



Alachua County
Department of Growth Management
 10 SW 2nd Ave., Gainesville, FL 32601
 Tel. 352.374.5249, Fax. 352.338.3224
<http://growth-management.alachuacounty.us>

Submit Application to:
Development Services Division

ZONING APPLICATION

For Rezoning (except Planned Developments) and Special Use Permits and Special Exceptions (including Minor SUP's and SE's).

GENERAL INFORMATION (BY APPLICANT/ AGENT)

Applicant/Agent: eda consultants, inc. Contact Person: Clay Sweger, AICP, LEED AP
 Address: 720 SW 2nd Ave, South Tower, Suite 300, G.ville, FL 32601 Phone: (352) 373 - 3541
 Email address: csweger@edafl.com

SUBJECT PROPERTY DESCRIPTION

Property Owner: Alachua County Property Address: 12264 S. US Highway 441
 City: Micanopy State: FL Zip: 32667 Phone: () -
 Tax Parcel #: 16392 - 000 - 000 Section: 08 Township: 00 Range: 0 Grant: N/A
 Total Acreage: 5.0 +/- Zoning: Agricultural Land Use: Rural/Agriculture

TYPE OF REQUEST

- Rezoning From: _____ To: _____
- Special Use Permit For: Government Building (Fire/Rescue Station)
- Minor Special Use Permit For: _____
- Special Exception For: _____
- Minor Special Exception For: _____

CERTIFICATION

I, the undersigned applicant, hereby certify that the information contained in this application is true and correct to the best of my knowledge and belief. I hereby grant the appropriate County personnel permission to enter the subject property during reasonable hours so that they may investigate and review this zoning request.

Signature of Applicant/Agent:  Date: 9-25-23

Applications shall be submitted no later than 4:00 PM on the submittal deadline date



REQUIRED ATTACHMENTS

The following items must accompany your application at the time of submittal. No applications will be accepted without these attachments. Please submit the application fee, check made payable to Alachua County Board of County Commissioners, one paper copy and one digital copy of the following:

- Proof of neighborhood workshop, where applicable.
- Legal description.
- Property Owner's Affidavit, notarized.
- Proof of payment of taxes on all parcels.
- Detailed directions to the site.
- Detailed description of request and an explanation of why the request is consistent with the County's Comprehensive Plan and Unified Land Development Code.
- An analysis of the impact of the proposed development on public facilities and services.
- Survey or scaled drawing of property showing boundaries of property and adjacent properties, roads, easements, and all structures on site.
- Proposed site plans, no larger than 11" by 17", for all Special Use Permits, Special Exceptions, and Rezonings to RM or RM-1. Site plans should display the following:
 - Property boundaries and dimensions.
 - Existing and proposed buildings, additions, or structures, with distances from the property boundaries shown.
 - Streets, sidewalks, drives, parking and loading areas, and similar features.
 - Proposed landscape plan, if applicable.
- Environmental Resources Checklist, conducted by a qualified professional (certain requests may require a more extensive natural resources assessment).
- Additional requirements (listed separately) for Special Use Permits for Mining Operations, Excavation and Fill Operations, and for Personal Wireless Services Facilities.
- Other _____
N/A Planning staff reserves the right to require additional information for all applications where such submission is necessary to insure compliance with applicable criteria in the individual case.
- A digital copy of each of the above, in either Microsoft Word or Adobe PDF format.



Alachua County, Board of County Commissioners
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Submit Application to:
 Development Services Division

PROPERTY OWNERS' AFFIDAVIT

Alachua County

Owner

Application No. _____

Additional Owners _____

eda consultants, inc.

Appointed Agent(s) _____

Portion of 16392-000-000

Parcel Number(s)

08

Section

00

Township

0

Range

Special Use Permit and Site Plan to Allow a Fire Station

Type of Request _____

I (we), the property owner(s) of the subject property, being duly sworn, depose and say the following:

1. That I am (we are) the owner(s) and record title holder(s) of the property described in the attached legal description;
2. That this property constitutes the property for which the above noted land use request is being made to the Alachua County Board of County Commissioners;
3. That I (we), the undersigned, have appointed, and do appoint, the above noted person(s) as my (our) agent(s) to execute any agreement(s), and other documents necessary to effectuate such agreement(s) in the process of pursuing the aforementioned land use request;
4. That this affidavit has been executed to induce the Alachua County Board of County Commissioners to consider and act on the subject request;
5. That I (we), the undersigned authority, hereby certify that the foregoing statements are true and correct.

