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1. EXPLANATION OF REQUEST AND REASONING

INTRODUCTION

This application seeks to remove historically dated policies in the Alachua County Comprehensive Plan, in favor of existing adopted policies and regulations applicable to all lands in the Urban Cluster. Specifically, the application addresses parcel-specific policies put in place to address a potential development project conceptualized decades ago.

THE OAKS MALL ACTIVITY CENTER

Urban Activity Centers are established in Section 2.0 of the Alachua County Comprehensive Plan Future Land Use Element (FLUE). Urban Activity Centers are intended to promote the efficient use of land within the Urban Cluster, and are the areas where more dense residential dwellings and non-residential uses are designed to be concentrated. Activity Centers are meant to act as nodes of higher density and intensity, with a mixture of uses interconnected by a system of multimodal corridors and by public transit. Development in Activity Centers must be in accordance with FLUE Policies 2.1.4 through 2.1.12, which primarily focuses on matters related to mixed-use development; reduction in travel distances; and support of multimodal travel opportunities and pedestrian connectivity.

FLUE Policy 2.2.3 establishes the Oaks Mall Activity Center. The stated intent of the Oaks Mall Activity Center is:

“To promote the area surrounding the interchange of Interstate 75 and State Road 26 as a high-intensity regional focal point.”

Mixed-use development across the Activity Center is encouraged, with focus on interconnectivity, nonmotorized trips, reducing overall traffic impacts, promoting pedestrian activity, and facilitating a live-work-play environment within a concentrated land area surrounded by existing facilities.

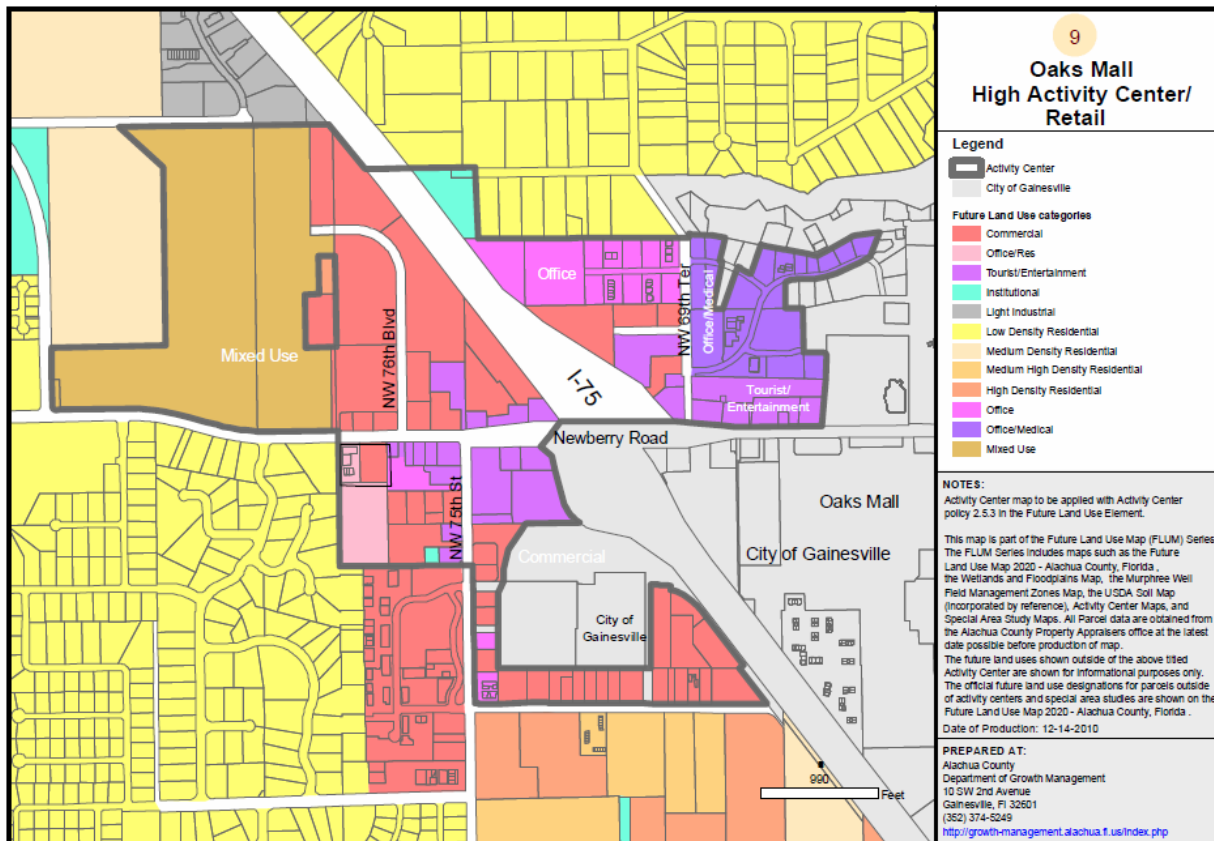


Figure 1. Oaks Mall High Activity Center/ Retail

Source: Alachua County Comprehensive Plan, Map F9.

The northwest corner of the Oaks Mall Activity Center, shown in Figure 1 with the “Mixed Use” Future Land Use category, is comprised of three (3) Alachua County Tax Parcels: 06331-000-000, 06329-000-000, and 06326-001-002. These parcels are identified in FLUE Policy 2.2.3(b)(2). This policy dictates the three (3) parcels must be developed in accordance with FLUE Section 1.7, which preliminarily and extensively foreshadowed Alachua County’s Transit Oriented Development (TOD) policies, and in accordance with highly prescriptive site-specific policies, which are detailed within Policy 2.2.3(b)(2). These site-specific policies detail various transportation improvements that would be required of any applicant when the property develops.



Figure 2. Aerial Map of Parcels of Focus

EXISTING POLICY IMPLICATIONS

The site-specific policies were established in 2002, based on the regulatory landscape at the time and area traffic analysis at the time. Since then, the Alachua County Comprehensive Plan has been further updated and amended, and the area surrounding the subject parcels has grown and developed, and traffic has grown and changed as Alachua County and its surrounding rural communities have grown. In that 20+ year intervening period, ±87.15 acres of land in what is meant to be a high-intensity regional focal point has sat underutilized, failing to realize the County’s larger vision for urbanization in the area as adopted in the Comprehensive Plan as Activity Centers within the Urban Cluster.

Certain site-specific policies governing the tax parcels pose barriers, both in terms of functional practicality and financial feasibility, to development. For example, FLUE Policy 2.2.3.(b)(2)(g) requires development of the property to provide:

- “1. Public transit with 15-minute peak hour frequencies and 25-minute frequencies during the non-peak hours;
- 2. Public transit connecting Santa Fe Community College and the Oaks Mall (required transit route);

3. Public transit that is coordinated with the Gainesville Regional Transit System (RTS) transit hub maintained at the Oaks Mall; and
4. Transit provided in sections a-c above shall be for a period of 15 years.”

A preliminary estimate from an RTS official (Attachment 1) indicates that fulfilling this demand would require adding one (1) bus to RTS Bus Route 23 for twelve (12) hours per day. RTS projects this cost to be a minimum of \$220,500 per year, based on the rate established for Fiscal Year 2023 by Alachua County.

Other site-specific policies pose very high specificity, potentially precluding development flexibility by property owner(s) and hindering the ability to develop - and redevelop - based on market conditions. Examples include FLUE Policy 2.2.3.(b)(2)a., which, beyond requiring a mix of uses in accordance with TOD standards, requires that uses on the property not produce “cumulative motor vehicle traffic impacts of 13,700 average annual daily trips, or 9,600 net daily motor vehicle trips.” These specific trip generation figures constrain potential uses of the property beyond the use constraints other properties are subjected to, and risk limiting a property owner’s ability to adapt and adjust site uses in the face of inevitable economic change. In addition, the static numbers of 13,700 and 9,600 may not reflect the site’s ability to function as a multimodal hub within the Urban Cluster and specifically an Activity Center and are inconsistent with the density and development form desired today.

While these site-specific policies may have been potentially viable in 2002, at the time of implementation, the Alachua County policy landscape is very different today. Since that time, regulations have expanded to extensively detail development of Traditional Neighborhood Developments (TNDs) and TODs, primarily via FLUE Policies 1.6 and 1.7 and Alachua County Unified Land Development Code (ULDC) Article VII. These regulations strike a balance between governance of development that aligns with the County’s short- and long-term vision and development form that allows flexibility in response to ever-changing market conditions.

Complex, theoretical development restrictions of the subject property only force and exacerbate urban sprawl, as evidenced by the numerous projects constructed west of the subject property extending to Jonesville and the City of Newberry. These developments occur to meet the County’s needs for housing and nonresidential offerings for existing citizens and future residents of Alachua County.

Ultimately, the site-specific policies implemented by FLUE Policy 2.2.3(b)(2), when considered in the context of the broader Alachua County policy landscape, add regulatory confusion. They also pose numerous barriers to development of land in what is adopted as a high intensity Activity Center.

THE PROPOSED SOLUTION

To facilitate realization of this ±87.15-acre portion of the Oaks Mall Activity Center, the proposed solution is to remove aged site-specific policies governing the parcels, and further amend FLUE Policy 2.2.3(b)(2) to allow TND/TOD-style development on the properties. This change impacts the Future Land Use Element and Capital Improvements Element of the Comprehensive Plan and is demonstrated in Section 2 of this report, in underline-strikethrough format. A review of the current Alachua County Comprehensive Plan indicates no further text amendments will be necessary as a result of this proposed change and update.

OPPORTUNITIES AND IMPACTS

This proposed amendment represents an effort to facilitate focused growth and eliminate a level of confusion from the Comprehensive Plan caused by an-overly complex regulatory framework on a limited number of parcels. The proposed change will prioritize the authority of the current, adopted and governing Comprehensive Plan as the controlling document, rather than highly specific, aged policies put in place based on 20-year-old data and analysis.

This amendment poses multiple opportunities for the subject property, for the Oaks Mall Activity Center, and for Alachua County. Lowering the barriers to development of the subject property inside the Urban Cluster would encourage targeted growth on the ±87.15-acre vacant land. The proposed text amendment would require development of the property in TND/TOD style, in accordance with the County's currently adopted overall vision for the area.

Such development would yield an increased and diversified housing supply in this area of the County; improved area mobility facilities and connectivity; and enhanced transit access for the broader population. More broadly, the text amendment proposed will promote greater development flexibility, and the chance to achieve the centrally-located property's highest and best use inside the urban cluster as a truly mixed-use center within the adopted Activity Center.

2. PROPOSED TEXT AMENDMENT

The proposed text amendment to the Alachua County Comprehensive Plan affects Future Land Use Element Policy 2.2.3 and Capital Improvements Element Table 1d. These Comprehensive Plan elements with proposed changes are presented below. Underlined text demonstrates language proposed for addition. Struck-through text demonstrates language proposed for removal.

FUTURE LAND USE ELEMENT

Policy 2.2.3 Activity Center Plan - Oaks Mall Activity Center

(a) **General**

- (1) It is the intent of this Activity Center Plan to promote the area surrounding the interchange of Interstate 75 and State Road 26 as a high intensity regional focal point. In so doing, it should be developed as a mixed use center, allowing for the general land use classifications identified on the Future Land Use map. Individual quadrants of the center should include a mix of complementary uses, including retail, employment, services, and, where possible, residential uses so as to reduce overall traffic impact and promote pedestrian activity.

(b) **Land Use**

- (1) Future land uses shall be governed by the land use classifications on the Future Land Use Map. Higher density residential uses are encouraged within the Activity Center on land designated for commercial use.
- (2) Development within the 87.15 acres located on the north side of Newberry Rd. just west of and adjacent to Newberry Crossing and east of Fort Clark Blvd. and incorporating parcels 06331-000-000, 06329-000-000 and 06326-001-002 shall be in accordance with Future Land Use Element Section 1.6 (Traditional Neighborhood Development) and all subsequent Traditional Neighborhood Development policies, and the implementing ULDC.
- i. Maximum development on the site, as approved through a Preliminary Development Plan and following Final Development Plan(s), shall not exceed 13,700 gross average annual daily trip or 9,600 net daily motor vehicle trips based on the Institute of Traffic Engineer's Trip Generation Manual in effect at the time of development plan approval.
- ii. The required interconnected street network shall connect, at a minimum, to NW 76th Blvd, NW 15th Pl, Ft. Clarke Blvd, and Newberry Rd. All connections shall include appropriate operational improvements as identified by an operational analysis to be conducted with the Preliminary Development Plan. Operational improvements may include intersection modifications (e.g., signalization or roundabout construction), auxiliary lane installation, median modifications or other improvements for all intersections required to be studied by the ULDC.
- iii. The internal street network shall be designed to include at least one (1) internal transit station, and to accommodate regular public transit access to the development. A single route through the development shall be designed to accommodate a dedicated transit lane in the future, and shall be a creditable project towards the projects multi-modal transportation mitigation.
- iv. Should the project require operational improvements at the intersection of I-75 and Newberry Rd., those improvements shall be solely the responsibility of the development.
- ~~b. Building setbacks that may be established in the Unified Land Development Code and otherwise made applicable to this Transit Oriented Development~~

~~shall not be applicable to encroachments of porches, bay windows, stoops, and balconies with such setbacks.~~

- ~~c. On-street parking is encouraged throughout the development. On-street spaces may each be counted against required parking as long as the space is within 300 feet of the supported use.~~
- ~~d. Surface stormwater management facilities shall be designed to provide physical and visual amenity value to the Activity Center. Such facilities should be designed, where practicable and appropriate to the urban context, to provide useable open space designed to resemble natural areas. Low impact development methods shall be used where feasible and stormwater management facilities should be interspersed throughout the site to minimize the impacts to the flood prone areas located within the limits of the site. The applicant and County shall determine the feasibility and advisability of working with FDOT to incorporate the existing FDOT stormwater pond at the corner of Newberry Road and Ft. Clarke Boulevard into a common stormwater master plan.~~
- ~~e. The applicant shall be responsible for the design and construction of a roadway network that connects the existing terminus of NW 76th Blvd. to NW 15th Place. The alignment and design characteristics of the elements of this roadway network shall be determined during the development plan review process and are subject to the approval of Alachua County. The applicant shall also be responsible for intersection turn lanes and a traffic signal at Ft. Clark Blvd and NW 15th if determined during the development plan review process to be warranted for operational and safety reasons. This requirement shall not be interpreted to require improvements needed to maintain the applicable adopted roadway level of service standard. The location and configuration of the connection to Newberry Road shall be subject to the approval of Alachua County and the Florida Department of Transportation. Access connections to Newberry Road shall not align with existing access connections on the south side of Newberry Road, except for access points that restrict left turn movements into and out of the development.~~
- ~~f. Parks, squares or plazas shall be provided and shown on the Development Plan and such areas may be considered for inclusion in the calculation for determining compliance with the 20% open space requirement of this Comprehensive Plan.~~
- ~~g. Development of these parcels shall provide:
 - ~~1. Public transit with 15-minute peak hour frequencies and 25-minute frequencies during the non-peak hours; and~~
 - ~~2. Public transit connecting Santa Fe Community College and the Oaks Mall (required transit route); and~~
 - ~~3. Public transit that is coordinated with the Gainesville Regional Transit System (RTS) transit hub maintained at the Oaks Mall.~~
 - ~~4. Transit provided in sections a-c above shall be for a period of 15 years.~~~~
- ~~h. Funding shall be assured, in part, through establishment of a Community Development District (CDD) or other appropriate funding mechanism on the parcels covered by this Policy. The CDD, or other appropriate funding mechanism, shall be established in conjunction with the approval of the Development Plan.~~

- ~~i. Funding for the phased implementation of the required transit route shall be identified in the Capital Improvements Element of this Comprehensive Plan. A developer's agreement shall be entered between the County and developer of the site prior to approval of the final Development Plan addressing details of the development phasing schedule and the level of the funding commitments of the CDD, or other appropriate funding mechanism, for the required transit. It is anticipated that the route from Santa Fe Community College and Oaks Mall will be funded from multiple sources and establishment of the required transit route may occur in increments. An initial phase of the required transit route from the parcels covered by this Policy to the Oaks Mall may serve as an interim step toward completion and full funding for the required transit route from Santa Fe Community College to the Oaks Mall. The timing, source and level of funding for each increment of the route shall be established prior to approval of the final Development Plan, developer's agreement, and revised Capital Improvements Element. The annual contribution shall be indexed for inflation. Approval of the first phase of development shall require provision of the dedicated transit lanes required by paragraph 10 below and transit service between the site and Oaks Mall.~~
- ~~j. The Developer shall be responsible to ensure that dedicated transit lanes are constructed that connect to the planned transit corridor between Santa Fe College and the Oaks Mall. The dedicated lanes shall be constructed between Newberry Road and NW 23rd Avenue. The design and construction of dedicated transit lanes shall be accordance with RTS and County standards.~~
- ~~k. The applicant shall coordinate with the County and with the Florida Department of Transportation on the construction of intersection turn lanes and traffic signal modifications at the intersections of Newberry Road (SR 26) and Ft. Clark Blvd and Newberry Road (SR 26) and 76th Blvd needed to ensure operational efficiency and safety. A monetary contribution, not to exceed \$300,000, shall also be made towards the I 75 Interchange at Newberry Road (SR 26) to construct facilities to accommodate a dedicated transit lane.~~

(c) Transportation and Traffic Circulation

- (1) No new entrances shall be permitted on Newberry Road (State Road 26), except as may be required to provide access to a parcel which has no other practical means of access. All development on a given parcel of land which requires access to Newberry Road should be served by a single entrances meeting State and Local access management requirements; no individual business should be served by a separate entrance if a common entrance or an entrance off a side street is available or can be provided. New access points to Newberry Road may be permitted only when a documented traffic circulations problem can be mitigated or eliminated through relocation of ingress and egress points or enhancements to traffic signalization.
- (2) Entrances should be located in such a manner as to line up with existing intersections, to the maximum extent feasible practicable.
- (3) The improvement of Newberry Road from Tower Road (Southwest 75th Street) to N.W. 60th Street by the Florida Department of Transportation (FDOT) is encouraged, including the proper timing of traffic signals to maximize the capacity of the road to accommodate through traffic, and including intersection improvements at Tower Road, Northwest 62nd Boulevard, and Northwest 69th Terrace.
- (4) Newberry Road should be widened by FDOT to six (6) lanes within the boundaries of the Activity Center where eligible and applicable, in accordance with adopted Metropolitan Transportation Planning Organization (MTPO) and Alachua County Goals, Objectives, and Policies. Improvements to this road should include physical

~~medians to limit left turns to controlled locations~~ access management principles. Future redevelopment of parcels fronting on Newberry Road shall provide for service drives and/or internal circulation which controls ingress and egress.

- (5) All necessary transportation improvements, including but not limited to, right of way acquisition, roadway widening, traffic signalization, intersection improvements, and mass transit facilities that accrue due to the impact of a development shall be provided by the developer and in place prior to the issuance of the certificates of occupancy. This policy may be satisfied by contractual arrangements that establish the timing of improvements and the relative financial responsibilities of all parties. This policy may also be satisfied by an adopted impact fee system affecting, at a minimum, roadway facilities in this area.
- (6) Tower Road shall be analyzed for improvements between and including the intersection with Newberry Road and Southwest 8th Avenue. The improvement analysis should include, but not be limited to, additional through traffic lanes, left turn storage lanes, intersection improvements, bus pull outs, bicycle lanes, and traffic signalization.
- (7) Access points to Tower Road shall be permitted only at locations that promote safe and orderly traffic flow.

