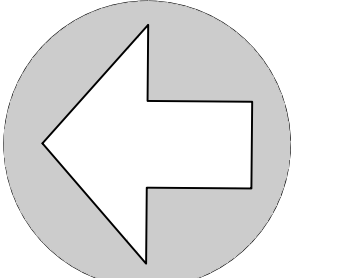
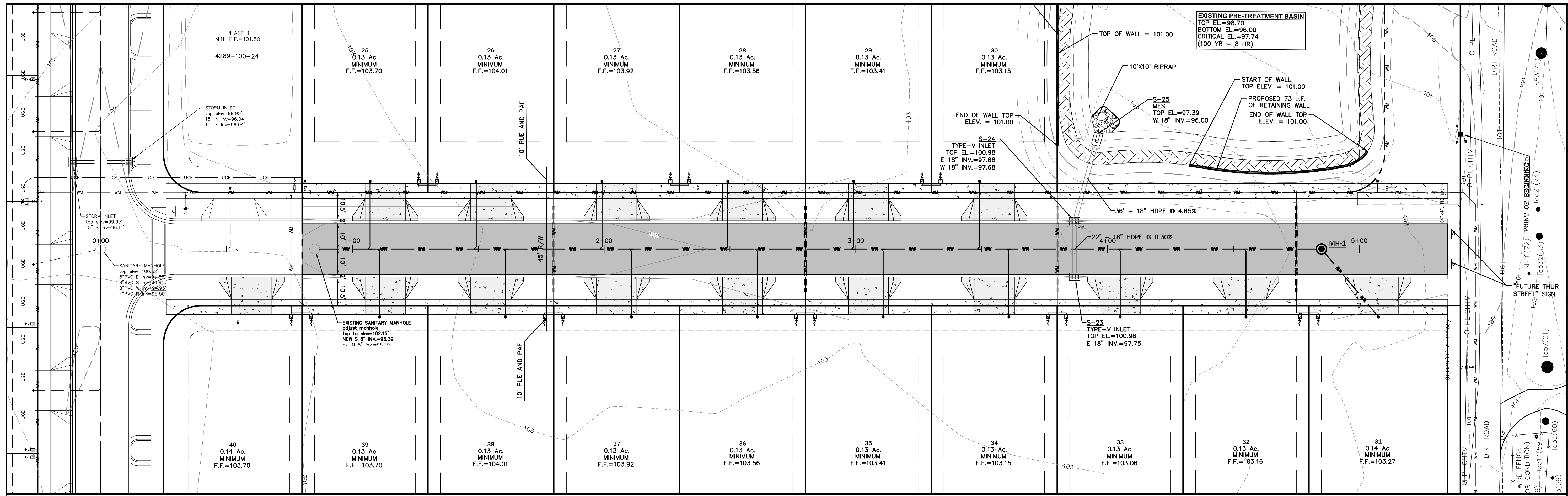
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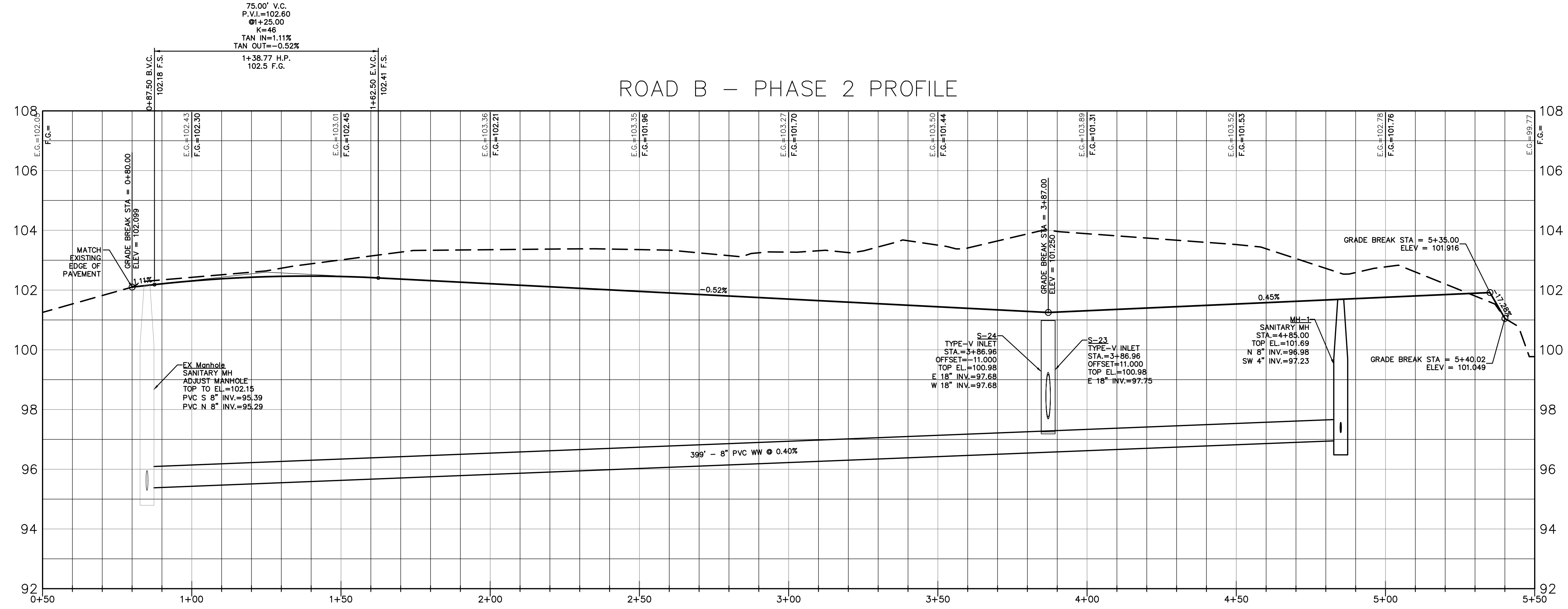
Date: 09/05/23

C310



NORTH
SCALE: 1" = 20'
0 10 20 40
GRAPHIC SCALE

ROAD B - PHASE 2 PROFILE



No.	Date	Comment

Professional Engineer of Record:

Claudia S. Vega, P.E. 51532
Engineer Certificate No.

Project No: 22-033

Project phase: FINAL DEVELOPMENT PLAN

Project title:

TARA EMERALDA - PHASE 2
ALACHUA COUNTY,
FLORIDA

Sheet title:

PLAN AND PROFILE 1

Designed: CSV Sheet No.:

Drawn: MAB

Checked: MMD

Date: 09/05/23

PROFILE SCALES:
HORIZONTAL: 1" = 20'
VERTICAL: 1" = 2'

C400

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