[Handwritten Signature]
 Owner (signature)

Owner (signature)

Owner (signature)

STATE OF FLORIDA
 COUNTY OF ALACHUA



ERICA MILEKA GLANVILLE
 Commission # HH 041078
 Expires September 26, 2024
 Bonded Thru Budget Notary Services

SWORN AND SUBSCRIBED BEFORE ME

THIS 21st DAY OF September, 2023

BY Daniel Whitcraft

WHO IS/ARE PERSONALLY KNOWN TO ME OR HAS/HAVE PRODUCED AS IDENTIFICATION

N/A

(TYPE OF IDENTIFICATION)

(SEAL ABOVE)

[Handwritten Signature]
Erica Mileka Glanville

Notary Public, Commission No. HH 041078

(Name of Notary typed, printed, or stamped)

[Sign Up for Property Watch](#)

Parcel Summary

Parcel ID 16392-000-000
Prop ID 94502
Location Address 210 SE 134TH AVE
MICANOPY, FL 32667
Neighborhood/Area 218708.99
Subdivision LEITNER TRACT E. LEVY GRANT
Legal Description LEITNER S/D DB J-645 LOTS 21 & 40 SW OF HWY 441 LESS
TRIANGLE IN NE COR PER OR 77/223 LESS PARCELS 1-7
INCL 13-14-15 UNREC'D SURVEY ALSO TRIANGLE IN SE
COR LOT 22 ALL LOT 39 PT LOT 38 SW OF HWY LESS TRACT
IN OR 899/657 PT LOT 37 SW OF HWY & W OF OLD RAILR
(Note: *The Description above is not to be used on legal
documents.)
Property Use Code CLB/LDG/UN HALL (07700)
Sec/Twp/Rng 00-11-20
Tax Area ST. JOHN'S (0200)
Acres 224.69
Homesteaded False

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No Image Available

[View Map](#)

Millage Rate Value

Millage Rate: 19.5471

Owner Information

[ALACHUA COUNTY](#)
12 SE 1ST ST
GAINESVILLE, FL 32601

Valuation

	2023 Proposed Values	2022 Certified Values	2021 Certified Values	2020 Certified Values	2019 Certified Values
Improvement Value	\$1,113,593	\$1,019,148	\$883,388	\$896,720	\$910,054
Land Value	\$449,380	\$449,380	\$449,380	\$449,380	\$449,380
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$1,562,973	\$1,468,528	\$1,332,768	\$1,346,100	\$1,359,434
Assessed Value	\$1,321,031	\$1,358,773	\$1,332,768	\$1,346,100	\$1,359,434
Exempt Value	\$1,321,031	\$1,358,773	\$1,332,768	\$1,346,100	\$1,359,434
Taxable Value	\$0	\$0	\$0	\$0	\$0
Maximum Save Our Homes Portability	\$241,942	\$109,755	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

Land Information

Land Use	Land Use Desc	Acres	Square Feet	Eff. Frontage	Depth	Zoning
7700	CLUB/LODGE/UNION HALL	224.69	9787496.4	0	0	

Building Information

Type	CLUBHOUSE	Heat	ELECTRIC
Total Area	6,946	HC&V	FORCED AIR
Heated Area	4,053	HVAC	CENTRAL
Exterior Walls	CEDAR/REDWOOD	Bathrooms	
Interior Walls	PANEL	Bedrooms	
Roofing	ASPHALT	Total Rooms	5-Rooms
Roof Type	GABLE/HIP	Stories	1.0
Frame	NONE	Actual Year Built	1900
Floor Cover	FIN CONCRETE	Effective Year Built	2000

Type	SINGLE FAMILY	Heat	GAS
Total Area	1,602	HC&V	CONVECTION
Heated Area	1,162	HVAC	NONE
Exterior Walls	CONCRETE BLOCK	Bathrooms	1.0-Baths
Interior Walls	MINIMUM/MASON	Bedrooms	3 BEDROOMS
Roofing	ASPHALT	Total Rooms	
Roof Type	GABLE/HIP	Stories	1.0
Frame		Actual Year Built	1968
Floor Cover	ASPHALT TILE; FIN CONCRETE	Effective Year Built	1978

Type	APARTMENT	Heat	ELECTRIC
Total Area	5,489	HC&V	FORCED AIR
Heated Area	4,392	HVAC	CENTRAL
Exterior Walls	CONCRETE BLOCK	Bathrooms	
Interior Walls	MINIMUM/MASON	Bedrooms	
Roofing	TAR & GRAVEL	Total Rooms	10-Rooms
Roof Type	WOOD TRUSS	Stories	1.0
Frame	MASONRY	Actual Year Built	1964
Floor Cover	FIN CONCRETE	Effective Year Built	1974

Type	SINGLE FAMILY	Heat	NONE
Total Area	1,280	HC&V	NONE
Heated Area	1,280	HVAC	NONE
Exterior Walls	SINGLE SIDING	Bathrooms	
Interior Walls	WALL BOARD/WD	Bedrooms	
Roofing	ROLLED COMP	Total Rooms	
Roof Type	GABLE/HIP	Stories	1.0
Frame		Actual Year Built	1900
Floor Cover	PINE/SOFT WOOD	Effective Year Built	1980

Type	CLUBHOUSE	Heat	NONE
Total Area	720	HC&V	NONE
Heated Area	240	HVAC	NONE
Exterior Walls	AVERAGE; NONE	Bathrooms	
Interior Walls	NONE	Bedrooms	
Roofing	ASPHALT	Total Rooms	0-Rooms
Roof Type	GABLE/HIP	Stories	1.0
Frame	WOOD FRAME	Actual Year Built	1980
Floor Cover	FIN CONCRETE	Effective Year Built	1980

Type	SINGLE FAMILY	Heat	NONE
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Total Area	1,120	HC&V	NONE
Heated Area	336	HVAC	NONE
Exterior Walls	AVERAGE	Bathrooms	2.0-Baths
Interior Walls	DRYWALL	Bedrooms	
Roofing	ASPHALT	Total Rooms	
Roof Type	GABLE/HIP	Stories	1.0
Frame		Actual Year Built	1987
Floor Cover	FIN CONCRETE	Effective Year Built	1987