CAPITAL IMPROVEMENTS ELEMENT

The table below is proposed to be stricken in its entirety in favor of an updated program directly related to the proposed project.

Table 1d: ~~Transportation FY 2020-2029 — Newberry Village~~

Project	FY 2020-2024	FY 2025-2030	FY 2030-2039	Funding Source
Newberry Village TOD Transit Operations*	\$600,000	\$1,250,000	\$2,500,000	Developer/CDD
Newberry Village Dedicated Transit Lanes from NW 23rd Avenue to Newberry Road	\$660,940			Developer/CDD
Modifications to I-75 interchange to accommodate Transit	\$300,000			Developer/CDD

Dollar figures are estimates of project costs.



Alachua County, Board of County Commissioners
 Department of Growth Management
 10 SW 2nd Ave., Gainesville, FL 32601
 Tel. 352.374.5249, Fax. 352.338.3224
<http://growth-management.alachuacounty.us>

Submit Application to:
 Development Services Division

PROPERTY OWNERS' AFFIDAVIT

Bachelor Buttons Holdings LLC
 Owner

Application No. _____

Additional Owners

CHW

Appointed Agent(s)

06331-000-000, 06329-000-000, 06326-001-002

Parcel Number(s)

32
 Section

09
 Township

19
 Range

Comprehensive Plan Text Amendment, rezoning, preliminary development plan, final development plan

Type of Request

I (we), the property owner(s) of the subject property, being duly sworn, depose and say the following:

1. That I am (we are) the owner(s) and record title holder(s) of the property described in the attached legal description;
2. That this property constitutes the property for which the above noted land use request is being made to the Alachua County Board of County Commissioners;
3. That I (we), the undersigned, have appointed, and do appoint, the above noted person(s) as my (our) agent(s) to execute any agreement(s), and other documents necessary to effectuate such agreement(s) in the process of pursuing the aforementioned land use request;
4. That this affidavit has been executed to induce the Alachua County Board of County Commissioners to consider and act on the subject request;
5. That I (we), the undersigned authority, hereby certify that the foregoing statements are true and correct.

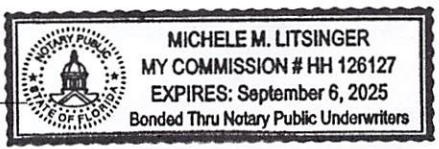
Richard M. White, Manager, Bachelor Buttons Holdings LLC
 Owner (signature) Owner (signature) Owner (signature)

STATE OF FLORIDA
 COUNTY OF ALACHUA

SWORN AND SUBSCRIBED BEFORE ME
 THIS 24 DAY OF August, 2022
 BY Richard M. White
 WHO IS ARE PERSONALLY KNOWN TO ME OR HAS/HAVE PRODUCED AS IDENTIFICATION

(SEAL ABOVE)
Michele M. Litsinger

(TYPE OF IDENTIFICATION)
 Notary Public, Commission No. _____
 (Name of Notary typed, printed, or stamped)





PROPERTY OWNERS' AFFIDAVIT

Industrial Consultants and Management Company

Owner _____ Application No. _____

Additional Owners _____

CHW

Appointed Agent(s) _____

06331-000-000, 06329-000-000, 06326-001-002 32 09 19

Parcel Number(s) Section Township Range

Comprehensive Plan Text Amendment, rezoning, preliminary development plan, final development plan

Type of Request

I (we), the property owner(s) of the subject property, being duly sworn, depose and say the following:

1. That I am (we are) the owner(s) and record title holder(s) of the property described in the attached legal description;
2. That this property constitutes the property for which the above noted land use request is being made to the Alachua County Board of County Commissioners;
3. That I (we), the undersigned, have appointed, and do appoint, the above noted person(s) as my (our) agent(s) to execute any agreement(s), and other documents necessary to effectuate such agreement(s) in the process of pursuing the aforementioned land use request;
4. That this affidavit has been executed to induce the Alachua County Board of County Commissioners to consider and act on the subject request;
5. That I (we), the undersigned authority, hereby certify that the foregoing statements are true and correct.

[Signature] [Signature] [Signature]
 Owner (signature) Owner (signature) Owner (signature)

STATE OF FLORIDA
 COUNTY OF ALACHUA



SWORN AND SUBSCRIBED BEFORE ME

THIS 15th DAY OF August, 2022
 BY Mark Joseph Russo

WHO IS/ARE PERSONALLY KNOWN TO ME OR HAS/HAVE PRODUCED AS IDENTIFICATION
Personally Known + FL DL R200-550-76-412-0
 (TYPE OF IDENTIFICATION)

(SEAL ABOVE)
[Signature]
Daniel Paul Burch Notary Public, Commission No. 133226105
 (Name of Notary typed, printed, or stamped)

Mailed Memorandum

NEIGHBORHOOD WORKSHOP NOTIFICATION

PN 21-0546



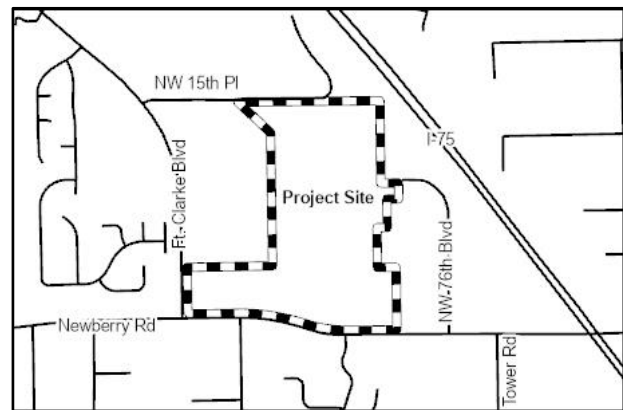
To: Neighbors of the Newberry Road / Fort Clarke Boulevard Area
From: Gerry Dedenbach, AICP, Vice President
Date: July 29, 2022
RE: Neighborhood Workshop Public Notice

A virtual Neighborhood Workshop will be held to discuss two (2) Alachua County applications:

1. Large-scale Comprehensive Plan Amendment (LSCPA) to the Oaks Mall Activity Center language, including Future Land Use Element Policy 2.2.3, item (b)(2) and associated items for Alachua County Tax Parcels # 06326-001-002, 06329-000-000, and 06331-000-000. The amendment proposed will update outdated parcel-specific policies, in favor of the current Comprehensive Plan Goals, Objectives, and Policies addressing urban development, Traditional Neighborhood and Transit Oriented standards, and mitigation regulations.
2. Preliminary Development Plan on ±89 acres in Unincorporated Alachua County (above-referenced tax parcels). The development intent is a Traditional Neighborhood Development, with a mixture of uses including residential development, retail opportunities, and a hotel.

The site's Future Land Use category is Mixed Use. The site has four (4) zoning districts: Wholesale/Warehousing (BW) and three (3) multifamily residential districts (R-2, R-2A, and R-3). The parcel is located on Newberry Road, just west of Interstate-75, as shown in the provided presentation slides and graphics. If attending by phone, please contact CHW using the contact information provided for any additional material that may be developed prior to or following this workshop.

Date: August 15, 2022
Time: 6:00 p.m.
Link: bit.ly/21-546-NHWS
Call-in Number: +1 929 205 6099
Meeting ID: 841 1453 3741
Contact: Gerry Dedenbach, AICP
11801 Research Drive
Alachua, FL 32615
(352) 331-1976
Live@CHW-inc.com



This is not a public hearing. The neighborhood workshop's purpose is to inform the public about the nature of the proposal and seek your comments. Once submitted, application materials may be requested from Alachua County Growth Management Staff.

Directions to Attend Meeting: Using your web browser, visit the web address link above. Please note, the link is case-sensitive. For best performance, Google Chrome, Safari, Microsoft Edge, or Mozilla Firefox are recommended. The meeting can also be attended by phone. To attend the meeting by phone, call the call-in number above, and enter the Meeting ID number followed by the pound sign (“#”) when prompted. If attending by phone, please contact CHW using the information above for any additional material that may be developed prior to or following this workshop.

If you are unable to attend the meeting, please contact CHW using the information above. Comments may be submitted to the address, email, and phone number above.

Newberry Village

*Large-scale Comprehensive Plan Amendment (Ls-CPA)
Preliminary Development Plan Application*



Alachua County
Neighborhood Workshop
August 15, 2022



21-0546: Newberry Village Mixed-Use

1

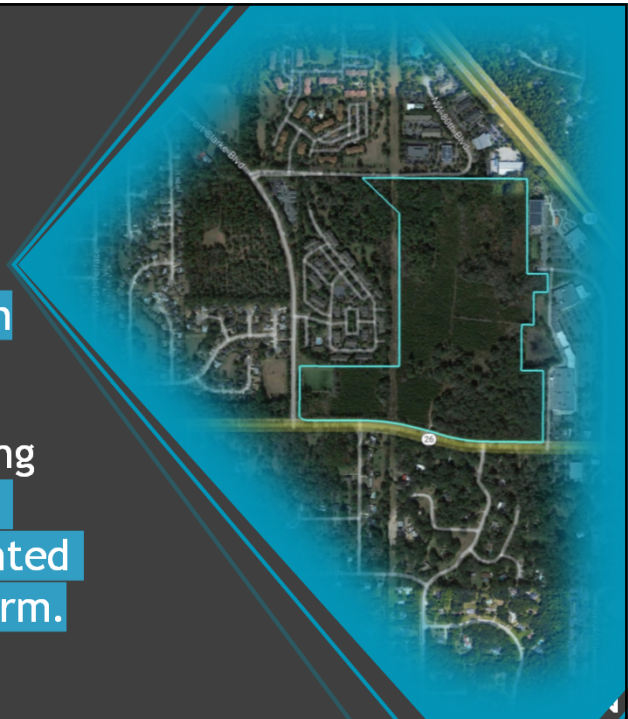
REQUESTS:

Ls-CPA Application:

- FM: Old Parcel-specific policies
- TO: **Current Comprehensive Plan**

Development Plan Application:

- Consistent with current existing Policies supporting **Traditional Neighborhoods & Transit Oriented Development** elements and form.



21-0546: Newberry Village Mixed-Use

2

INTENT:

Develop site as **mixed-use**, **Traditional Neighborhood Development** containing:

- *Multiple housing options;*
- *Senior-living facility;*
- *Mixed retail & service offerings; and*
- *Enhanced pedestrian, bicycle, & transit facilities interconnected to context area.*



21-0546: Newberry Village Mixed-Use

3

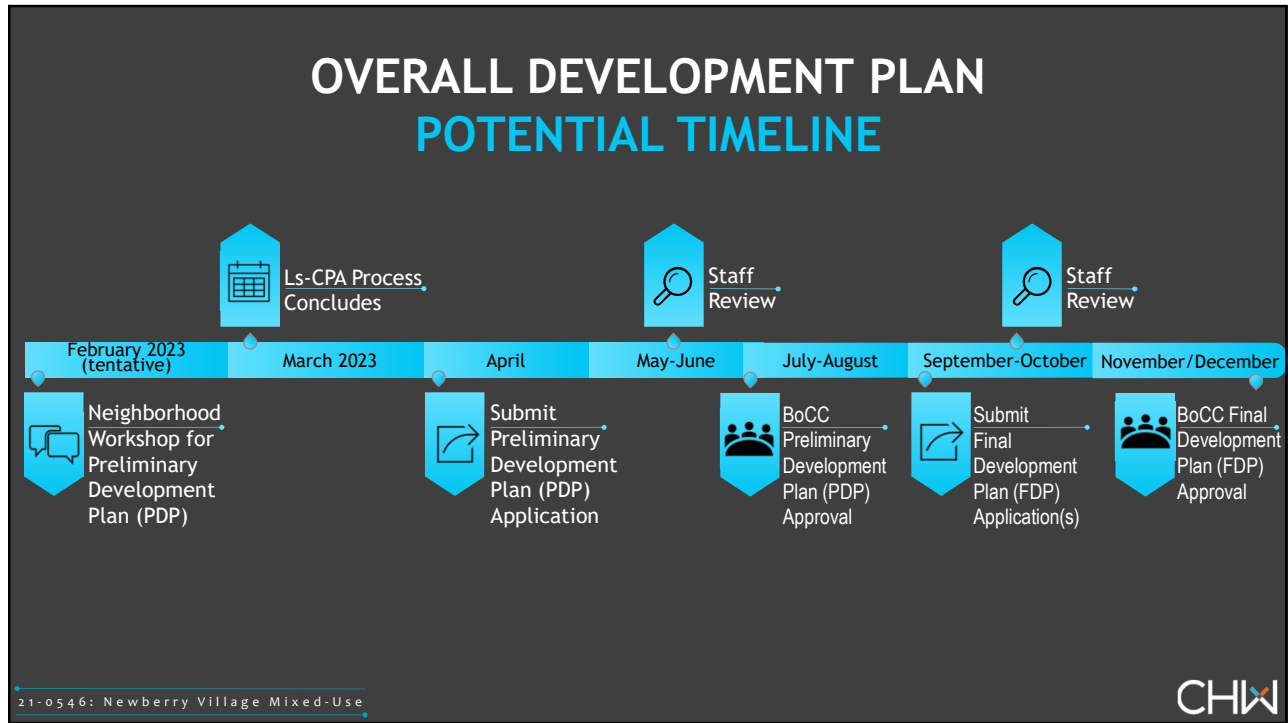
PLANNING PROCESS PROBABLE TIMELINE



21-0546: Newberry Village Mixed-Use



4



5

PUBLIC NOTIFICATION


NEIGHBORHOOD WORKSHOP NOTIFICATION

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 2. Preliminary Development Plan on 899 acres in Unincorporated Alachua County (above-referenced tax parcels). The development intent is a Traditional Neighborhood Development, with a mixture of uses including residential development, retail opportunities, and a hotel.

The site's Future Land Use category is Mixed Use. The site has four (4) zoning districts: Wholesale/Warehousing (BW) and three (3) multifamily residential districts (R-2, R-2A, and R-3). The parcel is located on Newberry Road, just west of Interstate-75, as shown in the provided presentation slides and graphics. If attending by phone, please contact CHW using the contact information provided for any additional material that may be developed prior to or following this workshop.

Date: August 14, 2022
Time: 6:00 p.m.
Link: <https://bit.ly/365844102>
Call-in Number: +1 929 205 6099
Meeting ID: 841 1453 3741
Contact: Gerry Dedenbach, AICP
 11801 Research Drive
 Alachua, FL 32615
 Live@CHW-inc.com



This is not a public hearing. The neighborhood workshop's purpose is to inform the public about the nature of the proposal and seek your comments. Once submitted, application materials may be requested from Alachua County Growth Management Staff.

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www.chw-inc.com

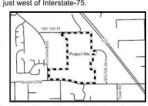
Published in Gainesville Sun on July 29th

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Meeting Call-in Number: +1 929 205 6099
Meeting ID: 841 1453 3741



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Contact: Gerry Dedenbach, AICP
Mailing Address: 11801 Research Drive, Alachua, FL 32615
Phone: (352) 331-1976
Email: Live@CHW-inc.com

CHW

21-0546: Newberry Village Mixed-Use

6

Context Map



Alachua County Tax Parcel # 06326-1-2, 06329, and 06331
Due Diligence

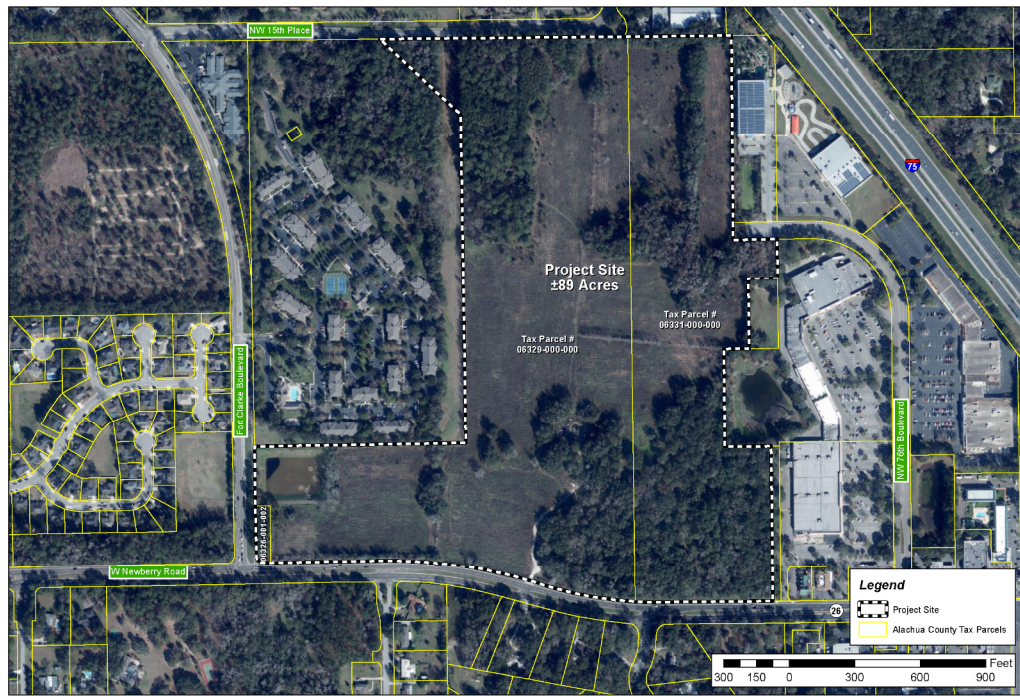
NORTH

CHW

Illustration is a Context Map

7

Aerial Map



Alachua County Tax Parcel # 06326-1-2, 06329, and 06331
Due Diligence

NORTH

CHW

Illustration is a Aerial Map

8

Existing Future Land Use Map

The property currently has one Land Use Classification, Mixed Use on the ±90 acres