Type	SINGLE FAMILY	Heat	ELECTRIC
Total Area	1,820	HC&V	FORCED AIR
Heated Area	1,462	HVAC	CENTRAL
Exterior Walls	HARDIBOARD	Bathrooms	2.0-Baths
Interior Walls	DRYWALL	Bedrooms	3 BEDROOMS
Roofing	ASPHALT	Total Rooms	
Roof Type	GABLE/HIP	Stories	1.0
Frame		Actual Year Built	1995
Floor Cover	CARPET; SHEET VINYL	Effective Year Built	1995

Type	SINGLE FAMILY	Heat	GAS
Total Area	1,180	HC&V	FORCED - NO DT
Heated Area	1,100	HVAC	CENTRAL
Exterior Walls	CEDAR/REDWOOD	Bathrooms	1.0-Baths
Interior Walls	MINIMUM/MASON	Bedrooms	
Roofing	ASPHALT	Total Rooms	
Roof Type	GABLE/HIP	Stories	1.0
Frame		Actual Year Built	1934
Floor Cover	PINE/SOFT WOOD	Effective Year Built	1968

Type	APARTMENT	Heat	ELECTRIC
Total Area	1,517	HC&V	FORCED AIR
Heated Area	1,161	HVAC	CENTRAL
Exterior Walls	CONCRETE BLOCK	Bathrooms	3.0-Baths
Interior Walls	DRYWALL	Bedrooms	2 BEDROOMS
Roofing	ASPHALT	Total Rooms	0-Rooms
Roof Type	GABLE/HIP	Stories	1.0
Frame	MASONRY	Actual Year Built	2002
Floor Cover	CORK TILE	Effective Year Built	2002

Type	APARTMENT	Heat	ELECTRIC
Total Area	1,517	HC&V	FORCED AIR
Heated Area	1,161	HVAC	CENTRAL
Exterior Walls	CONCRETE BLOCK	Bathrooms	3.0-Baths
Interior Walls	DRYWALL	Bedrooms	2 BEDROOMS
Roofing	ASPHALT	Total Rooms	0-Rooms
Roof Type	GABLE/HIP	Stories	1.0
Frame	MASONRY	Actual Year Built	2002
Floor Cover	CORK TILE	Effective Year Built	2002

Type	APARTMENT	Heat	ELECTRIC
Total Area	1,517	HC&V	FORCED AIR
Heated Area	1,161	HVAC	CENTRAL
Exterior Walls	CONCRETE BLOCK	Bathrooms	3.0-Baths
Interior Walls	DRYWALL	Bedrooms	
Roofing	ASPHALT	Total Rooms	0-Rooms
Roof Type	GABLE/HIP	Stories	1.0
Frame	MASONRY	Actual Year Built	2003
Floor Cover	CORK TILE	Effective Year Built	2003

Type	APARTMENT	Heat	ELECTRIC
Total Area	1,517	HC&V	FORCED AIR
Heated Area	1,161	HVAC	CENTRAL
Exterior Walls	CONCRETE BLOCK	Bathrooms	3.0-Baths
Interior Walls	DRYWALL	Bedrooms	
Roofing	ASPHALT	Total Rooms	0-Rooms
Roof Type	GABLE/HIP	Stories	1.0
Frame	MASONRY	Actual Year Built	2003
Floor Cover	CORK TILE	Effective Year Built	2003

Type	APARTMENT	Heat	ELECTRIC
Total Area	864	HC&V	FORCED AIR
Heated Area	627	HVAC	CENTRAL
Exterior Walls	CONCRETE BLOCK	Bathrooms	1.0-Baths

Interior Walls DRYWALL
 Roofing ASPHALT
 Roof Type GABLE/HIP
 Frame MASONRY
 Floor Cover CORK TILE

Bedrooms
 Total Rooms 0-Rooms
 Stories 1.0
 Actual Year Built 2003
 Effective Year Built 2003

Type APARTMENT
 Total Area 1,517
 Heated Area 1,161
 Exterior Walls CONCRETE BLOCK
 Interior Walls DRYWALL
 Roofing ASPHALT
 Roof Type GABLE/HIP
 Frame MASONRY
 Floor Cover CORK TILE

Heat ELECTRIC
 HC&V FORCED AIR
 HVAC CENTRAL
 Bathrooms 2.0-Baths
 Bedrooms
 Total Rooms 0-Rooms
 Stories 1.0
 Actual Year Built 2004
 Effective Year Built 2004

Type SOH MISC
 Total Area 56,154
 Heated Area
 Exterior Walls
 Interior Walls
 Roofing
 Roof Type
 Frame
 Floor Cover

Heat
 HC&V
 HVAC
 Bathrooms
 Bedrooms
 Total Rooms
 Stories 1.0
 Actual Year Built 0
 Effective Year Built 2000

Type MH POST 1977
 Total Area
 Heated Area 1,352
 Exterior Walls ALUMINUM SIDNG
 Interior Walls DRYWALL
 Roofing MINIMUM
 Roof Type GABLE/HIP
 Frame
 Floor Cover CARPET; CLAY TILE

Heat ELECTRIC
 HC&V FORCED AIR
 HVAC CENTRAL
 Bathrooms 2.0-Baths
 Bedrooms 3 BEDROOMS
 Total Rooms
 Stories 1.0
 Actual Year Built 2022
 Effective Year Built 2022

Type SFR - MFG
 Total Area
 Heated Area 1,400
 Exterior Walls ALUMINUM SIDNG
 Interior Walls DRYWALL
 Roofing MINIMUM
 Roof Type GABLE/HIP
 Frame
 Floor Cover CARPET

Heat ELECTRIC
 HC&V FORCED AIR
 HVAC CENTRAL
 Bathrooms
 Bedrooms
 Total Rooms
 Stories 1.0
 Actual Year Built 2022
 Effective Year Built 2022

Sub Area

Type	Description	Sq. Footage	Quality	Imprv Use	Imprv Use Descr
BAS	BASE AREA	4,053	3	6900	CLUBHOUSE
CAN	CANOPY (NO SIDES)	836	3	6900	CLUBHOUSE
FOP	FINISHED OPEN PORCH	714	3	6900	CLUBHOUSE
UBM	UNFINISHED BASEMENT	1,343	3	6900	CLUBHOUSE

Type	Description	Sq. Footage	Quality	Imprv Use	Imprv Use Descr
BAS	BASE AREA	1,162	3	0100	SINGLE FAMILY
FOP	FINISHED OPEN PORCH	60	3	0100	SINGLE FAMILY
FSP	FIN SCREENED PORCH	310	3	0100	SINGLE FAMILY
USP	UNFIN SCREENED PORCH	70	3	0100	SINGLE FAMILY

Type	Description	Sq. Footage	Quality	Imprv Use	Imprv Use Descr
BAS	BASE AREA	4,392	3	2600	APARTMENT
UST	UNFINISHED STORAGE	1,097	3	2600	APARTMENT

Type	Description	Sq. Footage	Quality	Imprv Use	Imprv Use Descr
BAS	BASE AREA	640	2	0100	SINGLE FAMILY
BAS	BASE AREA	640	2	0100	SINGLE FAMILY

Type	Description	Sq. Footage	Quality	Imprv Use	Imprv Use Descr
BAS	BASE AREA	240	3	6900	CLUBHOUSE

Type	Description	Sq. Footage	Quality	Imprv Use	Imprv Use Descr
CAN	CANOPY (NO SIDES)	480	3	6900	CLUBHOUSE

Type	Description	Sq. Footage	Quality	Imprv Use	Imprv Use Descr
BAS	BASE AREA	336	3	0100	SINGLE FAMILY
FOP	FINISHED OPEN PORCH	784	3	0100	SINGLE FAMILY

Type	Description	Sq. Footage	Quality	Imprv Use	Imprv Use Descr
BAS	BASE AREA	1,462	3	0100	SINGLE FAMILY
FOP	FINISHED OPEN PORCH	176	3	0100	SINGLE FAMILY
FSP	FIN SCREENED PORCH	182	3	0100	SINGLE FAMILY

Type	Description	Sq. Footage	Quality	Imprv Use	Imprv Use Descr
BAS	BASE AREA	1,100	2	0100	SINGLE FAMILY
PTO	PATIO	80	2	0100	SINGLE FAMILY

Type	Description	Sq. Footage	Quality	Imprv Use	Imprv Use Descr
BAS	BASE AREA	1,161	3	2600	APARTMENT
FOP	FINISHED OPEN PORCH	30	3	2600	APARTMENT
FOP	FINISHED OPEN PORCH	30	3	2600	APARTMENT
FOP	FINISHED OPEN PORCH	296	3	2600	APARTMENT

Type	Description	Sq. Footage	Quality	Imprv Use	Imprv Use Descr
BAS	BASE AREA	1,161	3	2600	APARTMENT
FOP	FINISHED OPEN PORCH	30	3	2600	APARTMENT
FOP	FINISHED OPEN PORCH	30	3	2600	APARTMENT
FOP	FINISHED OPEN PORCH	296	3	2600	APARTMENT

Type	Description	Sq. Footage	Quality	Imprv Use	Imprv Use Descr
BAS	BASE AREA	1,161	3	2600	APARTMENT
FOP	FINISHED OPEN PORCH	30	3	2600	APARTMENT
FOP	FINISHED OPEN PORCH	30	3	2600	APARTMENT
FOP	FINISHED OPEN PORCH	296	3	2600	APARTMENT

Type	Description	Sq. Footage	Quality	Imprv Use	Imprv Use Descr
BAS	BASE AREA	1,161	3	2600	APARTMENT
FOP	FINISHED OPEN PORCH	30	3	2600	APARTMENT
FOP	FINISHED OPEN PORCH	30	3	2600	APARTMENT
FOP	FINISHED OPEN PORCH	296	3	2600	APARTMENT

Type	Description	Sq. Footage	Quality	Imprv Use	Imprv Use Descr
BAS	BASE AREA	627	3	2600	APARTMENT
FOP	FINISHED OPEN PORCH	192	3	2600	APARTMENT
FOP	FINISHED OPEN PORCH	45	3	2600	APARTMENT