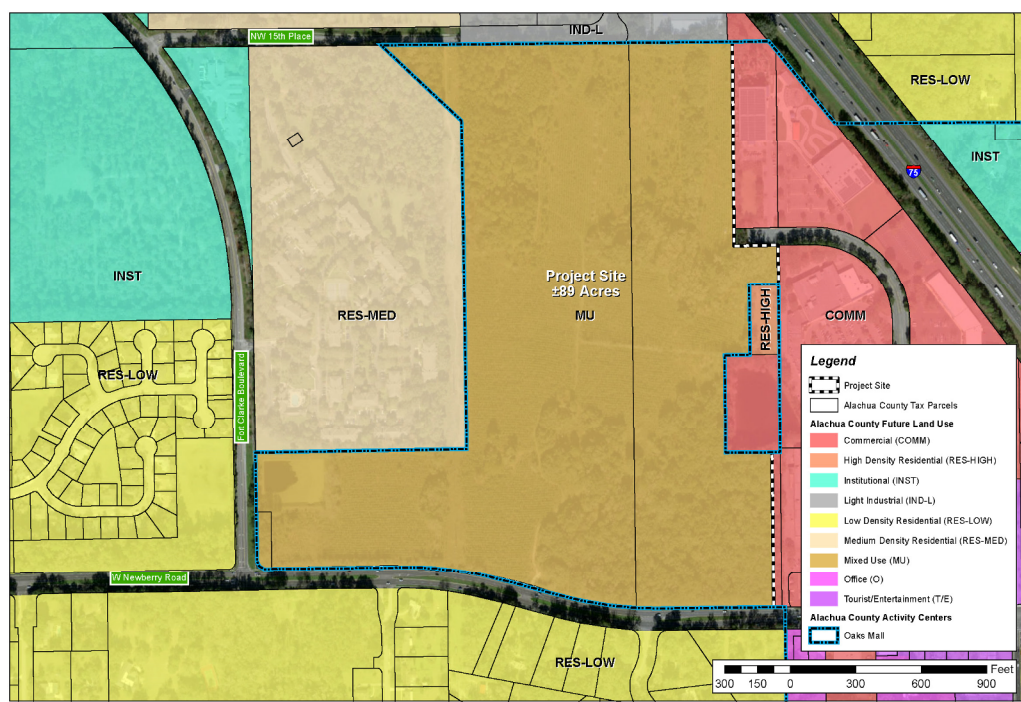


ILLUSTRATION FOR FIRM MAP
 Alachua County Tax Parcel # 06326-1-2, 06329, and 06331
 Due Diligence
 CHW
 NORTH



Proposed Future Land Use Map

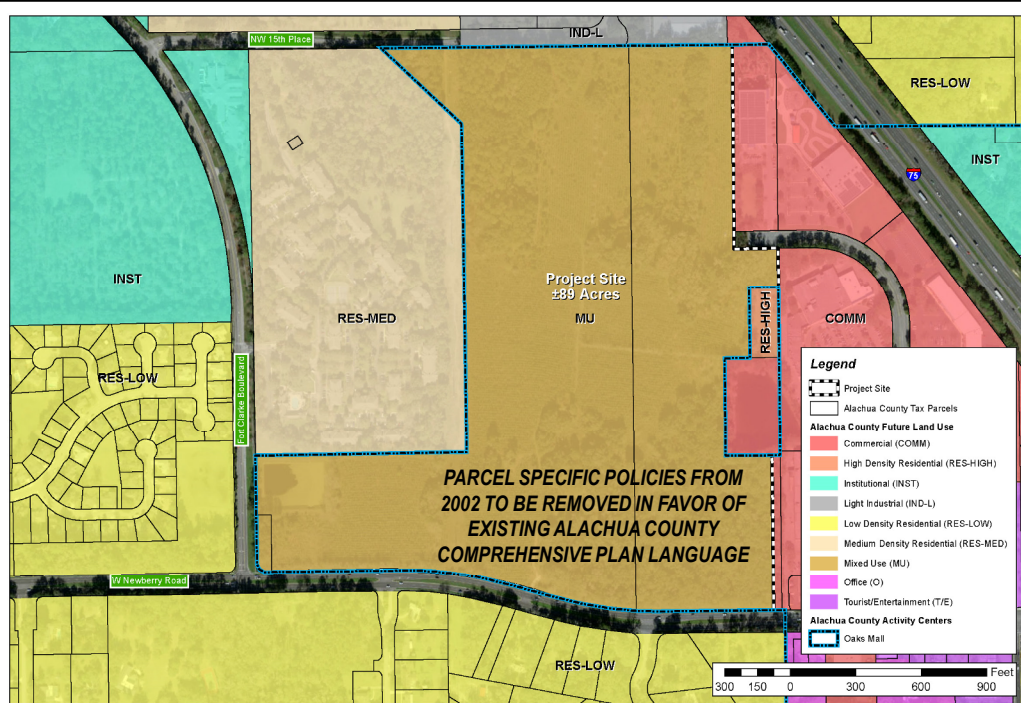


ILLUSTRATION FOR FIRM MAP
 Alachua County Tax Parcel # 06326-1-2, 06329, and 06331
 Due Diligence
 CHW
 NORTH



Existing Zoning Map

The property currently has four different zoning districts ranging from R-2 low density residential to Wholesale and Warehousing

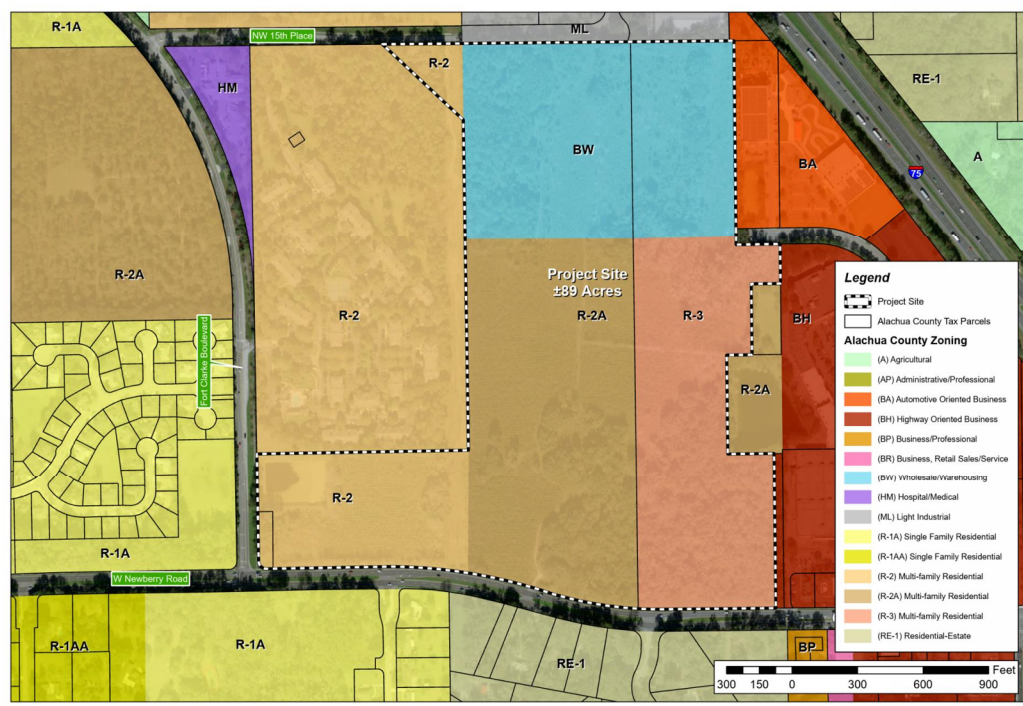


ILLUSTRATION 1A:
ZONING MAP

Alachua County Tax Parcel # 06326-1-2, 06329, and 06331
Due Diligence

CHW
Professional Consultants

Scale: 300 150 0 300 600 900 Feet

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For Additional information, please feel free to contact us directly at the phone number and/or email provided in the presentation.