Type	Description	Sq. Footage	Quality	Imprv Use	Imprv Use Descr
BAS	BASE AREA	1,161	3	2600	APARTMENT
FOP	FINISHED OPEN PORCH	30	3	2600	APARTMENT
FOP	FINISHED OPEN PORCH	30	3	2600	APARTMENT
FOP	FINISHED OPEN PORCH	296	3	2600	APARTMENT

Type	Description	Sq. Footage	Quality	Imprv Use	Imprv Use Descr
3221	BARN 1	1,536		C2	COMM
3300	BBQ	1		C5	COMM
3645	COURT T	3,600		C5	COMM
3721	DECK 1	276		C2	COMM
3721	DECK 1	100		C2	COMM
3740	DOCK 2	912		C2	COMM
3884	FENCE WD	1,152		C1	COMM
3885	FENCE WI	2,520		C1	COMM
3960	FP 3	1		C6	COMM

Type	Description	Sq. Footage	Quality	Imprv Use	Imprv Use Descr
3963	FP PF 2	1		C6	COMM
4200	GREENHOUSE	432		C2	COMM
4641	PATIO 1	16,000		C1	COMM
4660	PAVILION	192		C2	COMM
4680	PAVING 1	20,000		C1	COMM
4763	POOL 3	4,271		C5	COMM
5080	SLAB	1,800		C1	COMM
5181	STABLE 1	1,800		C2	COMM
5221	STG 1	192		C2	COMM
5221	STG 1	192		C2	COMM
5221	STG 1	768		C2	COMM
5222	STG 2	192		C2	COMM
5222	STG 2	216		C2	COMM

Type	Description	Sq. Footage	Quality	Imprv Use	Imprv Use Descr
BAS	BASE AREA	1,352	3	0800	MH POST 1977

Type	Description	Sq. Footage	Quality	Imprv Use	Imprv Use Descr
BAS	BASE AREA	1,400	2	0200	SFR - MFG

Sales

Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee	Link to Official Records
7/21/2017	\$1,027,000	WD	4533	0591	Unqualified (U)	Improved		ALACHUA COUNTY	Link (Clerk)
7/21/2017	\$100	QD	4533	0424	Unqualified (U)	Improved	* CSX TRANSPORTATION INC	* YMCA OF PALM BEACHES INC	Link (Clerk)

Official Public Records information is provided by the Alachua County Clerk's Office. Clicking on these links will direct you to their web site displaying the document details for this specific transaction.

Permits

Permit Number	Type	Primary	Active	Issue Date	Value
B23-000401	COMMERCIAL BUILDING	Yes	Yes	3/28/2023	\$0
D23-000005	DEMOLITION PERMIT	Yes	Yes	2/8/2023	\$0
D23-000006	DEMOLITION PERMIT	Yes	Yes	2/8/2023	\$0
D23-000007	DEMOLITION PERMIT	Yes	Yes	2/8/2023	\$0
B22-001867	MODULAR STRUCT.	Yes	No	10/26/2022	\$0
B22-001033	MANUFACTURED HOUSING	Yes	No	5/28/2022	\$100,000
B22-001127	MISCELLANEOUS	Yes	No	5/16/2022	\$114,000
B22-000022	REMODEL SFD	Yes	No	1/14/2022	\$800,000
B21-002380	REMODEL SFD	Yes	No	1/14/2022	\$1,000,000
B21-000638	REMODEL SFD	Yes	No	5/17/2021	\$16,500
M21-000591	MECHANICAL	Yes	No	5/12/2021	\$4,700
M21-000592	MECHANICAL	Yes	No	5/12/2021	\$4,700
M21-000595	MECHANICAL	Yes	No	5/12/2021	\$4,700
M21-000594	MECHANICAL	Yes	No	5/12/2021	\$4,700
M21-000593	MECHANICAL	Yes	No	5/12/2021	\$4,700
M21-000590	MECHANICAL	Yes	No	5/12/2021	\$4,700
M21-000399	MECHANICAL	Yes	No	4/6/2021	\$0
R21-000455	ROOFING	Yes	No	3/30/2021	\$12,000
R21-000456	ROOFING	Yes	No	3/30/2021	\$30,000
2008050068	ROOF REPAIR COMMERCIAL	Yes	No	5/7/2008	\$37,950
2007030204	STRUCTURE OTHER THAN BLD.	Yes	No	3/14/2007	\$6,642
1	OVER THE COUNTER INSPECT	Yes	No	4/26/2004	\$0
2003030087	NON-RES ADDN/ALT CONVERT	Yes	No	4/7/2003	\$15,550
2003010197	AMUSEMENT/SOCIAL/REC.	Yes	No	1/22/2003	\$127,272
2002120027	SINGLE FAMILY - DETACHED	Yes	No	12/23/2002	\$37,392
2002090002	AMUSEMENT/SOCIAL/REC.	Yes	No	9/3/2002	\$127,272
2002040331	SINGLE FAMILY - DETACHED	Yes	No	6/5/2002	\$127,272
2001050420	MECHANICAL	Yes	No	5/31/2001	\$3,000
2001030297	MECHANICAL	Yes	No	3/23/2001	\$4,000
98060280	STRUCTURE OTHER THAN BLD.	Yes	No	7/7/1998	\$8,000
95090033	MANUFACTURED HOUSING	Yes	No	9/6/1995	\$0
94120074	BLDG (RES)	Yes	No	12/21/1994	\$61,600



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Real Estate Account #16392 000 000

Owner:

ALACHUA COUNTY

Situs:

12510 S US HWY 441
MICANOPY 32667

[Parcel details](#)

[Property Appraiser](#)



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Amount Due

Your account is **paid in full**. There is nothing due at this time.