12

Mailing Labels

06315-001-000
WEST SHORE LEGACY LLC
1 INTERNATIONAL PL STE 3900
BOSTON, MA 02110

06326-030-166
PANCHAL & PATEL
1001 NW 86TH TER
GAINESVILLE, FL 32606

06326-030-192
CURRENT RESIDENT
1002 NW 87TH WAY
GAINESVILLE, FL 32606

06326-020-101
HOANG TUYET THI
1005 NW 89TH DR
GAINESVILLE, FL 32606

06326-030-179
NICKEL WALTER A & LINDA M
1007 NW 87TH WAY
GAINESVILLE, FL 32606

06332-000-000
BANK OF AMERICA
101 N TRYON ST
CHARLOTTE, NC 28255

06656-002-004
NEWBERRY RD LLC
1010 E ADAMS ST #201
JACKSONVILLE, FL 32202

06326-020-123
FREYTES & LITT W/H
1010 NW 89TH DR
GAINESVILLE, FL 32606

06656-002-014
BELLSOUTH
TELECOMMUNICATIONS
1010 PINE ST ROOM 9E-L-01
SAINT LOUIS, MO 63101

06326-030-167
HALTER GARY B & JOANNE C
1011 NW 86TH TER
GAINESVILLE, FL 32606

06326-030-191
NOEL WILSON & ANTIONETTE
JAMILE
1012 NW 87TH WAY
GAINESVILLE, FL 32606

06326-030-173
TZOUNAKOS ANTHONY & MARIA
1013 NW 87TH TER
GAINESVILLE, FL 32606

06326-020-102
BONANNO HEATHER L
1015 NW 89TH DR
GAINESVILLE, FL 32606

06326-030-172
LAYTON MICHAEL ANTHONY
1016 NW 86TH TER
GAINESVILLE, FL 32606

06326-030-190
KIMMELL JOSH N & LORI S
1016 NW 87TH WAY
GAINESVILLE, FL 32606

06326-030-180
LIU & MU W/H
1017 NW 87TH WAY
GAINESVILLE, FL 32606

06326-020-122
HERTZ MARK G & DARBY F
1020 NW 89TH DR
GAINESVILLE, FL 32606-7115

06326-030-168
WANG HUI
1021 NW 86TH TER
GAINESVILLE, FL 32606

06326-030-174
HORNE PATRICK M & MELISSA A
1023 NW 87TH TER
GAINESVILLE, FL 32606

06326-020-103
BUSLAMANTE & PEREZ W/H
1025 NW 89TH DR
GAINESVILLE, FL 32606

06326-030-171
JI & ZHAO H/W
1026 NW 86TH TER
GAINESVILLE, FL 32606

06326-030-181
KILMENKO & MOORER W/H
1027 NW 87TH WAY
GAINESVILLE, FL 32606

06326-030-177
HUGHES SUSAN LYNNE
1028 NW 87TH TER
GAINESVILLE, FL 32606

06326-020-121
GOLL STEVEN MATTHEW &
STEPHAN
1030 NW 89TH DR
GAINESVILLE, FL 32606

06326-030-169
HARRIS CYNTHIA
1031 NW 86TH TER
GAINESVILLE, FL 32606-7160

06326-030-175
KAUFMAN KIM M
1033 NW 87TH TER
GAINESVILLE, FL 32606

06326-020-104
NACEY PATRICK & CAROLYN
1035 NW 89TH DR
GAINESVILLE, FL 32606

06326-030-176
YARED MAHLET
1038 NW 87TH TER
GAINESVILLE, FL 32606-7161

06326-020-120
DEAN ALAN & SHANNON
1040 NW 89TH DR
GAINESVILLE, FL 32606

06326-020-105
KAYE STANLEY M & PAMELA H
1045 NW 89TH DR
GAINESVILLE, FL 32606-7114

06315-000-000
FORT CLARKE BUSINESS CENTER
105 SW 140TH CT STE 5
JONESVILLE, FL 32669

06326-020-119
KING CONSTANCE H LIFE ESTATE
1050 NW 89TH DR
GAINESVILLE, FL 32606

06326-020-106
KOBBS BARRIE L
1055 NW 89TH DR
GAINESVILLE, FL 32606-7114

06326-020-118
MANN ADRAIN & MELISSA
1060 NW 89TH DR
GAINESVILLE, FL 32606

06315-005-000
SINCLAIR COMMUNICATIONS LLC
10706 BEAVER DAM RD
COCKEYSVILLE, MD 21030

06326-020-117
REPP DAX M & CHRISTY I LIFE
ESTATE
1108 NW 89TH DR
GAINESVILLE, FL 32606-7117

06331-043-001
STATE OF FLORIDA DEPARTMENT OF
TRANSPORTATION
1109 SOUTH MARION AVE
LAKE CITY, FL 32025-5874

06326-020-108
ALVAREZ & HERBERT H/W
1113 NW 89TH DR
GAINESVILLE, FL 32606

06326-020-109
WINKLEMAN CANDY S
1123 NW 89TH DR
GAINESVILLE, FL 32606

06326-020-110
SWAILS & SWAILS TRUSTEES
1133 NW 89TH DR
GAINESVILLE, FL 32606

06324-000-000
ALACHUA COUNTY
12 SE 1ST ST
GAINESVILLE, FL 32601

06326-010-069
CHARUDATTAN & CHARUDATTAN
1215 NW 89TH TER
GAINESVILLE, FL 32606

06326-030-159
KALIKI GIRI VENKATA & JESSICA
LANE
1216 GOLDEN CANE DR
WESTON, FL 33327-2423

06326-030-185
VARELA ROBERT LEE
1260 N DEARBORN ST APT 607
CHICAGO, IL 60610-2241

06331-001-001
ROBERTS LAMAR & LOUISE
1329 SE 14TH AVE
OCALA, FL 34471-4534

06656-002-017
TOWER ROAD PLAZA LLC
13521 NE 204TH DR
WALDO, FL 32694

06656-002-013
HEALTHY COSMO INC
13700 NW US HIGHWAY 441
ALACHUA, FL 32615

06656-002-007
POOL DOC LLC
1414 SW 115TH ST
GAINESVILLE, FL 32607-1147

06656-002-001
S & V ENTERPRISES OF GAINESVILLE
1473 SW 87TH ST
GAINESVILLE, FL 32607

06315-003-000
OFFICE ENVIRONMENT CENTER INC
1601 NW 80TH BLVD
GAINESVILLE, FL 32606-9140

06325-001-000
JONES JR & JONES TRUSTEES
1616 NW 75TH ST
GAINESVILLE, FL 32605-3172

06315-010-046
FLORIDA PHONE SYSTEMS INC
1722 NW 80TH BLVD STE 46
GAINESVILLE, FL 32606-9237

06315-008-000
GAINESVILLE MULTIPLE LISTING
1750 NW 80TH BLVD
GAINESVILLE, FL 32606

06315-009-002
NORTH CENTRAL FLORIDA HEALTH
1785 NW 80TH BLVD
GAINESVILLE, FL 32606

06316-010-020
JONES & STASTNY
1801 NW 77TH ST
GAINESVILLE, FL 32605

06315-006-000
FLORIDA HIGH SCHOOL ATHLETIC
1801 NW 80TH BLVD
GAINESVILLE, FL 32606

06316-010-019
NELSON MATTHEW A & AMY C
1808 NW 77TH ST
GAINESVILLE, FL 32605

06316-010-021
SHEPHERD & SHEPHERD TRUSTEES
1811 NW 77TH ST
GAINESVILLE, FL 32605-3165

06316-010-018
CORDERO ORLANDO & FRANCISCA
1818 NW 77TH ST
GAINESVILLE, FL 32605-3165

06336-001-002
GAIN CAPITAL LLC
18205 BISCAYNE BLVD STE 2202
AVENTURA, FL 33160

06331-002-000
NEWBERRY CROSSING LLC
1870 EAST 8TH ST
BROOKLYN, NY 11223

06326-030-134
CIMAGLIO ELIZABETH M
2 HILLSIDE DR
PAINESVILLE, OH 44077-3803

06656-002-003
RALLY CAR WASH SYSTEMS INC
2121 NW 67TH PL
GAINESVILLE, FL 32653-1603

06655-013-003
STEPHEN U WINIG LLC
2165 NW 62ND DR
BOCA RATON, FL 33496

06315-010-010
DOUBLE O VENTURES LLC
2304 SW 95TH TER
GAINESVILLE, FL 32607-3241

06656-631-001
GONZALEZ JOSE R
2340 BUCKENHAM RUN CT
ORLANDO, FL 32828

06316-001-000
THE LOSEN KARL
235 SW 11TH PL
GAINESVILLE, FL 32601

06656-635-003
EURO INVESTMENT GROUP LLC
250 174TH ST #816
SUNNY ISLES BEACH, FL 33160

06656-500-012
MOREIRA & VELASQUEZ H/W
2529 NW 38TH PL
GAINESVILLE, FL 32605

06656-634-002
WILLIAMS & WILLIAMS & WILLIAMS
2563 SW 87TH DR #10
GAINESVILLE, FL 32608-9340

06315-010-050
KRAFT & KRAFT TRUSTEES
2620 NW 27TH TER
GAINESVILLE, FL 32605

06326-001-000
FOURTEENTH ST CHURCH OF CHRIST
2720 SW 2ND AVE
GAINESVILLE, FL 32607

06656-010-002
KATHERINE144 HOLDINGS LLC
2738 SW 119TH TER
GAINESVILLE, FL 32608

06336-001-000
RISHI ENTERTAINMENT LLC
27504 PINE PT DR
WESLEY CHAPEL, FL 33544

06656-020-001
AUBREY ROGERS LLC
2812 SW 170TH ST
NEWBERRY, FL 32669

06656-003-002
PEP BOYS-MANNY MOE & JACK
311 WEST AUEGHENY AVE
PHILADELPHIA, PA 17132

06326-030-147
HAN & LIU TRUSTEES
328 JARDIN DR
ALTOS, CA 94022

06656-570-004
TDM OF GAINESVILLE LLC
340 NW 76TH DR
GAINESVILLE, FL 32607

06656-003-000
INNOVATIVE SCHEDULING LLC
3401 OLYMPUS BLVD STE 500
DALLAS, TX 75019

06656-002-008
KEVINA APARTMENTS LLC
3433 E GULF TO LAKE HWY
INVERNESS, FL 34453

06331-004-000
NEWBERRY SQUARE MAINTENANCE
3481 DONOSO CT
NAPLES, FL 34109-1396

06656-570-011
BEERS BETSY B & THOMAS R
350 NW 76TH DR STE A
GAINESVILLE, FL 32607

06655-013-000
PHVIF GAINESVILLE LLC
3500 LENOX RD STE 625
ATLANTA, GA 30326

06315-010-020
MONTANYE STANLEY M & TERRY R
3733 NW 55TH PL
GAINESVILLE, FL 32653

06331-042-000
RYALS & RYALS LLC
3925 NW 25TH CIR
GAINESVILLE, FL 32606

06336-001-001
PROGRESSIVE RESTAURANTS INC
4011 NW 43RD ST STE A
GAINESVILLE, FL 32606-4609

06315-010-000
FORT CLARKE OFFICE/WAREHOUSE
4031 NW 97TH BLVD
GAINESVILLE, FL 32606

06326-030-188
FOSTER & KOT-FOSTER H/W
4120 SW 49TH AVE
OCALA, FL 34474

06656-639-003
THORNTON JOE E & LAURA J
415 NW 80TH BLVD
GAINESVILLE, FL 32607

06656-627-001
EDWARDS DAVID A & LINDA R
418 NW 80TH BLVD
GAINESVILLE, FL 32607-1531

06656-635-002
LEEDY & LEMPINEN-LEEDY H/W
421 NW 79TH DR
GAINESVILLE, FL 32607

06656-627-002
DAYRIT T J & JEAN A
424 NW 80TH BLVD
GAINESVILLE, FL 32607-1531

06656-635-001
ARNER JOSHUA & RACHEL
425 NW 79TH DR
GAINESVILLE, FL 32607

06656-638-001
JOHNSON DEBORAH
425 NW 80TH BLVD
GAINESVILLE, FL 32607-1532

06326-030-154
MATA & THULA H/W
43 CALLE PRINCIPE ALBERTO
GUAYNABO, PR 00969-5323

06315-009-000
FALG/FT CLARKE OWNERS ASSOCIA
4423 NW 6TH PL
GAINESVILLE, FL 32607

06315-009-001
FALG FT CLARKE LC
4423 NW 6TH PL STE A
GAINESVILLE, FL 32607

06326-001-001
EPC GUARDIAN LLC
4500 DORR ST
TOLEDO, OH 43615

06331-041-000
MSG NEWBERRY I-75 LAND LLC
450-106 ATATE RD 13 #213
ST JOHNS, FL 32259

06315-002-000
TITLE TOWN INVESTMENTS LLC
4545 NW 8TH AVE
GAINESVILLE, FL 32605

06656-500-010
MID-FLORIDA DISTRIBUTORS INC
4816 SW 80TH PL
GAINESVILLE, FL 32608

06656-627-003
WHITMER KEITH & MIRANDA
500 NW 80TH BLVD
GAINESVILLE, FL 32607-1531

06656-100-002
MANKIN RICHARD
503 NW 89TH ST
GAINESVILLE, FL 32607-1400

06656-636-001
DACOL & DYGERT H/W
511 NW 80TH BLVD
GAINESVILLE, FL 32607

06656-500-008
THOMAS AARON & JULIE S
517 NW 84TH ST
GAINESVILLE, FL 32607

06656-500-022
DAI & DANG & NGUYEN
520 NW 84TH ST
GAINESVILLE, FL 32607-1439

06656-057-016
TOWER HILL OFFICE ASSOCIATION
INC
5208 SW 91ST DR STE D
GAINESVILLE, FL 32608-9117

06656-637-003
WORTHY DAVID LEE & LISA MARIE
5216 SW 91ST DR
GAINESVILLE, FL 32608

06656-100-001
BECKHAM & BECKHAM CO-
TRUSTEES
523 NW 89TH ST
GAINESVILLE, FL 32607

06656-636-002
TAYLOR & TAYLOR TRUSTEES
525 NW 80TH BLVD
GAINESVILLE, FL 32607

06656-500-007
BAILES DUKE A & REGINA
529 NW 84TH ST
GAINESVILLE, FL 32607

06326-001-002
INDUSTRIAL CONST &
MANAGEMENT
5303 SW 91ST DR STE 200 SUNTRUST
BANK BLDG
GAINESVILLE, FL 32608

06326-030-170
TANG & YU W/H
535 GATE ARBOR CT
SUWANNEE, GA 30024

06326-020-000
EAGLE POINT COMMUNITY ASSN IN
5522 NW 43RD ST #B
GAINESVILLE, FL 32653-3301

06326-030-000
EAGLE POINT HOMEOWNERS
ASSOCI
5522 NW 43RD ST STE B
MANAGEMENT INC
GAINESVILLE, FL 32653

06656-002-006
EAST COAST WAFFLES INC
5986 FINANCIAL DR
NORCROSS, GA 30071

06656-628-002
CAMPS JAMES JR & ARMERDELL R
600 NW 80TH BLVD
GAINESVILLE, FL 32607-1529

06656-002-015
FLETCHER FLORIDA PARTNERS LLC
6031 NW 34TH TER
GAINESVILLE, FL 32653

06656-500-006
SUERETH & SUERETH H/W
609 NW 84TH ST
GAINESVILLE, FL 32607-1440

06656-636-003
DOMPE A G JR & PHYLLIS LIFE
ESTATE
611 NW 80TH BLVD
GAINESVILLE, FL 32607-1599

06656-500-013
DUVAL DANIEL J & BETHANY
614 NW 84TH ST
GAINESVILLE, FL 32607

06656-050-006
MEDVED JASON D & JENNIFER L
TRUSTEES
620 NW 89TH ST
GAINESVILLE, FL 32607

06656-500-005
MORGAN JAMES D & SHAEL
CATHERINE
621 NW 84TH ST
GAINESVILLE, FL 32607

06656-633-001
MODISETTE TIMOTHY A
625 NW 80TH BLVD
GAINESVILLE, FL 32607

06326-030-162
TODD JOHNNY R & RENEE C
6469 ALPINE RIDGE WAY
LAS VEGAS, NV 89149-1277

06656-100-003
BOYCE RICHARD P LIFE ESTATE
655 OAK GROVE AVE UNIT 1257
MENLO PARK, CA 94026

06329-001-000
MID-AMERICA APARTMENTS LTD
6815 POPLAR AVE STE 500
GERMANTOWN, TN 38138-3687

06326-030-133
DOUGLASS CAPITAL LLC
7020 NW 11TH PL
GAINESVILLE, FL 32605

06656-050-007
REGISTER & STEPHENS H/W
703 NW 89TH ST
GAINESVILLE, FL 32607

06656-500-004
MCCUTCHEN MARK S & JIMMIE L
7043 DELORA DR
ORLANDO, FL 32819

06656-500-003
WANG & YANG H/W
709 NW 84TH ST
GAINESVILLE, FL 32607

06656-050-005
LILIEHOLM LENNART E & JEANNIE G
714 NW 89TH ST
GAINESVILLE, FL 32607-1453

06336-016-000
TOWER HILL INSURANCE GROUP INC
7201 NW 11TH PL
GAINESVILLE, FL 32605-3143

06656-633-003
FINCHER & FINCHER
721 NW 80TH BLVD
GAINESVILLE, FL 32607

06656-500-002
MILLER VALDA S LIFE ESTATE
721 NW 84TH ST
GAINESVILLE, FL 32607-1487

06656-500-024
CRAIG CAROLE J
7257 NW 4TH BLVD
GAINESVILLE, FL 32607-1600

06656-500-027
MCRAE CAROLYN J
7257 NW 4TH BLVD #319
GAINESVILLE, FL 32607

06656-050-004
MUKASA SAMUEL H & BRENDA L
LIFE ESTATE
734 NW 89TH ST
GAINESVILLE, FL 32607-1453

06656-050-003
SORTINO SCOTT
735 NW 89TH ST
GAINESVILLE, FL 32607

06656-500-001
DAY CYNTHIA MAGAN
737 NW 84TH ST
GAINESVILLE, FL 32607

06337-016-000
CRISPIN WILLIAM K & EVE
7401 NW 18TH AVE
GAINESVILLE, FL 32605

06337-005-000
SMITH JOHN H & CONSTANCE
7423 NW 18TH AVE
GAINESVILLE, FL 32605-3131

06331-001-000
TRAN JASON TU HUYNH
7502 NW 14TH AVE
GAINESVILLE, FL 32605

06656-002-000
GAINESVILLE ANIMAL HOSPITAL
INC
7615 W NEWBERRY RD
GAINESVILLE, FL 32606

06316-010-010
BROOKS DAVID L SR & DARLENE
RUTH
7716 NW 18TH LN
GAINESVILLE, FL 32605

06316-010-017
LEVY JR & LEVY TRUSTEES
7719 NW 18TH LN
GAINESVILLE, FL 32605-3164

06656-010-003
MICHAEL CARROLL INSURANCE
AGENCY LLC
7733 W NEWBERRY RD UNIT B3
GAINESVILLE, FL 32606

06316-010-016
MOUKHTARA SILVIA
7807 NW 18TH LN
GAINESVILLE, FL 32605

06316-010-011
NARDI TRUSTEE & NARDI TRUSTEE
7812 NW 18TH LN
GAINESVILLE, FL 32605

06316-010-015
CLARK CHRISTOPHER & LORI M
7817 NW 18TH LN
GAINESVILLE, FL 32605

06316-010-012
HERTZ MARK G & DARBY
7822 NW 18TH LN
GAINESVILLE, FL 32605

06316-010-014
WEGHORST RICHARD T & YVETTE
7827 NW 18TH LN
GAINESVILLE, FL 32605-3164

06316-010-013
VIGIL TONY HEIRS
7832 NW 18TH LN
GAINESVILLE, FL 32605

06656-638-003
GILLESPIE ROGER A & SANDRA G
7915 NW 4TH CT
GAINESVILLE, FL 32607-1511

06656-638-002
MAREN RAE C LIFE ESTATE
7931 NW 4TH CT
GAINESVILLE, FL 32607-1511

06331-002-001
GATOR HOTEL VENTURES LLC
800 WEST CYPRESS CREEK RD STE
502
FT LAUDERDALE, FL 33309

06656-628-003
ELLIOTT & ELLIOTT & ELLIOTT
807 SE 2ND AVE
GAINESVILLE, FL 32601

06656-632-002
PARKER M G & RUBY
8115 W NEWBERRY RD
GAINESVILLE, FL 32607

06656-629-003
POLSTON JANE E
8116 NW 5TH CT
GAINESVILLE, FL 32607

06656-632-001
FAULCONER & PURCELL W/H
8119 W NEWBERRY RD
GAINESVILLE, FL 32606

06656-631-003
COX BRUCE JR & DIANE R LIFE
ESTATE
8121 WEST NEWBERRY RD
GAINESVILLE, FL 32606

06656-626-002
WHITMER KEITH B & MIRANDA J
8123 NW 5TH CT
GAINESVILLE, FL 32607

06656-629-002
SPRINKLE TERRY JOE JR
8136 NW 5TH CT
GAINESVILLE, FL 32607-1505

06315-004-000
GREATER GATOR PROPERTIES LLC
8200 NW 15TH PL
GAINESVILLE, FL 32606

06656-629-001
WANG GRACE
8210 NW 5TH CT
GAINESVILLE, FL 32607

06656-626-001
REARDON CAROL TRUSTEE
8216 NW 4TH PL
GAINESVILLE, FL 32607-1513

06656-630-001
GATTON & GATTON TRUSTEES
8216 NW 5TH CT
GAINESVILLE, FL 32607

06331-043-000
KPG INVESTMENTS INC
8280 PRINCETON SQ BLVD W STE 6
JACKSONVILLE, FL 32256-0362

06656-500-023
HILLIARD KAREN T
8410 NW 4TH PL
GAINESVILLE, FL 32607-1413

06656-500-021
GLEIBERMAN & HERZIG W/H
8423 NW 6TH AVE
GAINESVILLE, FL 32607

06656-500-014
RIVERS MARGARET T
8424 NW 6TH AVE
GAINESVILLE, FL 32607-1406

06656-500-020
MCMILLIN MATT KEVIN
8435 NW 6TH AVE
GAINESVILLE, FL 32607

06656-500-025
STARR MARK N & CYNTHIA J
8436 NW 4TH PL
GAINESVILLE, FL 32607-1413

06656-500-015
KAPEC D N & LESLIE TRUSTEE
8436 NW 6TH AVE
GAINESVILLE, FL 32607-1406

06656-500-019
SABBACK FRED J JR & MARGARET B
8507 NW 6TH AVE
GAINESVILLE, FL 32607

06656-500-026
DORAN & DORAN
8508 NW 4TH PL
GAINESVILLE, FL 32607-1413

06656-500-016
EBELING CHRISTOPHER MATTHEW
& SARAH ELEANOR
8508 NW 6TH AVE
GAINESVILLE, FL 32607

06656-500-018
MCCRACKEN ANDREA R
8525 NW 6TH AVE
GAINESVILLE, FL 32607

06656-500-017
O'DONNELL NATHAN & SARAH
8526 NW 6TH AVE
GAINESVILLE, FL 32607

06656-500-028
MORRIS JUDY
8604 NW 4TH PL
GAINESVILLE, FL 32607

06656-500-029
SILLS LORRAINE M
8618 NW 4TH PL
GAINESVILLE, FL 32607-1413

06326-030-138
GOEBEL MAUREEN F &
CHRISTOPHER A
8705 NW 9TH PL
GAINESVILLE, FL 32606

06656-050-010
DEAN & PILAUM
8715 NW 6TH PL
GAINESVILLE, FL 32607

06656-050-009
SCHACKOW G D & JOANNE LIFE
ESTATE
8716 NW 6TH PL
GAINESVILLE, FL 32607-1405

06326-030-158
GOULD & SALAZAR W/H
8727 NW 10TH PL
GAINESVILLE, FL 32606

06656-050-011
CATES R P & JUDITH
8801 NW 6TH PL
GAINESVILLE, FL 32607-1405

06326-030-157
GRIFFIN AMY L
8803 NW 10TH PL
GAINESVILLE, FL 32606-7170

06326-030-152
DEMME MICHELE
8810 NW 9TH PL
GAINESVILLE, FL 32606

06656-050-012
SCHLENKER B R & PATRICIA
8817 NW 6TH PL
GAINESVILLE, FL 32607-1405

06326-030-184
IRBY & IRBY LIFE ESTATE
8824 NW 11TH PL
GAINESVILLE, FL 32606

06326-030-161
YANG & ZHAO W/H
8629 NW 10TH PL
GAINESVILLE, FL 32606

06326-030-160
LIN JINYIN
8707 NW 10TH PL
GAINESVILLE, FL 32606

06326-030-137
PENA LUIS EDUARDO
8715 NW 9TH PL
GAINESVILLE, FL 32606

06326-030-150
ROY SUBRATA
8722 NW 9TH PL
GAINESVILLE, FL 32606

06326-030-151
HE & YANG W/H
8732 NW 9TH PL
GAINESVILLE, FL 32606

06656-050-002
PATTERSON BRAD WILLIAM &
CATHERINE SCHACKOW
8801 W NEWBERRY RD
GAINESVILLE, FL 32606

06326-030-182
KELLEY GEORGIA ANNE
8804 NW 11TH PL
GAINESVILLE, FL 32606

06326-030-156
XIAO & XUE W/H
8813 NW 10TH PL
GAINESVILLE, FL 32606

06326-030-194
FIALLO RIGOBERTO & EVELYN
8818 NW 10TH PL
GAINESVILLE, FL 32606

06326-030-189
REED & WYKOFF
8825 NW 11TH PL
GAINESVILLE, FL 32606-7162

06656-500-030
LIDSTROM & LIDSTROM CO-
TRUSTEES
8630 NW 4TH PL
GAINESVILLE, FL 32607

06326-030-149
TAYLOR GREGG L & JACQUELINE B
8712 NW 9TH PL
GAINESVILLE, FL 32606

06656-100-004
EDELSON JEFFREY SAMUEL
TRUSTEE
8716 NW 4TH PL
GAINESVILLE, FL 32607

06326-030-136
FAIRHOLM SEAN & ANJA
8725 NW 9TH PL
GAINESVILLE, FL 32606

06656-632-003
SEVEN OAK TREES INVESTMENTS
8736 NW 136TH AVENUE RD
OCALA, FL 34482

06656-050-008
SODERSTROM KARIN
8802 NW 6TH PL
GAINESVILLE, FL 32607

06326-030-193
LAMADRID ERNESTO & HORTENSIA
8808 NW 10TH PL
GAINESVILLE, FL 32606-7167

06326-030-183
BOSSCHE & SALEEM W/H
8814 NW 11TH PL
GAINESVILLE, FL 32606

06326-030-155
BUTLER JERALD T & KATHLEEN A
8823 NW 10TH PL
GAINESVILLE, FL 32606

06326-030-195
BAUTISTA & BAUTISTA TRUSTEES
8828 NW 10TH PL
GAINESVILLE, FL 32606

06326-030-153
HAUGEN & HAUGEN
8830 NW 9TH PL
GAINESVILLE, FL 32606

06326-030-196
BIGGER & LEAL H/W
8838 NW 10TH PL
GAINESVILLE, FL 32606

06326-030-132
GOULD PAUL M & DANIELLE B
8839 NW 9TH PL
GAINESVILLE, FL 32606

06326-030-186
JAMISON SCOTT H II & KELLY J
8844 NW 11TH PL
GAINESVILLE, FL 32606

06326-030-187
HOFFMAN BRAD & GEORGANNE M
8845 NW 11TH PL
GAINESVILLE, FL 32606

06326-030-197
HOUSE MARK C & LISA A
8850 NW 9TH LN
GAINESVILLE, FL 32606

06326-030-131
SMOLENSKI & VENTURA
8851 NW 9TH LN
GAINESVILLE, FL 32606

06326-020-100
CHAN PING
8901 NW 9TH LN
GAINESVILLE, FL 32606

06326-020-099
GNAD MARK A
8911 NW 9TH LN
GAINESVILLE, FL 32606

06326-020-098
GRAYSON ADAM & TAMMY
8921 NW 9TH LN
GAINESVILLE, FL 32606

06326-030-139
LUND JOSHUA M & ALANNA E
909 NW 87TH DR
GAINESVILLE, FL 32606

06326-030-135
LI DANMENG
919 NW 87TH DR
GAINESVILLE, FL 32606

06326-030-141
WIN TUN TUN & EPEFANY
929 NW 87TH DR
GAINESVILLE, FL 32606

06326-030-142
ABELLA & SONGAYAB W/H
939 NW 87TH DR
GAINESVILLE, FL 32606

06326-030-178
HWANG JOONGHYUN & KRISTI
BROOKE
9393 PECAN TREE DR APT 23
BATON ROUGE, LA 70810

06326-030-164
DAVIS SUSAN E
947 NW 86TH TER
GAINESVILLE, FL 32606

06326-030-143
ANTOINE & EUGENE
949 NW 87TH DR
GAINESVILLE, FL 32606

06326-030-163
VELLEKAMP ISAAC & KASEY WARD
950 NW 86TH TER
GAINESVILLE, FL 32606

06326-030-146
WHITE CORNELIUS T III & VALERIE
954 NW 87TH DR
GAINESVILLE, FL 32606

06326-030-165
CASTRO DAVID J
957 NW 86TH TER
GAINESVILLE, FL 32606

06326-030-144
NJOFANG PATIENCE M
959 NW 87TH DR
GAINESVILLE, FL 32606

06326-030-145
LAFLEUR PAUL R JR
964 NW 87TH DR
GAINESVILLE, FL 32606-7154

06656-002-002
REALTY INCOME PROPERTIES INC
ATTN: DEPT# 1086M 11995 EL
CAMINO REAL
SAN DIEGO, CA 92130

06326-020-107
HUANG & KOU
GUANGZHOU 510360 162 FARCUN WU
YAN QIAO XIN JI

06331-002-002
WANG GEORGE
PO BOX 1159 REAL ESTATE
PROPERTY TAX
DEERFIELD, IL 60015

06316-001-001
BURKETT ORIS L JR & PATRICIA
PO BOX 140068
GAINESVILLE, FL 32614

06336-002-000
LEWCO INC
PO BOX 141286
GAINESVILLE, FL 32614

06326-030-148
DOUGLASS HOLDINGS LLC
PO BOX 143053
GAINESVILLE, FL 32607

06315-011-000
SB-GAINESVILLE LLC
PO BOX 160
VALDOSTA, GA 31603

06656-010-001
NAUTI MERMAID INC
PO BOX 1836
OCALA, FL 34478

06331-040-000
REGENCY CENTERS LP
PO BOX 2539
SAN ANTONIO, TX 78299

06315-010-090
DATA SYSTEMS OF NORTH FLORIDA
INC
PO BOX 357192
GAINESVILLE, FL 32635

06656-500-009
FLAVIN JAMES W
PO BOX 357485
GAINESVILLE, FL 32635

06331-003-000
GVILLE GARDEN CLUB INC
PO BOX 357608
GAINESVILLE, FL 32635-7608

06329-001-001
CITY OF GAINESVILLE
PO BOX 490
GAINESVILLE, FL 32602

06315-005-001
FLORIDA CREDIT UNION
PO BOX 5158
GAINESVILLE, FL 32627

06315-007-000
FLORIDA CREDIT UNION
PO BOX 5549
GAINESVILLE, FL 32657-5549

ALACHUA COUNTY PUBLIC
SCHOOLS
620 E UNIVERSITY AVENUE
GAINESVILLE, FL 32607

Newspaper Advertisement

PUBLIC NOTICE

A virtual Neighborhood Workshop will be held to discuss two Alachua County applications:

1. Large-scale Comprehensive Plan Amendment (LSCPA) to the Oaks Mall Activity Center language, including Future Land Use Element Policy 2.2.3, item (b)(2) and associated items for Alachua County Tax Parcels # 06326-001-002, 06329-000-000, and 06331-000-000. The amendment proposed will update outdated parcel-specific policies, in favor of the current Comprehensive Plan Goals, Objectives, and Policies addressing urban development, Traditional Neighborhood and Transit Oriented standards, and mitigation regulations.
2. Preliminary Development Plan on ±89 acres in Unincorporated Alachua County (above-referenced tax parcels). The development intent is a Traditional Neighborhood Development, with a mixture of uses including residential development, retail opportunities, and a hotel.