Account History

BILL	AMOUNT DUE	STATUS			ACTION
2022 Annual Bill ⓘ	\$0.00	Paid			Print (PDF)
2021 Annual Bill ⓘ	\$0.00	Paid			Print (PDF)
2020 Annual Bill ⓘ	\$0.00	Paid			Print (PDF)
2019 Annual Bill ⓘ	\$0.00	Paid			Print (PDF)
2018 Annual Bill ⓘ	\$0.00	Paid			Print (PDF)
2017 Annual Bill ⓘ	\$0.00	Paid			Print (PDF)
2016 Annual Bill ⓘ	\$0.00	Paid \$126.95	11/30/2016	Receipt #16-0040074	Print (PDF)
2015 Annual Bill ⓘ	\$0.00	Paid \$156.75	05/24/2016	Receipt #15-0158267	Print (PDF)
2014 Annual Bill ⓘ	\$0.00	Paid \$128.27	12/12/2014	Receipt #14-0049940	Print (PDF)
2013 Annual Bill ⓘ	\$0.00	Paid \$127.58	11/26/2013	Receipt #13-0031368	Print (PDF)
2012 Annual Bill ⓘ	\$0.00	Paid \$94.79	11/30/2012	Receipt #12-0050443	Print (PDF)
2011 Annual Bill ⓘ	\$0.00	Paid \$139.92	01/06/2012	Receipt #2011-3025868	Print (PDF)
2010 Annual Bill ⓘ	\$0.00	Paid \$211.08	11/30/2010	Receipt #2010-3014579	Print (PDF)
2009 Annual Bill ⓘ	\$0.00	Paid \$234.06	11/16/2009	Receipt #2009-1004939	Print (PDF)
2008 Annual Bill ⓘ	\$0.00	Paid \$211.70	11/25/2008	Receipt #2008-9011235	Print (PDF)
2007 Annual Bill ⓘ	\$0.00	Paid \$213.46	11/14/2007	Receipt #2007-9016337	Print (PDF)
2006 Annual Bill ⓘ	\$0.00	Paid \$251.71	11/16/2006	Receipt #2006-9078531	Print (PDF)
2005 Annual Bill ⓘ	\$0.00	Paid \$244.13	11/16/2005	Receipt #2005-9040431	Print (PDF)
2004 Annual Bill ⓘ	\$0.00	Paid \$244.62	11/19/2004	Receipt #2004-9007153	Print (PDF)
2003 Annual Bill ⓘ	\$0.00	Paid \$260.88	11/25/2003	Receipt #2003-3019736	Print (PDF)
2002 ⓘ					
2002 Annual Bill	\$0.00	Paid \$242.89	11/20/2002	Receipt #2002-0212128	Print (PDF)
Refund		Processed \$9.72	12/18/2002	To YMCA OF PALM BEACHES INC	
		Paid \$242.89			
Total Amount Due	\$0.00				

Convenience Fees

Credit/Debit Card and PayPal Transactions: A **2.5% processing fee (minimum \$2.50)** applies.

Bank Account (E-Check) Transactions: A **\$1 processing fee** applies.

RECORDED IN OFFICIAL RECORDS
INSTRUMENT # 3071908 8 PG(S)
7/24/2017 3:06 PM
BOOK 4533 PAGE 591
J.K.'JESS' IRBY
Clerk of the Court, Alachua County, Florida
ERECORDED Receipt# 783330
Doc Stamp-Mort: \$0.00
Doc Stamp-Deed: \$7,189.00
Intang. Tax: \$0.00

PREPARED BY
AND WHEN RECORDED MAIL TO:

Anthony P. Vernace
Greenberg Traurig, P.A.
777 S. Flagler Drive, Suite 300 East
West Palm Beach, FL 33401

WARRANTY DEED

THIS WARRANTY DEED is made as of the 21st day of July, 2017, by **THE YOUNG MEN'S CHRISTIAN ASSOCIATION OF THE PALM BEACHES, INC.**, a Florida not for profit corporation, formerly known as The Young Men's Christian Association of West Palm Beach, Florida (hereinafter called the "**Grantor**"), whose post office address is 2085 South Congress Avenue, West Palm Beach, Florida 33406, to **ALACHUA COUNTY**, a charter county and political subdivision of the State of Florida (hereinafter called the "**Grantee**"), whose post office address is 12 SE 1st Street, Gainesville, FL 32601.

W I T N E S S E T H:

Grantor, in consideration of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration paid by Grantee, has granted, bargained and sold, and by these presents does grant, bargain and sell, to Grantee, Grantee's heirs and assigns, as appropriate, forever, the following property situate in Alachua County, Florida, to-wit (the "**Property**"):

See Exhibit A Attached hereto and made a part hereof.

Subject to real property taxes for the current and all subsequent years; comprehensive land use plans, zoning, restrictions, prohibitions and other requirements imposed by governmental authority; conditions, restrictions, covenants and easements of record, if any, but without intent to reimpose same.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, Grantor hereby covenants with Grantee that Grantor is lawfully seized of the Property in fee simple; that Grantor has good right and lawful authority to sell and convey the Property, and hereby warrants the title to the Property and will defend the same against the lawful claims of all persons whomsoever subject to the exceptions set forth above.

[SIGNATURE(S) ON FOLLOWING PAGE(S)]

IN WITNESS WHEREOF, Grantor has executed this Special Warranty Deed as of the day and year first above written.

Signed, sealed and delivered in the presence of:

THE YOUNG MEN'S CHRISTIAN ASSOCIATION OF THE PALM BEACHES, INC., a Florida not for profit corporation, formerly known as The Young Men's Christian Association of West Palm Beach, Florida

Sign: [Signature]

Print: Maximilien Weber

Sign: [Signature]

Print: Anthony Vernace

By: [Signature]
Timothy G. Coffield, Ph.D.
President and CEO

STATE OF FLORIDA)
COUNTY OF Palm Beach) SS:

The foregoing instrument was acknowledged before me this 21st day of July, 2017, by Timothy G. Coffield, Ph.D., as President and CEO of The Young Men's Christian Association of The Palm Beaches, Inc., a Florida not for profit corporation, formerly known as The Young Men's Christian Association of West Palm Beach, Florida, on behalf of such corporation, who personally appeared before me.

[NOTARIAL SEAL]

Notary: [Signature]
Print Name: Christine Royce
Notary Public, State of Florida
My commission expires: 3-30-2018

Personally Known OR Produced Identification
Type of Identification Produced DRIVERS License

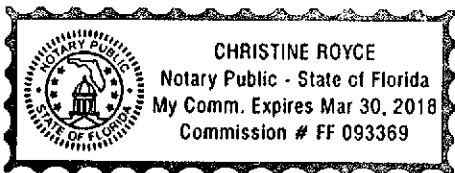


Exhibit ALegal Description

PARCEL ONE:

Lot Twenty-one (21) and Lot Forty (40) of the Leitner Tract, being a subdivision of Lots Eight (8) and Nine (9), of the Moses E. Levy Grant, according to plat thereof recorded in Deed Book "J" at Page 645 of the Public Records of Alachua County, Florida, LESS that real property described in Deeds recorded in Official Records Book 72, Page 155, Official Records Book 77, Page 223, Official Records Book 1078, Page 580, Official Records Book 1084, Page 514, Official Records Book 1091, Page 162, Official Records Book 1144, Page 543, Official Records Book 1177, Page 22, Official Records Book 1328, Page 949, Official Records Book 1341, Page 221, Official Records Book 1735, Page 905 and Official Records Book 1917, Page 1780, of the Public Records of Alachua County, Florida. LESS Road Rights-of-way.

PARCEL TWO:

Begin at the Southeast Corner of Lot 22 and run West 188 feet thence run North 114 feet to State Highway No. 2, thence run Southeast 150 feet, thence run South to the point of beginning, lying in Lot 22 of the Leitner Tract, a subdivision of Lots 8 and 9 of the Moses E. Levy Grant, as per plat recorded in Deed Book "J", Page 645, of the Public Records of Alachua County, Florida, LESS Road Right-of-way as per Official Records Book 4, Page 577, of the Public Records of Alachua County, Florida.

ALSO, Lot 39 of the Leitner Tract, a Subdivision of Lots 8 and 9 of the Moses E. Levy Grant, as per plat recorded in Deed Book "J", Page 645 of the Public Records of Alachua County, Florida, LESS Road Right-of-way as per Official Records Book 4 page 577, of the Public Records of Alachua County, Florida.

PARCEL THREE:

Commence at the Southeast Corner of Lot Thirty-eight (38) of the Leitner Tract, a Subdivision of Lot eight (8) of Moses E. Levy Grant, thence North 85 degrees 15 minutes West along South line of said Lot 8.75 chains to corner, thence North 4 degrees 45 minutes East 14.97 chains to corner on South side of State Highway No. 2, thence South 51 degrees East, parallel to said Highway 15.00 chains to corner, thence South 22 degrees 30 minutes West 6.36 chains to corner, thence North 85 degrees 15 minutes West on South line of Lot Thirty-seven (37) of Subdivision of said Lot Eight (8) of Moses E. Levy Grant 1.15 chains to Point of Beginning; being in lots 37 and 38 of Subdivision of Lot 8 of Moses E. Levy Grant, Township 11 South, Range 20 East, as per Plat recorded in Deed Book "J", Page 645, of the public Records of Alachua County, Florida; EXCEPT RAIL-ROAD RIGHT-OF-WAY and LESS Road Right-of-way.