The site's Future Land Use category is Mixed Use. The site has four (4) zoning districts: Wholesale/Warehousing (BW) and three (3) multifamily residential districts (R-2, R-2A, and R-3). The parcel is located on Newberry Road, just west of Interstate-75.

Time and Date: 6:00 p.m. on August 15, 2022

Link to attend meeting: bit.ly/21-546-NHWS

Meeting Call-in Number: +1 929 205 6099

Meeting ID: 841 1453 3741



This is not a public hearing. The purpose is to inform the public about the intent of the applications and seek their comments. Once submitted, application materials may be requested from Alachua County Growth Management staff.

Contact: Gerry Dedenbach, AICP

Mailing Address: 11801 Research Drive, Alachua, FL, 32615

Phone: (352) 331-1976

Email: Live@CHW-inc.com

CHW
Professional Consultants

LOCAL&STATE

Idylwild Elementary renovations done



Alachua County school board members and administrators cut the ribbon to Idylwild Elementary School after renovations were complete. LAWREN SIMMONS / SPECIAL TO THE SUN

District officials cut ribbon, conduct tour of campus

Gershon Harrell
Gainesville Sun
USA TODAY NETWORK

Students at Idylwild Elementary School will soon walk onto a newly renovated campus with a sparkling new playground.

The Alachua County school district celebrated the completion of renovations to the school on Thursday with a "back to the nest" ribbon-cutting ceremony and carnival.

"I'm just excited for them to come and see the new building and the new facility, playground everything and for them to know this is for them," said Jim Kuhn, principal of Idylwild Elementary School.

Following the ribbon-cutting event on Thursday afternoon, officials held a public tour around campus.

"I'm just so excited and so happy for our entire Idylwild family," said Shane Andrew, interim superintendent for Alachua County Public Schools.

Kuhn said he wanted to make sure the event was

more than just another boring ribbon cutting.

"I wanted it to be, yes, a ribbon cutting to recognize that we're entering a new school, but to bring our school children, our community back together and recharge us for the coming year," he said. "Introduce the new facility to our students who are the most important people that we deal with."

The renovation was made possible through the half-cent sales tax, which also funded the new Terrelliger building and construction projects at Metcalfe Middle School. The tax initiative is also funding the construction of a new building at Oakview Middle School and will revitalize Westwood Middle School.

"That was a ballot initiative that raised money so that we can make facilities improvements at our schools and since 2019 the revenues that have come from that half cent have made just an enormous difference at schools in this district, including here at Idylwild Elementary school," said Jackie Johnson, spokeswoman for Alachua County Public Schools.



A crowd gathers to speak at a Gainesville police advisory council meeting about the Terrell Bradley case. KATIE DELK / CORRESPONDENT

Bradley addresses K-9 attack and arrest

Katie Delk
Special to Gainesville Sun
USA TODAY NETWORK

Terrell Bradley silently observed with his one eye as a crowd packed into a Gainesville Police Advisory Council meeting to advocate for his behalf.

The concerned crowd of about 70, some of whom wore eye patches and T-shirts with Bradley's injured face, demanded answers, policy changes, chants for justice and for his charges to be dropped.

Bradley, 30, showed little emotion, sitting still. Soon, he had his turn, speaking publicly to reporters for the first time about the fateful July 10 evening that cost him his right eye from a GPD K-9.

"I was scared for my life," he said. "I ain't know if I would end up being killed or shot by accident."

That night, Bradley was spotted driving by a police officer near the Forest and Village apartment complex, formerly known as Sweetwater Square, where he says he had just dropped off his 12-year-old daughter. The officer says he ran a stop sign, but activists and Bradley contend there is none nearby where the infraction was cited.

Once pulled over, the officer says he spotted weed and a "suspicious" Bradley, who put his hand near the floorboard of his car where a stolen gun was later found.

"Whole time he was just treating me like a suspect as soon as he pulled me over," he said. "That made me feel like there would be some games going on... (The officer) was thinking I was acting nervous, and now he's nervous, and he's gonna shoot me."

Bradley said he was patted down and immediately felt scared. He allowed the officer and took off on foot, leaving behind his vehicle, ID, marijuana and

See BRADLEY, Page 6A

'Red Shoe' fundraiser set for Aug. 13

Gershon Harrell
Gainesville Sun
USA TODAY NETWORK

The Ronald McDonald House Charities of North Central Florida promises to give attendees an evening they won't forget at their 10th annual Red Shoe Affair.

The event will take place on Aug. 13 at the Esxactech Arena in the Stephen O'Connell Center. The affair is a fundraiser where the money raised will go towards the operations of the Ronald McDonald House.

In the past, the house has netted over \$2,000 from the event.

"We will be celebrating 40 years as a Ronald McDonald House, serving families from all over the world who, whose child is being treated at our children's hospital," said Sherry Houston, executive director of the Ronald McDonald House. It's a really big celebration this year.

The Ronald McDonald House provides housing to families whose children may be receiving intensive treatment from UF Health Shands Children's Hospital.

Families come to the house either because their babies were born premature or if their child has a heart defect.

Attendees at the event can take part in a silent and live auction. An open bar will be available and food from Embers Wood Grill.

Families who also re-

ceive assistance from the Ronald McDonald House will also be in attendance to share their stories about how the organization has helped them.

Houston said tickets are sold out but they are expecting a crowd of 700 people to show up. People should arrive by 6 p.m., and around 7 p.m. people will go downstairs to the Esxactech Arena and sit at their designated table.

The Ronald McDonald House Charities of North Central Florida is at 1600 SW 14th St. in Gainesville.



A scene from the 2019 Red Shoe Affair held at the Esxactech Arena. HANDOUT IMAGE FROM THE RONALD McDONALD HOUSE CHARITIES OF NORTH CENTRAL FLORIDA/SPECIAL TO THE SUN

PUBLIC NOTICE

- A virtual Neighborhood Workshop will be held to discuss two Alachua County applications:
 - Large-scale Comprehensive Plan Amendment (LSCPA) to the Oaklawn Activity Center language, including Future Land Use Element Policy 2.2.3, Item (b)(2) and associated items for Alachua County Tax Parcels # 06326-001-002, 06329-000-002, and 06331-000-000. The amendment proposed will update outdated parcel-specific policies, in favor of the current Comprehensive Plan Goals, Objectives, and Policies addressing urban development, Traditional Neighborhood and Transit Oriented standards, and mitigation regulations.
 - Preliminary Development Plan on 469 acres in Unincorporated Alachua County (two-referencence tax parcels). The development intent is a Traditional Neighborhood Development with a mixture of uses including residential development, retail opportunities, and a hotel.

The site's Future Land Use category is Mixed Use. The site has four (4) zoning districts: Wholesale/Warehouse (WW) and three (3) multifamily residential districts (R-2, R-2A, and R-3). The parcel is located on Newberry Road, just west of Interstate-75.



Time and Date: 6:00 p.m. on August 15, 2022
Link to attend meeting: <https://a1a21544.hc.wvu.edu>
Meeting Call-in Number: +1 929 205 6099
Meeting ID: 841 1453 3741

This is not a public hearing. The purpose is to inform the public about the intent of the applications and seek their comments. Once submitted, application materials may be requested from Alachua County Growth Management staff.

Contact: Gerry Doedenboon, AICP
Mailing Address: 11801 Research Drive, Alachua, FL 32615
Phone: (352) 328-1976
Email: Lives@CHW-inc.com



NOTICE OF AMENDMENT TO ZONING

The City of Gainesville, Florida, proposes to adopt the following ordinance amending the zoning of a certain property as more fully set forth in the ordinance, the title of which appears below. A second reading for the ordinance will be held on August 4, 2022 at 10:00 AM or as soon thereafter as may be heard. The meeting will be held in the City Hall Auditorium, 200 E. University Avenue, Gainesville, Florida. A copy of the ordinance may be inspected by any member of the public at the office of the City Clerk located at 200 East University Avenue, Gainesville, Florida during regular business hours. Interested parties may appear at the meeting and be heard regarding the amendment.

FOR INFORMATION CALL: 352-334-5022. Interested parties may participate in the meeting and be heard regarding the amendment. Public access to this virtual meeting can be accomplished as follows:

- ATTEND IN-PERSON: 200 East University Avenue
- LIVE MEETING COVERAGE: View and/or listen to the meeting - City of Gainesville Website: <https://www.gainesvillefl.gov/Government/Pages/Government/Departments/Communications-Office/Community-12TV/Live-Web-Streaming>
- Broadcast on Cox Cable Channel 12
- City of Gainesville Facebook: <https://www.facebook.com/GNVCCommissionLive> (optional/courtesy)

PUBLIC COMMENT: Submit written or verbal comments on the agenda before and during the meeting.

By mail to the City of Gainesville, City Clerk, P.O. Box 490, Station 10, 32627-0490

By email to cityclerk@cityofgainesville.org

By phone before the meeting to the City Clerk Office at 352-334-5015

All written comments submitted shall be made a part of the public record. If any member of the public requires additional information about this City Commission meeting or has any questions about how to submit a public comment at the meeting, please contact: Christina D. Gentry, City Clerk, City of Gainesville, 200 East University Avenue, First Floor, Gainesville, FL 32601, 352-334-5015, clerk@cityofgainesville.org

Ordinance No. 211442

An ordinance of the City of Gainesville, Florida, amending Ordinance No. 050487 commonly known as "The Shoppes at Providence" Planned Development located on the southeast corner of U.S. 441 and NW 23rd Terrace to allow for a mini-warehouse/self-storage facility as a use within the Planned Development (PD), as well as providing applicable maximum building area and parking regulations, as more specifically described in this ordinance providing directions to the City Manager; providing a severability clause; providing a repealing clause; and providing an immediate effective date.

All persons are advised that, if any person decides to appeal a decision of this body with respect to any matter considered at the above-referenced meeting or hearing, he/she will need a record of the proceedings and for such purpose he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Workshop Presentation

Newberry Village

*Large-scale Comprehensive Plan Amendment (Ls-CPA)
Preliminary Development Plan Application*



Alachua County
Neighborhood Workshop
August 15, 2022

21-0546: Newberry Village Mixed-Use

CHW

1

REQUESTS:

Ls-CPA Application:

- FM: Old Parcel-specific policies
- TO: **Current Comprehensive Plan**

Development Plan Application:

- Consistent with current existing Policies supporting **Traditional Neighborhoods & Transit Oriented Development** elements and form.



21-0546: Newberry Village Mixed-Use

2

INTENT:

Develop site as **mixed-use**, **Traditional Neighborhood Development** containing:

- *Multiple housing options;*
- *Senior-living facility;*
- *Mixed retail & service offerings; and*
- *Enhanced pedestrian, bicycle, & transit facilities interconnected to context area.*

21-0546: Newberry Village Mixed-Use



3

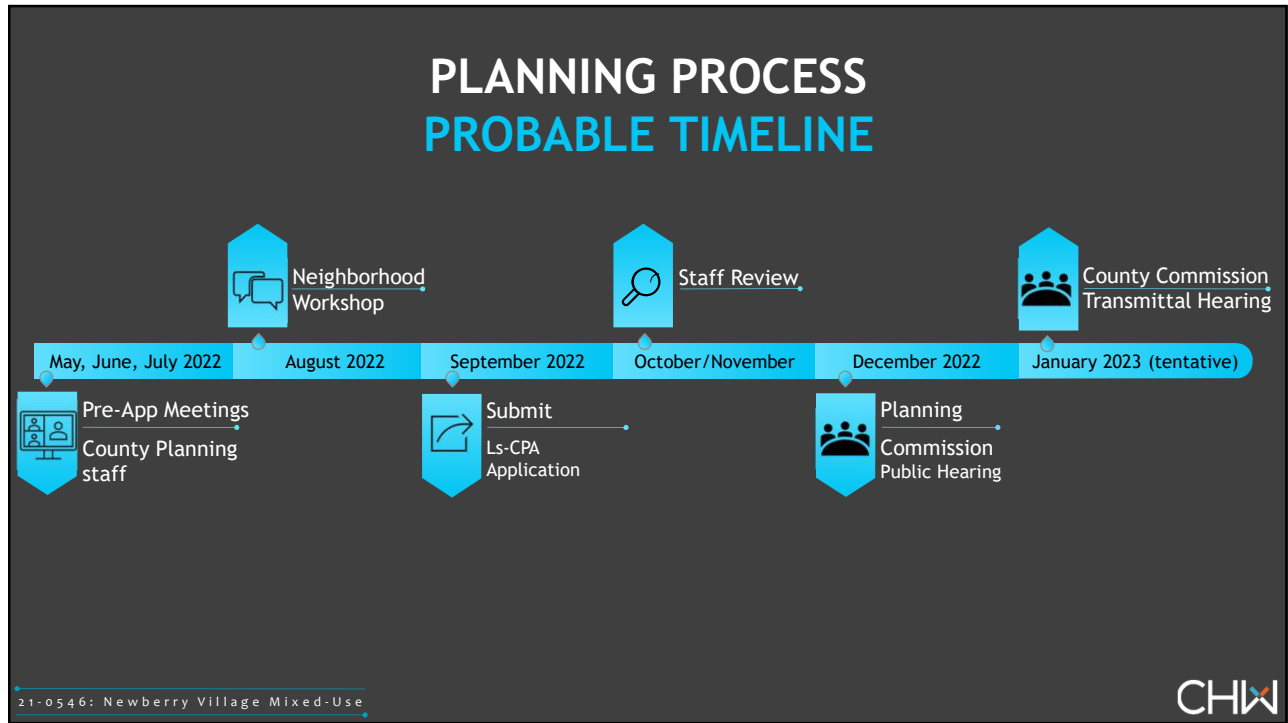
OPPORTUNITIES:

- **Achieve** highest & best use of valuable urban location;
- **Improve** pedestrian connectivity in urban core;
- **Increase** housing supply & diversity in urbanized area; and
- **Provide** transit access and opportunity to broader population.

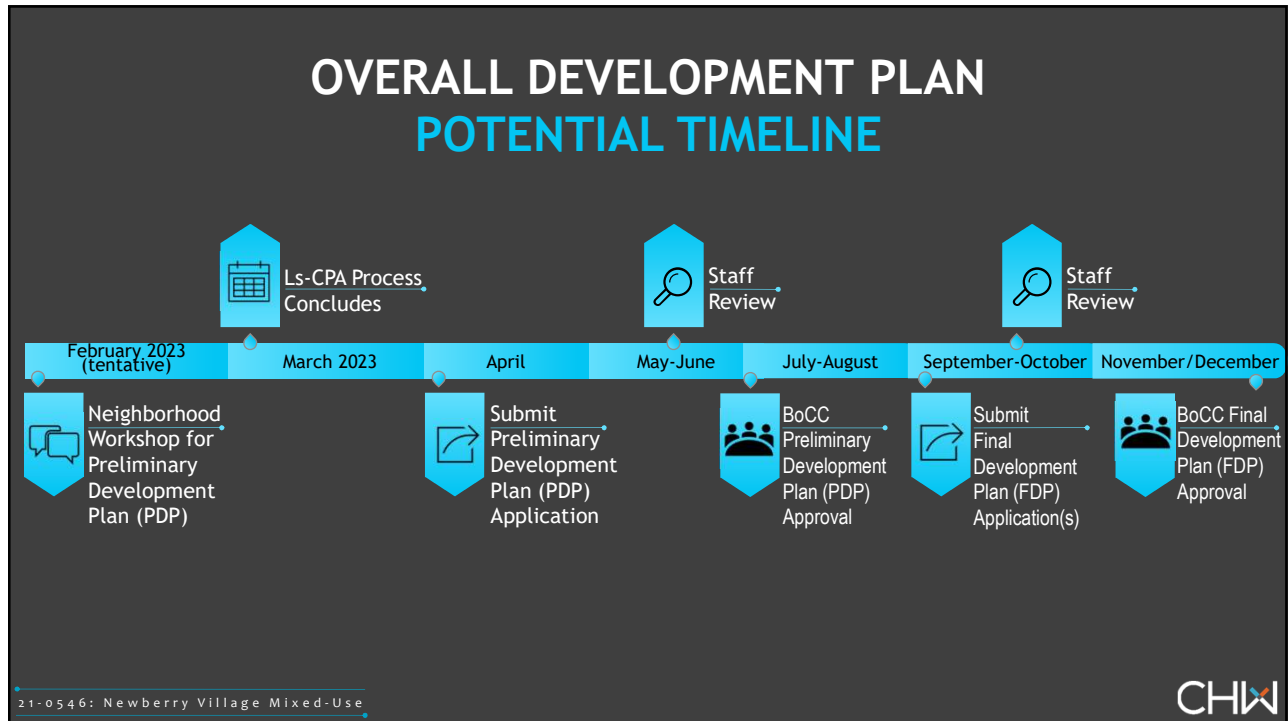
21-0546: Newberry Village Mixed-Use



4



5



6

PUBLIC NOTIFICATION HAS BEEN SENT...

NEIGHBORHOOD WORKSHOP NOTIFICATION



To: Neighbors of the Newberry Road / Fort Clarke Boulevard Area
From: Gerry Deelenbach, AICP, Vice President
Date: July 29, 2022
RE: Neighborhood Workshop Public Notice

- A virtual Neighborhood Workshop will be held to discuss two (2) Alachua County applications:
1. Large-scale Comprehensive Plan Amendment (LSCPA) to the Oaks Mall Activity Center language, including Future Land Use Element Policy 2.2.3, Item (b)(2) and associated items for Alachua County Tax Parcels # 06326-001-002, 06329-000-000, and 06331-000-000. The amendment proposed will update outdated parcel-specific policies, in favor of the current Comprehensive Plan Goals, Objectives, and Policies addressing urban development, Traditional Neighborhood and Transit Oriented standards, and mitigation regulations.
 2. Preliminary Development Plan on 489 acres in Unincorporated Alachua County (above-referenced tax parcels). The development intent is a Traditional Neighborhood Development, with a mixture of uses including residential development, retail opportunities, and a hotel.

The site's Future Land Use category is Mixed Use. The site has four (4) zoning districts: Wholesale/Warehousing (BW) and three (3) multifamily residential districts (R-2, R-2A, and R-3). The parcel is located on Newberry Road, just west of Interstate-75, as shown in the provided presentation slides and graphics. If attending by phone, please contact CHW using the contact information provided for any additional material that may be developed prior to or following this workshop.

File: August 14, 2022
Time: 6:00 p.m.
Link: <https://www.chw-inc.com>
Call-in Number: +1 929 205 6099
Meeting ID: 841 1453 3741
Contact: Gerry Deelenbach, AICP
 11801 Research Drive
 Alachua, FL 32815
 (352) 331-1976
 Live@CHW-inc.com



This is not a public hearing. The neighborhood workshop's purpose is to inform the public about the nature of the proposal and seek your comments. Once submitted, application materials may be requested from Alachua County Growth Management Staff.

Directions to Attend Meeting: Using your web browser, visit the web address link above. Please note, the link is case-sensitive. For best performance, Google Chrome, Safari, Microsoft Edge, or Mozilla Firefox are recommended. The meeting can also be attended by phone. To attend the meeting by phone, call the call-in number above, and enter the Meeting ID number followed by the pound sign ("#") when prompted. If attending by phone, please contact CHW using the information above for any additional material that may be developed prior to or following this workshop.

If you are unable to attend the meeting, please contact CHW using the information above. Comments may be submitted to the address, email, and phone number above.

ALACHUA COUNTY
 11801 Research Drive, Suite 102, Jacksonville, FL 32222
 (904) 239-3222
 11801 Research Drive, Suite 102, Jacksonville, FL 32222
 (904) 239-3222
 11801 Research Drive, Suite 102, Jacksonville, FL 32222
 (904) 239-3222

www.chw-inc.com

21-0546: Newberry Village Mixed-Use

LOCAL STATE

Idylwild Elementary renovations done



District officials cut ribbon, conduct tour of campus

Alachua County District 1 officials and school district staff gathered at Idylwild Elementary School on Tuesday to celebrate the completion of a \$10-million renovation project. The school is the first of three schools in the district to undergo this type of renovation. The project included updating classrooms, adding new technology, and improving the school's energy efficiency. The renovation was completed ahead of the start of the school year. The school is now open for classes.

Bradley addresses K-9 attack and arrest

Alachua County Sheriff's Office Sheriff Bradley addressed the public regarding a recent K-9 attack and arrest. The incident occurred on a residential street in the county. The sheriff stated that the K-9 was acting aggressively towards a person, leading to an arrest. The sheriff emphasized the importance of responsible pet ownership and the safety of the community.

'Red Shoe' fundraiser set for Aug. 13

A fundraiser for the 'Red Shoe' program is set for August 13. The event will be held at a local venue and aims to raise funds for the program. The 'Red Shoe' program is a community initiative that provides support and resources for individuals in need. The fundraiser is expected to be a successful event.

PUBLIC NOTICE
 NOTICE OF AMENDMENT TO ZONING
 The following is a notice of amendment to zoning for the project site. The amendment is necessary to allow for the proposed development. The amendment will be discussed at a public hearing on August 15, 2022. The public is invited to attend the hearing and provide comments.

PUBLIC NOTICE

- A virtual Neighborhood Workshop will be held to discuss two Alachua County applications:
1. Large-scale Comprehensive Plan Amendment (LSCPA) to the Oaks Mall Activity Center language, including Future Land Use Element Policy 2.2.3, Item (b)(2) and associated items for Alachua County Tax Parcels # 06326-001-002, 06329-000-000, and 06331-000-000. The amendment proposed will update outdated parcel-specific policies, in favor of the current Comprehensive Plan Goals, Objectives, and Policies addressing urban development, Traditional Neighborhood and Transit Oriented standards, and mitigation regulations.
 2. Preliminary Development Plan on 489 acres in Unincorporated Alachua County (above-referenced tax parcels). The development intent is a Traditional Neighborhood Development, with a mixture of uses including residential development, retail opportunities, and a hotel.

The site's Future Land Use category is Mixed Use. The site has four (4) zoning districts: Wholesale/Warehousing (BW) and three (3) multifamily residential districts (R-2, R-2A, and R-3). The parcel is located on Newberry Road, just west of Interstate-75.

Time and Date: 6:00 p.m. on August 15, 2022
Link to attend meeting: <https://www.chw-inc.com>
Meeting Call-in Number: +1 929 205 6099
Meeting ID: 841 1453 3741



This is not a public hearing. The purpose is to inform the public about the intent of the applications and seek their comments. Once submitted, application materials may be requested from Alachua County Growth Management Staff.

Contact: Gerry Deelenbach, AICP
Mailing Address: 11801 Research Drive, Alachua, FL 32815
Phone: (352) 331-1976
Email: Live@CHW-inc.com



7

Context Map



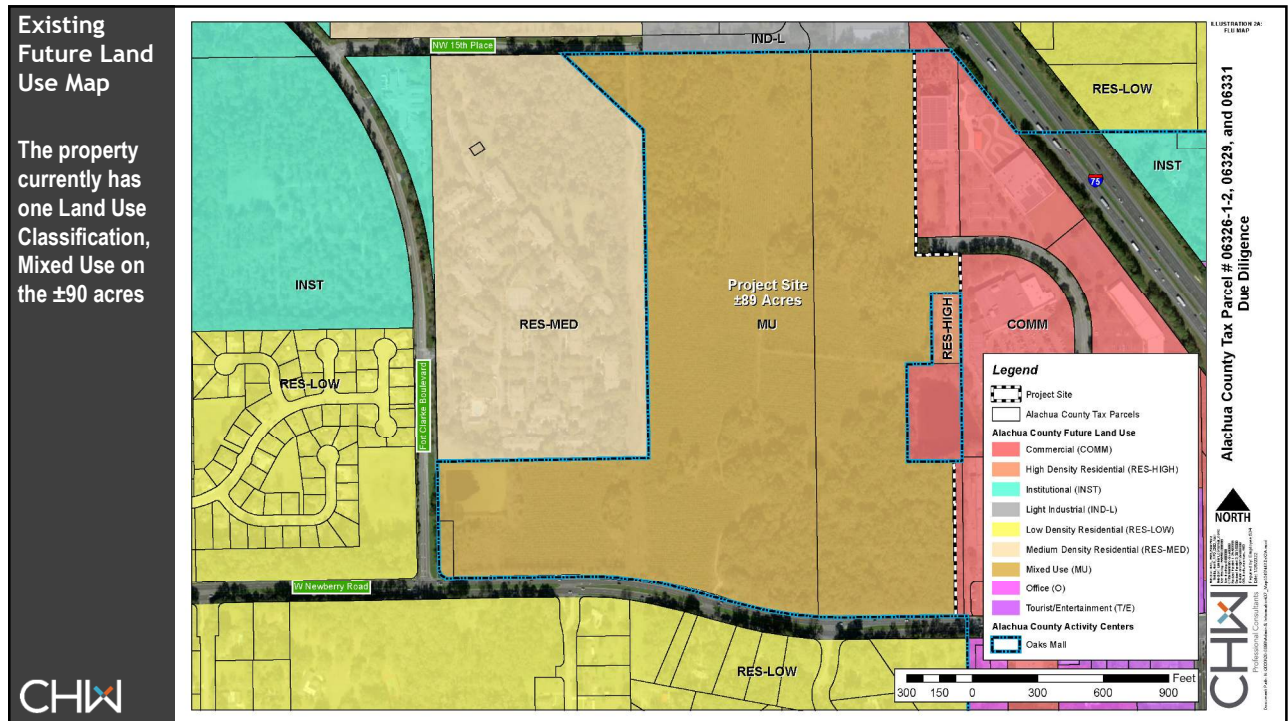
Alachua County Tax Parcel # 06326-1-2, 06329, and 06331
 Due Diligence



8



9



10

Proposed Future Land Use Map

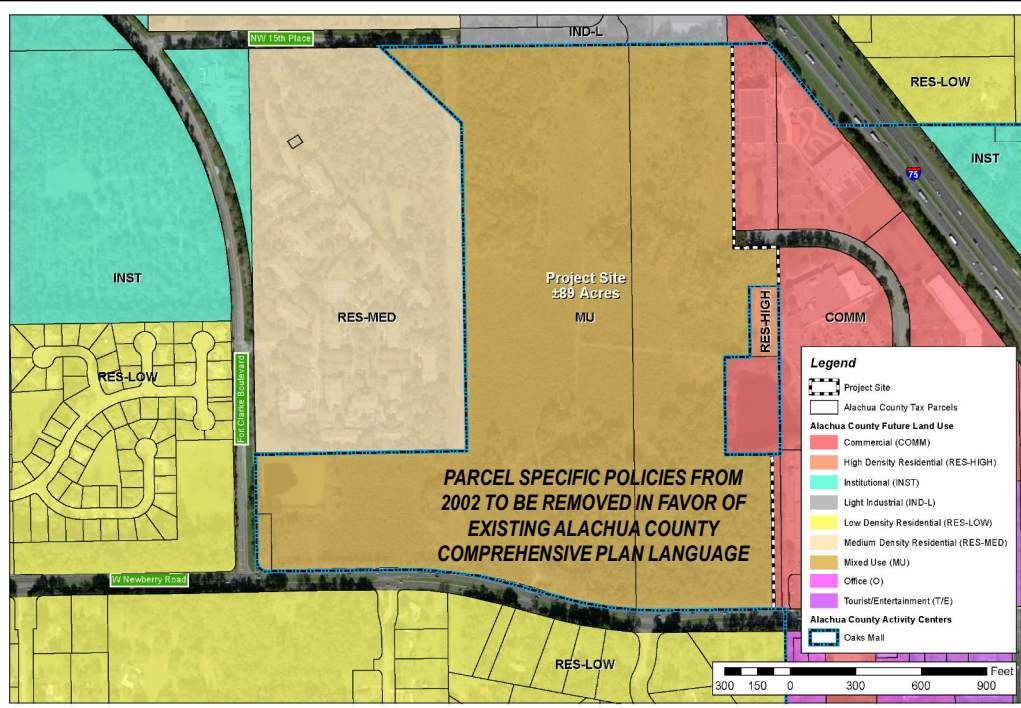


ILLUSTRATION 3A: FLM MAP

Alachua County Tax Parcel # 06326-1-2, 06329, and 06331

Due Diligence

CHW

11

Existing Zoning Map

The property currently has four different zoning districts ranging from R-2 low density residential to Wholesale and Warehousing

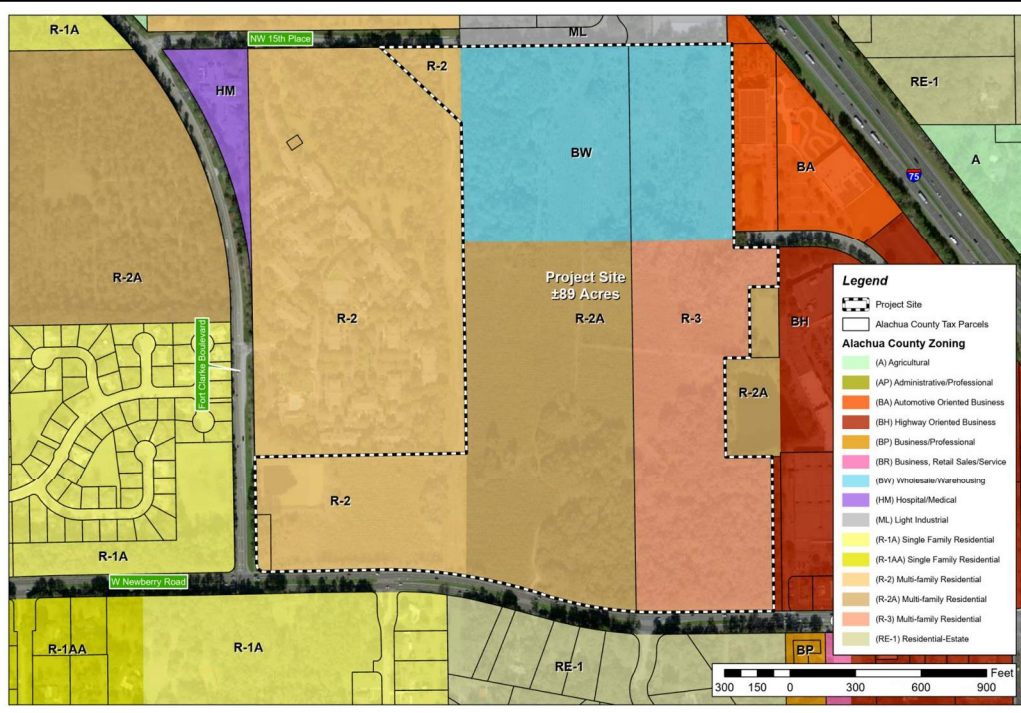


ILLUSTRATION 3A: ZONING MAP

Alachua County Tax Parcel # 06326-1-2, 06329, and 06331

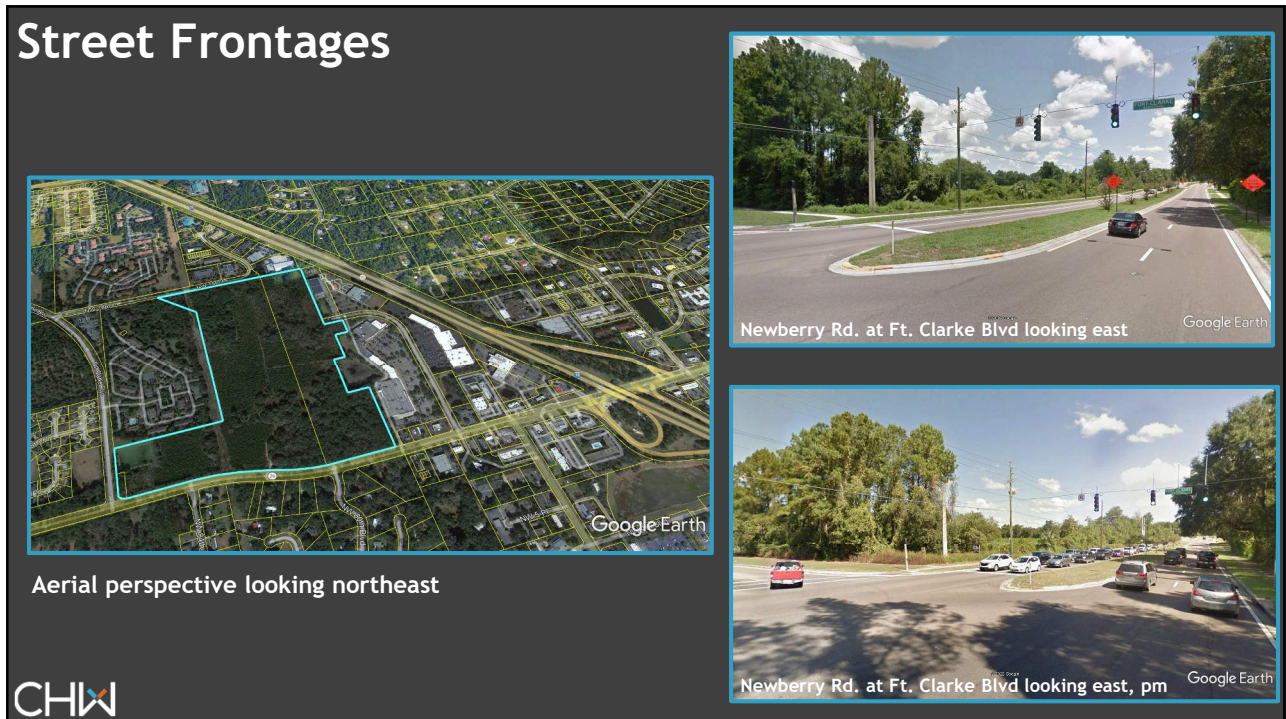
Due Diligence

CHW

12



13



14



17



18

For Additional information, please feel free to contact us directly at the phone number and/or email provided in the presentation.



Sign-in Sheet

SIGN-IN SHEET

Newberry Village LSCPA

21-0546



Event: Virtual Neighborhood Workshop
Date/Time: August 15, 2022 @ 6:00 PM
Place: Zoom Virtual Meeting
Re: Large-scale Comprehensive Plan Application (LSCPA) – Text Amendment

	<u>Attendee Name</u> (Or as appears on Zoom)
1	Betsy's iPhone
2	Bruce Cox Jr.
4	Dsalter
4	Elizabeth's iPad
5	iPad (name not provided)
6	iPhone (name not provided)
7	Jerry Schackow
8	Joanne's iPhone
9	Justin Truesdale
10	Karen Hilliard
11	Lane
12	Ley Burkett
13	Lisa Blythe
14	Lisa Gurske

N:\2021\21-0546\Admin & Information\06_NHWS\SIGN-IN Newberry Village LSCPA NHWS.docx

t: (904) 619-6521 | 8465 Merchants Way, Suite 102, Jacksonville, FL 32222
t: (352) 331-1976 | 11801 Research Drive, Alachua, FL 32615
t: (352) 414-4621 | 2100 SE 17th Street, Unit 802, Ocala, FL 34471

www.chw-inc.com

15	Matthew
16	Myrna Neims
17	Stan Rakofsky
18	
19	
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21	
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32	

Workshop Minutes

NEIGHBORHOOD WORKSHOP SUMMARY

Newberry Village LSCPA

21-0546



Event: Neighborhood Workshop
Date/Time: August 15, 2022 @ 6:00 PM
Place: Zoom Virtual Meeting
Re: Large-scale Comprehensive Plan Application (LSCPA) - Text Amendment

CHW (Agent) Attendees: Gerry Dedenbach, AICP; James Harriot, PE; Seth Wood, AICP
Public Attendees: 17

CHW, on behalf of the applicant, hosted the required neighborhood workshop and presented the following: the application's requests, intent, and opportunities; the general application review process and estimated project timelines; maps illustrating the site's regulatory and physical characteristics; a conceptual layout; and preliminary renderings. The presentation materials were provided in advance to all mailed notice recipients. Questions and comments from the public attendees are listed below, with responses provided by CHW. Please note, these minutes are not meant to act as a verbatim transcript.

TRAFFIC

Comment: Previously, the Florida Department of Transportation (FDOT) has stated that area roadways are not suited for more traffic.

Response: FDOT provides information regarding Level of Service (LOS) and operation. This may be in reference to FDOT comments made regarding Newberry Road's LOS or capacity in 2002. We are in ongoing coordination with FDOT regarding this project. Additionally, we are currently conducted a Traffic Impact Analysis (TIA) to determine the potential development impacts, keeping in mind the State's comments and the County's desire to shift mode choice away from the private automobile. Therefore, we are modeling proposed scenarios with transit and nonmotorized modes.

Question: [Regarding the potential public transit on NW 76th Boulevard] Would the transit route run through the new development, or along its border?

Response: The transit would travel internally through the project site. This will likely include a loop through the site's Central Core, followed by an exit onto either NW 15th Place or Fort Clarke Boulevard. The route would connect Butler Plaza to Santa Fe College and the Gainesville area.

Comment: Most existing residents do not ride buses, and I think development of this property will result in a massive increase in the number of people in the area driving. It is impossible to leave my neighborhood due to traffic, and adding this residential and business development will make matters worse.

Response: We are working on a TIA and coordinating with both FDOT and the County. We will create a balanced transportation system in the area. This involves coordinating with FDOT on the potential to add a traffic signal to assist neighbors to the south in leaving their neighborhood. Additional roadway enhancements are also being considered.

Comment: 900 dwelling units means 1,800 additional cars, plus guests.

Response: Dwelling units do not directly translate to two vehicles. The TIA is looping at multiple factors, including area attractors, pass-by trips, and mode splits, and will yield a more accurate estimate.

Comment: This looks wonderful. This will allow both pedestrian and vehicular traffic to flow through.

Response: Thank you for your comment. The goal of the development is to create a walkable village center, with a mixture of uses that serves existing residents and future citizens in Alachua County.

PROCESS

Question: What is the overall timeframe?

Response: The LSCPA will be submitted by the end of the month. The review and approval process for that application will likely run into early calendar year 2023. After that, development planning will begin. Permitting for development will likely take all of 2023. Construction could start in early 2024, with an anticipated 18-24 months of construction. A fully built-out development with features is anticipated to open in either late 2025 or early 2026.

Question: Once building is underway, what will be built first?

Response: A single construction phase is planned, with all infrastructure, utilities, and structures built concurrently.

Question: Will this application be reviewed by the State?

Response: Yes, the LSCPA will be reviewed by the Florida Department of Economic Opportunity (DEO). DEO circulates the application to multiple state departments, including FDOT, the Florida Department of Environmental Protection (FDEP), and the Florida Department of Education (FDOE).

DEVELOPMENT PLANNING

Question: How many residents would be possible at full buildout?

Response: Development planning is still in the very early, conceptual stages. A rough estimate indicates there could be up to ±2,000 residents living within the property.

Question: How many units would be in the market rate housing?

Response: Development planning is still in the conceptual stages, but a preliminary estimate indicates there may be between 700 and 900 total dwelling units. These are planned to be marketed towards working professionals (as opposed to student housing), and some residential areas will have age restrictions.

Question: Will utilities be above ground or underground?

Response: Utilities will be underground.

Question: Are you planning on structured parking?

Response: We are not considering a structured parking garage at this time but are investigating other parking options. These include surface parking, parking within shopping building footprints, on-street parking, and parking under solar shades.

Comment: It seems inappropriate to site a hotel on Newberry Road. I think this would cause additional congestion and noise.

Response: The hotel will not be on Newberry Road. It will be further north, more in the core of the development and closer to the planned housing, so it can best serve the active adult area and multifamily development area.

ENVIRONMENTAL ISSUES

Question: What portion of the site will be in conservation?

Response: There are no conservation areas on the property, by the County's traditional definition. Development planning is anticipated to include interconnected green spaces, linking residential areas to nonresidential opportunities.

Question: What can be done to preserve the live oaks on Newberry Road?

Response: We anticipate using many of the existing, high-quality trees onsite to form the street tree coverage. Our planning utilizes trees as focal locations for roundabouts and community open spaces. The conceptual planning process is being conducted with tree retention in mind.

Question: What portion of the existing tree canopy will remain after development?

Response: At this point, with development planning still in the conceptual stages, it is impossible to say precisely. The intent is to save as many high quality trees as practicable.

Question: Are there any wetlands on the property?

Response: Yes, development planning involves stormwater modeling in the area to ensure adequate stormwater management. We anticipate the creation of multiple basins, to decentralize the impacts of stormwater and distribute them across the site.

Question: What wildlife will be impacted?

Response: A wildlife study has not been conducted at this juncture, so we do not know what wildlife may be impacted. The plan is to create an integrated, connected network of green space and stormwater basins, with the hopes this will allow wildlife to easily traverse the property with minimal impacts to their current habitat patterns.

Questions: What adaptations are being contemplated to mitigate the impacts of climate change?

Response: We are contemplating numerous options, including:

- Designing development of the property based around preservation of the highest-quality onsite trees, connecting shaded streets and pedestrian areas, in addition to park features;
- Concentrating buildings together, and centralizing more uses within one building to promote energy efficiency;
- Placement of solar energy collection infrastructure throughout the property on residential and nonresidential areas;
- Alternative vehicle charging areas for both residential and nonresidential areas;
- Enhanced walkability with highly interconnected urban-scale blocks with sidewalks and traffic calming, to reduce Vehicle Miles Traveled (VMT) and promote satisfaction of work trips and social or recreation trips by non-automobile means.

AREA IMPACTS

Question: What impact will new retail have on the existing area retail landscape? There are vacant storefronts in the area.

Response: We anticipate a “halo effect” to occur. Such a massive investment in the area spurs further reinvestment and redevelopment opportunities. This will be greatly beneficial in serving the growing Alachua County population. Storefronts in this development will not be vacant. Interviews with potential tenants are underway.

Question: What will happen to property values in the area?

Response: Improvements to the quality of the built environment in an area has been shown to build value of area properties. We feel this substantial investment in the area will have a positive impact on the surrounding area.

Question: Once everything is approved, will this enable other property uses to change as well? Will this make it easier to change uses on other properties?

Response: This question can only be answered speculatively. It is unlikely that a project like this will change the likelihood for residential areas to be converted to commercial. The County’s regulations are substantial, and changing from residential to commercial entitlements is not easy.

It is possible that the success of this project will encourage commercial property owners to attempt to modify their properties’ zoning to allow a more urban form, potentially with residential development included. Furthermore, this property is somewhat unique, as it is part of an Alachua County Activity Center.

The meeting was adjourned at approximately 6:53 PM.

A recording of the meeting presentation is available online at <https://www.facebook.com/chwcommunities>.



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Real Estate Account #06331 000 000

Owner:

INDUSTRIAL CONST & MANAGEMENT

Situs:

7910 W NEWBERRY RD

[Parcel details](#)

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Amount Due

Your account is **paid in full**. There is nothing due at this time.

Your last payment was made on **11/01/2021** for **\$210.13**. [Print paid bill \(PDF\)](#)

Account History

BILL	AMOUNT DUE	STATUS	ACTION
2021 Annual Bill ⓘ	\$0.00 Paid \$210.13	11/01/2021 Receipt #21-0001613	Print (PDF)
2020 Annual Bill ⓘ	\$0.00 Paid \$211.73	11/05/2020 Receipt #20-0004625	Print (PDF)
2019 Annual Bill ⓘ	\$0.00 Paid \$220.42	11/21/2019 Receipt #19-0029022	Print (PDF)
2018 Annual Bill ⓘ	\$0.00 Paid \$217.19	11/30/2018 Receipt #18-0048480	Print (PDF)
2017 Annual Bill ⓘ	\$0.00 Paid \$130.48	12/20/2017 Receipt #17-0066394	Print (PDF)
2016 Annual Bill ⓘ	\$0.00 Paid \$144.47	01/26/2017 Receipt #16-0090342	Print (PDF)
2015 Annual Bill ⓘ	\$0.00 Paid \$142.44	11/23/2015 Receipt #15-0027404	Print (PDF)
2014 Annual Bill ⓘ	\$0.00 Paid \$159.13	12/15/2014 Receipt #14-0051036	Print (PDF)
2013 Annual Bill ⓘ	\$0.00 Paid \$156.55	11/22/2013 Receipt #13-0025498	Print (PDF)
2012 Annual Bill ⓘ	\$0.00 Paid \$153.64	12/05/2012 Receipt #12-0048351	Print (PDF)
2011 Annual Bill ⓘ	\$0.00 Paid \$155.72	11/10/2011 Receipt #2011-3004368	Print (PDF)
2010 Annual Bill ⓘ	\$0.00 Paid \$154.88	11/17/2010 Receipt #2010-3008108	Print (PDF)
2009 Annual Bill ⓘ	\$0.00 Paid \$139.59	11/18/2009 Receipt #2009-1008483	Print (PDF)
2008 Annual Bill ⓘ	\$0.00 Paid \$128.67	11/06/2008 Receipt #2008-9000842	Print (PDF)
2007 Annual Bill ⓘ	\$0.00 Paid \$117.42	11/30/2007 Receipt #2007-9031221	Print (PDF)
2006 Annual Bill ⓘ	\$0.00 Paid \$129.18	11/13/2006 Receipt #2006-9074746	Print (PDF)
2005 Annual Bill ⓘ	\$0.00 Paid \$89.15	11/29/2005 Receipt #2005-9050203	Print (PDF)
2004 Annual Bill ⓘ	\$0.00 Paid \$90.10	11/05/2004 Receipt #2004-4001350	Print (PDF)
2003 Annual Bill ⓘ	\$0.00 Paid \$73.44	11/07/2003 Receipt #2003-3002337	Print (PDF)
2002 Annual Bill ⓘ	\$0.00 Paid \$74.59	11/27/2002 Receipt #2002-0238650	Print (PDF)
Total Amount Due	\$0.00		



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Real Estate Account #06326 001 002

Owner:
INDUSTRIAL CONST & MANAGEMENT

Situs:
UNASSIGNED LOCATION RE

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[Property Appraiser](#)



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Amount Due

Your account is **paid in full**. There is nothing due at this time.

Your last payment was made on **11/01/2021** for **\$237.44**. [Print paid bill \(PDF\)](#)

Account History

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2019 Annual Bill ⓘ	\$0.00 Paid \$237.73	11/21/2019 Receipt #19-0029022	Print (PDF)
2018 Annual Bill ⓘ	\$0.00 Paid \$235.44	11/30/2018 Receipt #18-0048480	Print (PDF)
2017 Annual Bill ⓘ	\$0.00 Paid \$242.38	12/20/2017 Receipt #17-0066394	Print (PDF)
2016 Annual Bill ⓘ	\$0.00 Paid \$178.90	01/26/2017 Receipt #16-0090342	Print (PDF)
2015 Annual Bill ⓘ	\$0.00 Paid \$176.37	11/23/2015 Receipt #15-0027404	Print (PDF)
2014 Annual Bill ⓘ	\$0.00 Paid \$177.30	12/15/2014 Receipt #14-0051036	Print (PDF)
2013 Annual Bill ⓘ	\$0.00 Paid \$174.40	11/22/2013 Receipt #13-0025498	Print (PDF)
2012 Annual Bill ⓘ	\$0.00 Paid \$171.18	12/05/2012 Receipt #12-0048351	Print (PDF)
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2010 Annual Bill ⓘ	\$0.00 Paid \$172.57	11/17/2010 Receipt #2010-3008108	Print (PDF)
2009 Annual Bill ⓘ	\$0.00 Paid \$170.12	11/18/2009 Receipt #2009-1008483	Print (PDF)
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2002 Annual Bill ⓘ	\$0.00 Paid \$235.79	11/27/2002 Receipt #2002-0238650	Print (PDF)
Total Amount Due	\$0.00		



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Real Estate Account #06329 000 000

Owner:
INDUSTRIAL CONST & MANAGEMENT

Situs:
8024 W NEWBERRY RD

[Parcel details](#)
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Amount Due

Your account is **paid in full**. There is nothing due at this time.

Your last payment was made on **11/01/2021** for **\$915.87**. [Print paid bill \(PDF\)](#)

Account History

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2020 Annual Bill ⓘ	\$0.00 Paid \$449.98	11/05/2020 Receipt #20-0004625	Print (PDF)
2019 Annual Bill ⓘ	\$0.00 Paid \$468.45	11/21/2019 Receipt #19-0029022	Print (PDF)
2018 Annual Bill ⓘ	\$0.00 Paid \$462.30	11/30/2018 Receipt #18-0048480	Print (PDF)
2017 Annual Bill ⓘ	\$0.00 Paid \$300.32	12/20/2017 Receipt #17-0066394	Print (PDF)
2016 Annual Bill ⓘ	\$0.00 Paid \$332.56	01/26/2017 Receipt #16-0090342	Print (PDF)
2015 Annual Bill ⓘ	\$0.00 Paid \$327.89	11/23/2015 Receipt #15-0027404	Print (PDF)
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2010 Annual Bill ⓘ	\$0.00 Paid \$356.20	11/17/2010 Receipt #2010-3008108	Print (PDF)
2009 Annual Bill ⓘ	\$0.00 Paid \$327.15	11/18/2009 Receipt #2009-1008483	Print (PDF)
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2002 Annual Bill ⓘ	\$0.00 Paid \$182.85	11/27/2002 Receipt #2002-0238650	Print (PDF)
Total Amount Due	\$0.00		



POSTED NOTICE AFFIDAVIT

Industrial Consultants and Management Company Z22-000006
 Owner Application No.

Bachelor Buttons Holdings LLC

Additional Owners

CHW

Appointed Agent(s)

06326-001-002; 06329-000-000; 06331-000-000 32 09 19

Parcel Number(s) Section Township Range

Large-scale Comprehensive Plan Text Amendment

Type of Request

I (we), the property owner(s) of the subject property, being duly sworn, depose and say the following:

1. That I am the owner or authorized agent representing the application of the owner and the record title holder(s) of the property described by the tax parcel and the Section/Township/Range listed above;
2. That this property constitutes the property for which the above noted land use or zoning request is being made to the Alachua County Board of County Commissioners;
3. That this affidavit has been executed to serve as posting of the "Notice of Land Use or Zoning Action Sign(s) which describes the nature of the request, the zoning district of the property and the telephone number where additional information can be obtained. In addition, the applicant has securely posted the sign(s) on the property along each street frontage, at intervals of not more than four hundred (400) feet, and set back no more than five (5) feet from the street and visible from the street. If the property does not abut a public right-of-way, signs have been placed at the nearest public right-of-way with an indication of the location of the subject property.
4. It is also agreed that the applicant shall maintain the signs(s) as provided above until the conclusion of the land use or zoning process and that the signs shall be removed within ten (10) days after the final action has been taken on the application.



Alachua County
Department of Growth Management
 10 SW 2nd Ave., Gainesville, FL 32601
 Tel. 352.374.5249, Fax. 352.338.3224
<http://growth-management.alachuacounty.us>

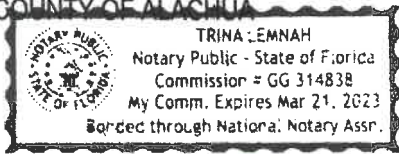
Submit Application to:
Development Services Division

5. That I (we), the undersigned authority, hereby certify that the foregoing statements are true and correct.


 Owner/Agent (signature)

Braxton Linton, III (CHW)
 Owner/Agent (Print Name)

STATE OF FLORIDA
 COUNTY OF ALACHUA




SWORN AND SUBSCRIBED BEFORE ME

THIS 1st DAY OF September, 2022

BY Braxton Linton

WHO IS/ARE PERSONALLY KNOWN TO ME OR HAS/HAVE PRODUCED AS IDENTIFICATION

 (TYPE OF IDENTIFICATION)

(SEAL ABOVE)

Trina Lemnah

Notary Public, Commission No. GG 314838

(Name of Notary typed, printed, or stamped)



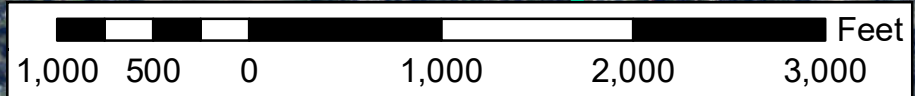
Alachua County Tax Parcel # 06326-1-2, 06329, and 06331

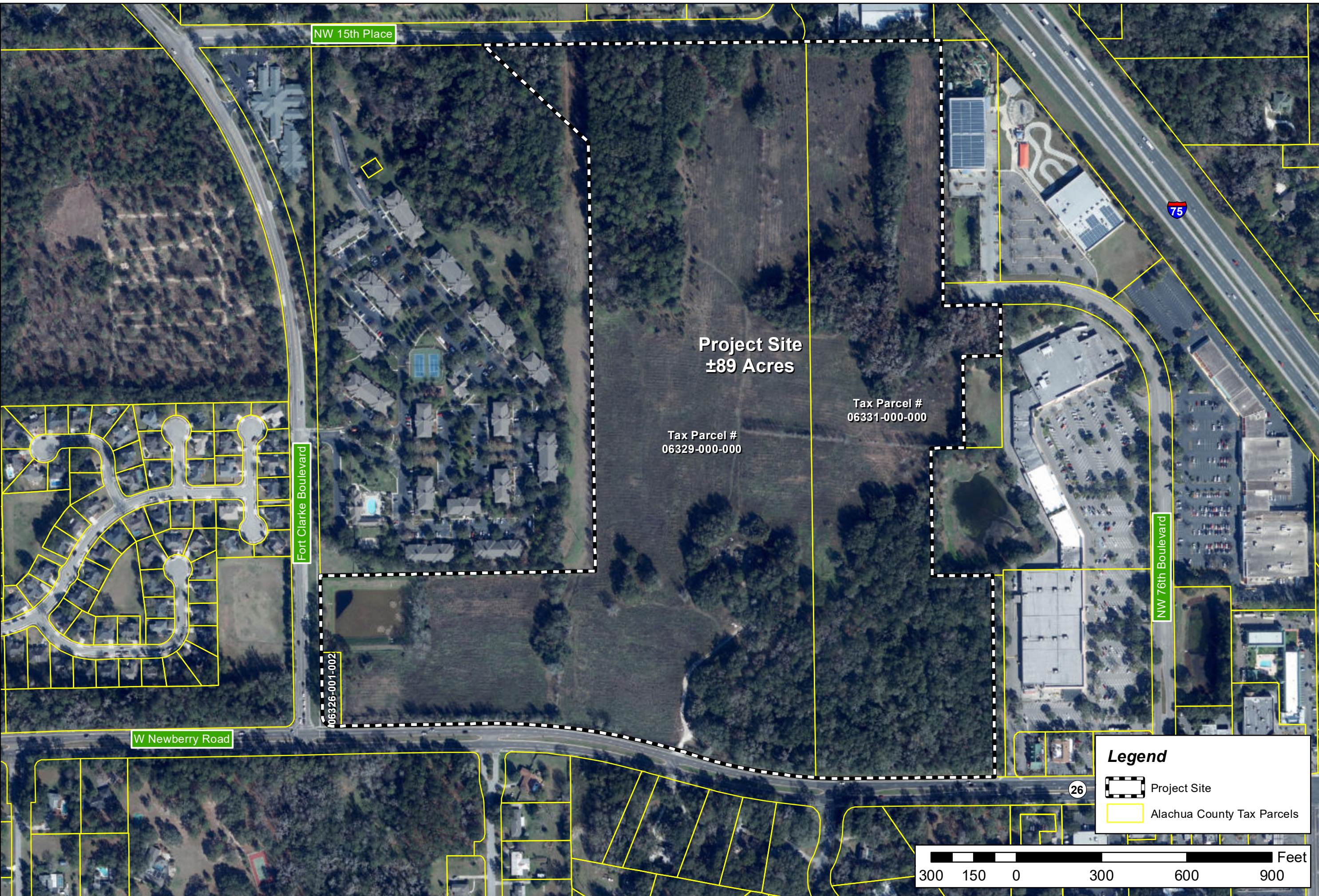


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 False Northing: 1000000.000000
 GCS: North_America_1983
 Date: 3/27/2020
 Prepared by: Employee 534

Legend

- Project Site
- City of Gainesville





Project Site
±89 Acres

Tax Parcel #
06329-000-000

Tax Parcel #
06331-000-000

NW 15th Place



Fort Clarke Boulevard

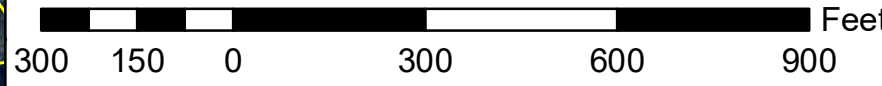
W Newberry Road

06326-001-002

NW 76th Boulevard

Legend

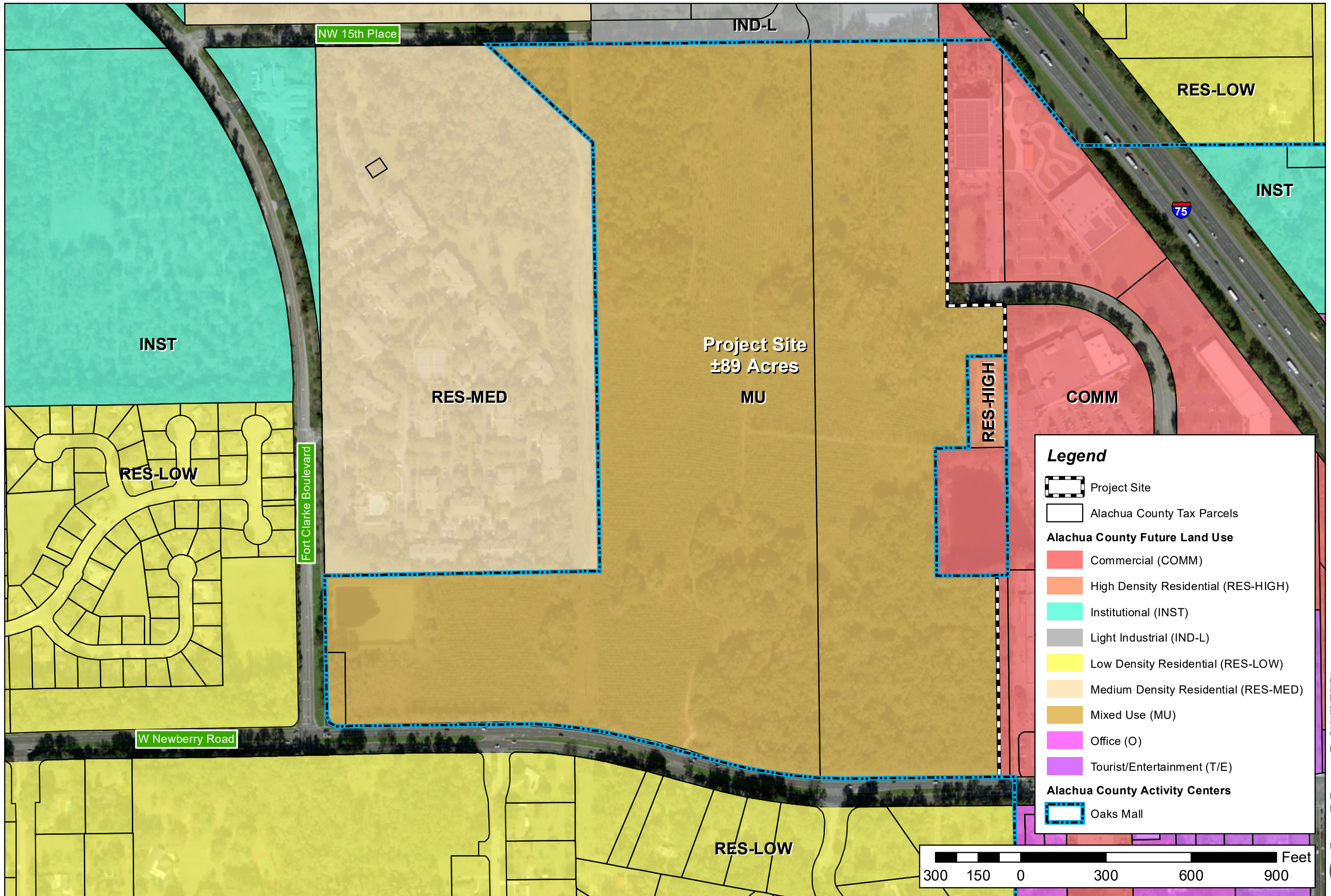
-  Project Site
-  Alachua County Tax Parcels



Alachua County Tax Parcel # 06326-1-2, 06329, and 06331



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GCS: North_America_1983
Date: 3/27/2020



NW 15th Place

IND-L

RES-LOW

INST

75

INST

Project Site
±89 Acres

RES-MED

MU

RES-HIGH

COMM

RES-LOW

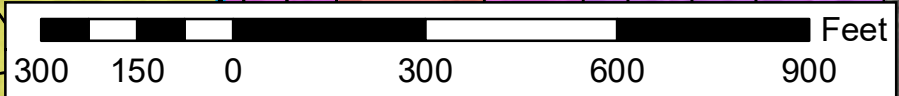
Fort Clarke Boulevard

Legend

- Project Site
- Alachua County Tax Parcels
- Alachua County Future Land Use**
- Commercial (COMM)
- High Density Residential (RES-HIGH)
- Institutional (INST)
- Light Industrial (IND-L)
- Low Density Residential (RES-LOW)
- Medium Density Residential (RES-MED)
- Mixed Use (MU)
- Office (O)
- Tourist/Entertainment (T/E)
- Alachua County Activity Centers**
- Oaks Mall

W Newberry Road

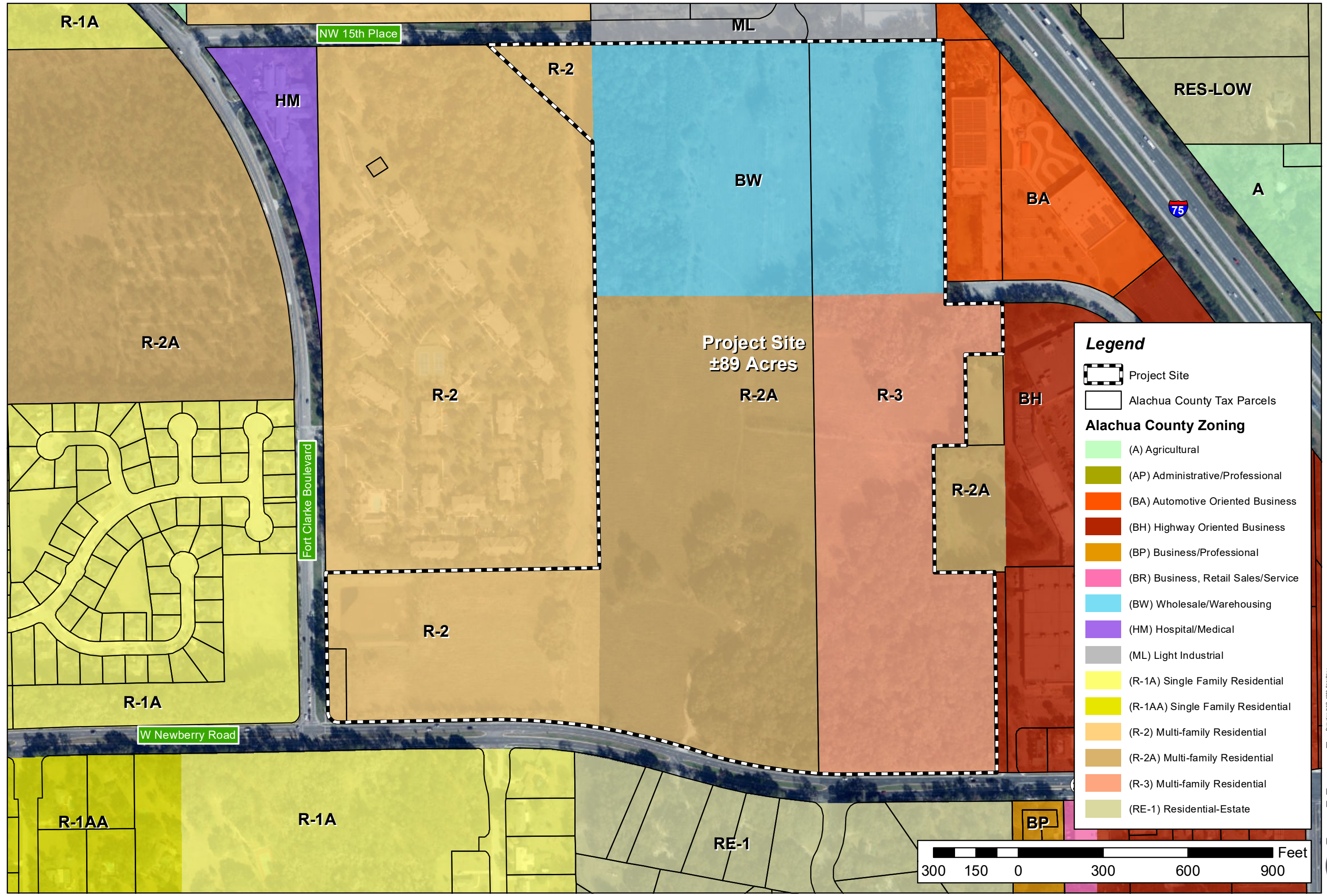
RES-LOW



Alachua County Tax Parcel # 06326-1-2, 06329, and 06331



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 Standard Parallel 2: 29.56833333
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 GCS: North_American_1983
 Prepared by: Employee 534
 Date: 1/26/2022



Legend

- Project Site
- Alachua County Tax Parcels

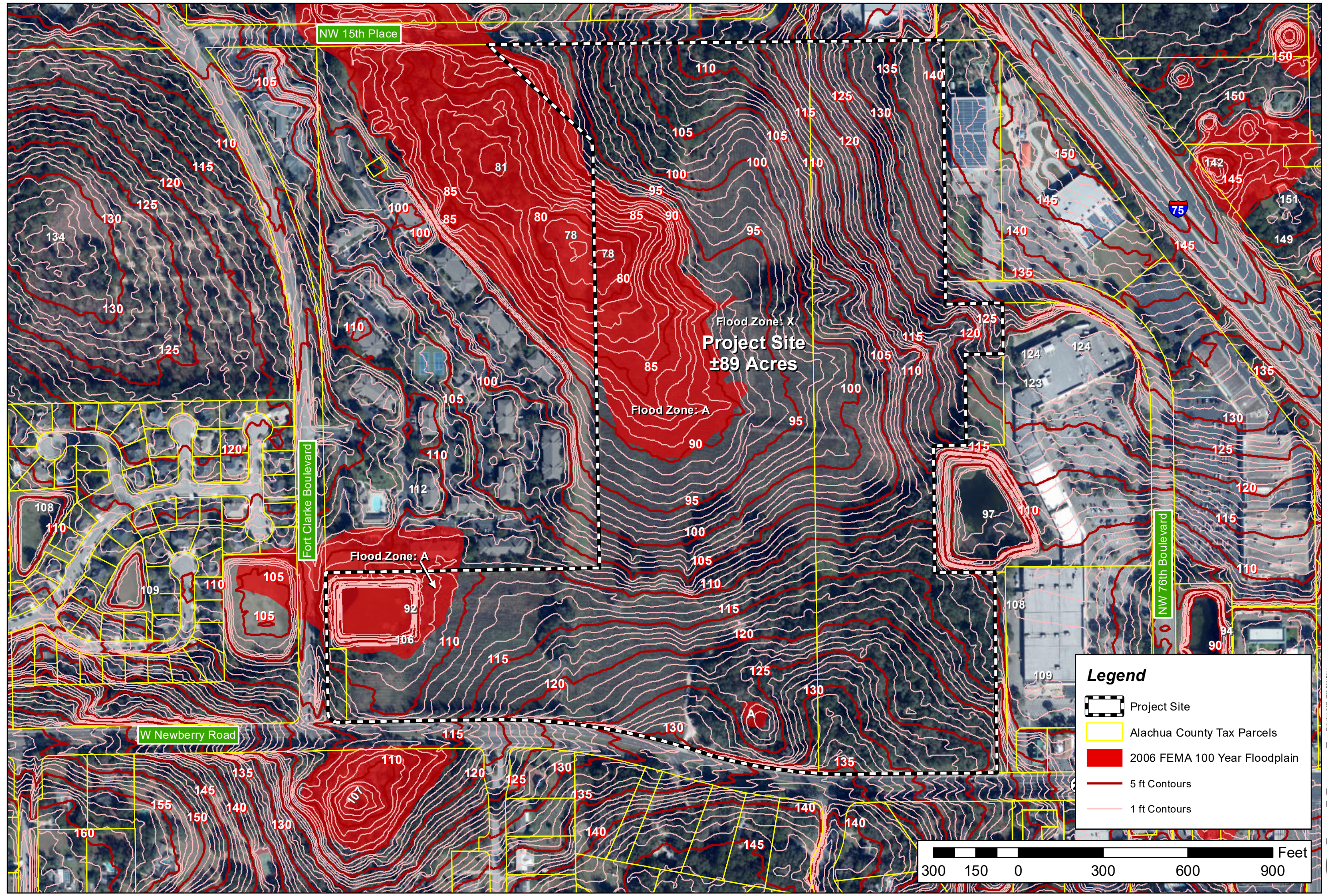
Alachua County Zoning

- (A) Agricultural
- (AP) Administrative/Professional
- (BA) Automotive Oriented Business
- (BH) Highway Oriented Business
- (BP) Business/Professional
- (BR) Business, Retail Sales/Service
- (BW) Wholesale/Warehousing
- (HM) Hospital/Medical
- (ML) Light Industrial
- (R-1A) Single Family Residential
- (R-1AA) Single Family Residential
- (R-2) Multi-family Residential
- (R-2A) Multi-family Residential
- (R-3) Multi-family Residential
- (RE-1) Residential-Estate



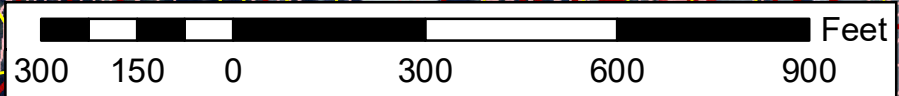
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 Central Meridian: -84.50000000
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 Latitude of Origin: 29.50000000
 GCS: North_American_1983
 Prepared by: Employee 534
 Date: 3/27/2020





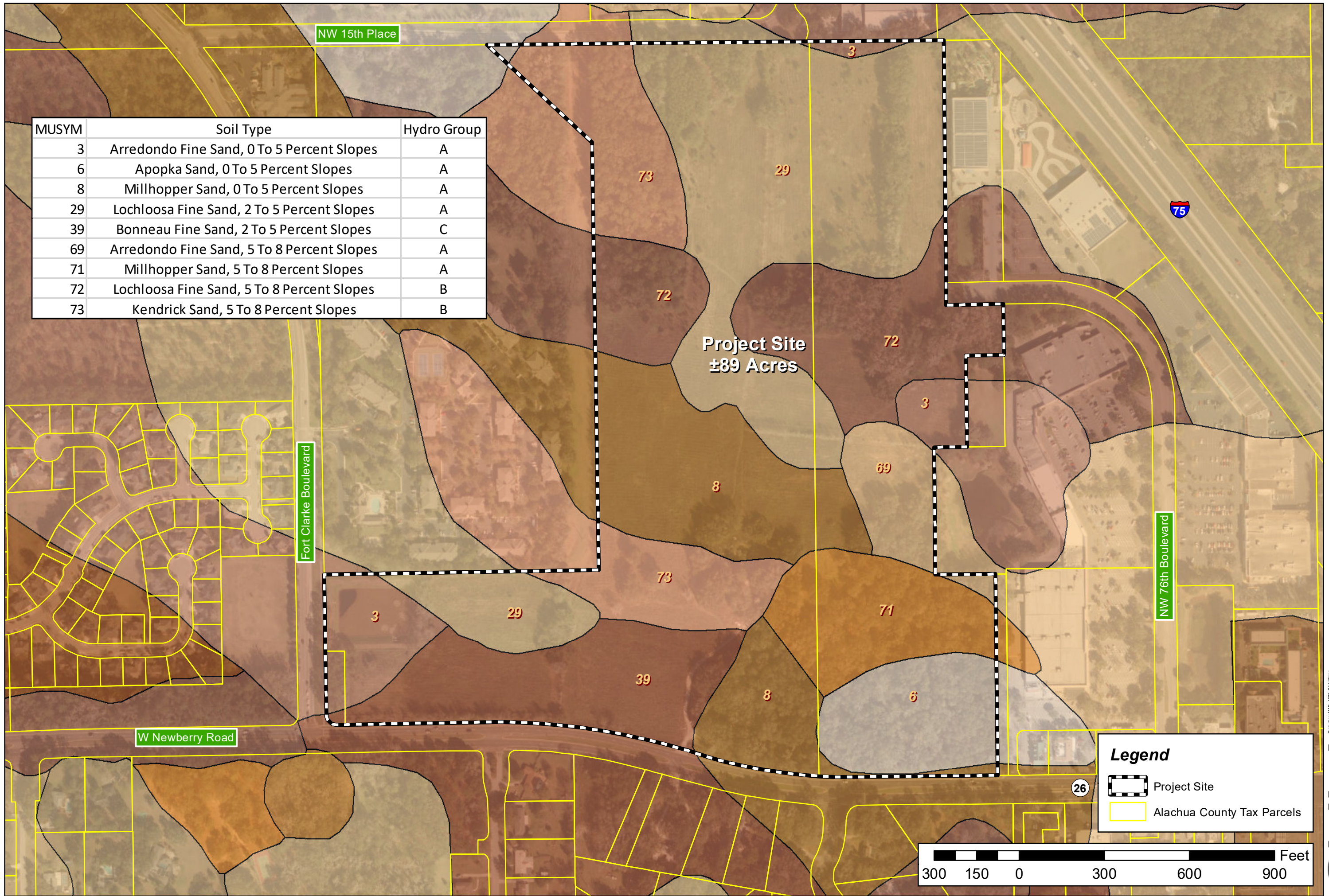
Legend

- Project Site
- Alachua County Tax Parcels
- 2006 FEMA 100 Year Floodplain
- 5 ft Contours
- 1 ft Contours



Projection: NAD_1983_StatePlane_Florida_North_Arctic
 Project UTM Zone: 18Q
 File Name: 1988000_0000_00
 Control Method: 44_500000
 Standard Parallel 1: 29.833333
 Standard Parallel 2: 29.833333
 Latitude of Origin: 29.000000
 GCS: NAD_1983_Americas_1983
 Prepared by: Employee 534
 Date: 3/27/2020
 Document Path: N:\2020\20-0098\Admin & Information\07_Maps\GIS\MXD\4.mxd

MUSYM	Soil Type	Hydro Group
3	Arredondo Fine Sand, 0 To 5 Percent Slopes	A
6	Apopka Sand, 0 To 5 Percent Slopes	A
8	Millhopper Sand, 0 To 5 Percent Slopes	A
29	Lochloosa Fine Sand, 2 To 5 Percent Slopes	A
39	Bonneau Fine Sand, 2 To 5 Percent Slopes	C
69	Arredondo Fine Sand, 5 To 8 Percent Slopes	A
71	Millhopper Sand, 5 To 8 Percent Slopes	A
72	Lochloosa Fine Sand, 5 To 8 Percent Slopes	B
73	Kendrick Sand, 5 To 8 Percent Slopes	B



Alachua County Tax Parcel # 06326-1-2, 06329, and 06331



Projection: NAD_1983_StatePlane_Florida_North_Central_GCS
 False Easting: 1985000.00000000
 Central Meridian: -84.50000000
 Standard Parallel 1: 29.83333333
 Standard Parallel 2: 26.00000000
 GCS: North_America_1983
 Prepared by: Employee 534
 Date: 3/27/2020