ALSO: ALL of Lots Forty-two (42), Forty-three (43), Fifty-eight (58) and all of Lot Fifty-nine (59), SAVE AND EXCEPT Sixteen and 3/8 acres on the West side of Lot fifty-nine, AND

ALSO the following described three tracts being a part of the Sixteen and 3/8 acre tract excepted above, to-wit:

Beginning on the dividing line between the lands of J. H. Emerson and L. J. Montgomery in Lot Fifty-nine (59) of the Leitner Tract at a point Fifteen feet South of the center of the Gainesville Rocky Point & Micanopy (G. R. P. & M.) Ry track where it crosses said dividing line and running thence Southward One Hundred Fifty (150) feet; thence Westward Two Hundred (200) feet; thence Northward One Hundred Ninety-eight (198) feet to a point fifteen feet South of Center of main line of railroad track; thence Eastward along a line Fifteen feet South of said Railroad Track Two Hundred Forty-one (241) feet to point of beginning.

ALSO commencing at the Southwest corner of lot known as the Packing House Lot, the said lot lying in lot Fifty-nine (59) of the Leitner Tract and being that lot formerly conveyed by J. R. Emerson to L. J. Montgomery, thence Westwardly along a line at right angles to the West Boundary line of said packing House Lot Fifty (50) feet; thence Northward along a line to parallel to said west Boundary line to the Gainesville & Gulf (G. & G.) R. R. right-of-way; thence East Fifty (50) feet to the Northwest Corner of said Packing House Lot; thence South to point of beginning; and,

ALSO beginning at the Southeast Corner of the Montgomery Packing House Lot in Lot Fifty-nine (59) of the Leitner Tract and run South Sixty-one yards to a post in center of a drainway; thence in a Northwesterly direction along or near to said drainway to Southwest Corner of land formerly purchased by Montgomery from Emerson; thence Eastward to beginning, said lot being triangular in shape, EXCEPT RAILROAD RIGHT- OF- WAY.

All of the above-described lands being in the Leitner Tract, a subdivision of Lots 8 and 9 of the M.E. Levy Grant in Township Eleven (11) South, Range Twenty (20) East as per Plat recorded in Deed Book "J", Page 645, of the public Records of Alachua County, Florida.

LESS that tract of land as per Official Records Book 92, page 557, of the Public Records of Alachua County, Florida.

LESS the rights of way of SE 134th Avenue and Interstate Highway No. 75 and any property lying South and West of said rights of way.

PARCEL FOUR:

That part of Lot Forty-four (44) of Leitner Tract of Lots Eight (8) and Nine (9) of Levy Grant as recorded in Deed Book "J", Page 645, of Public Records of Alachua County, Florida, lying west of the Atlantic Coast Line (ACL) R/W abandoned tracks.

PARCEL FIVE:

Commence at the Southwest (SW) corner of Lot Thirty-eight (38) of the Leitner Tract (track) of Lots Eight (8) and Nine (9) of the Levy Grant in Township Eleven (11) South, Range Twenty (20) East, in Alachua County, Florida, as per plat recorded in Deed Book "J", page 645 of the Public Records of Alachua County, Florida, and run thence North 4° 45' East 6.793 chains to a stake thence South 85° East, 11.74 chains to a stake, thence South 5° 7' West 6.62 chains to a stake, thence North 85° 53' West 11.712 chains to the Point of Beginning, being in the South part of said Lot Thirty-eight (38).

All railroad rights-of-ways in the land in Lots 21, 40, 22, 39, 38, 42, 43, 58, 59 and 44 of the LEITNER TRACT, a Subdivision of Lots Eight (8) and Nine (9) of the Moses E. Levy Grant, as per plat recorded in Deed Book "J", page 645 of the Public Records of Alachua County, Florida.

LESS:

PARCEL TWO:

Commence at the NW corner of Lot 21 of the Leitner Tract, Township 11 South, Range 20 East, and run S 4° 34' 11" W along the West line of said lot 323.99 feet to the P.O.B., thence continue South 4° 34' 11" W along said West line 330 feet, thence run South 86° 06' 19" E 991.13 feet, thence run N 3° 35' 46" E 263.22 feet, thence run N 37° 50' 46" E 80.48 feet, thence run N 86° 06' 19" W 1030.81 feet to the west line of said Lot 21 and the P.O.B. All lying and being in Lot 21 of the Leitner Tract in T 11 S - R 20 E, Alachua County, Florida, as per plat recorded in Deed Book "J", page 645 of the Public Records of Alachua County, Florida.

LESS:

PARCEL THIRTEEN:

Commence at the Southeast corner of Lot 21 of the Leitner Tract and run North 3 degrees 35 minutes 46 seconds East along the East line of said lot 3.57 feet, thence run North 86 degrees 06 minutes 19 seconds West 198 feet to the Point of Beginning; thence continue North 86 degrees 06 minutes 19 seconds West 792 feet; thence run North 3 degrees 35 minutes 46 seconds East 330 feet; thence run South 86 degrees 06 minutes 19 seconds East 792 feet, thence run South 3 degrees 35 minutes 46 seconds West 330 feet to the Point of Beginning. All lying and being in Lot 21 of the Leitner Tract, Township 11 South, Range 20 East, Alachua County, Florida, as per plat recorded in Deed Book "J", page 645 of the Public Records of Alachua County, Florida.

ALL OF THE FOREGOING ALSO DESCRIBED AS:

A PARCEL OF LAND LYING IN LOTS 21, 22, 37, 38, 39, 40, 42, 43, 44, 58 AND 59 OF THE LEITNER TRACT, A SUBDIVISION OF LOT 8 AND LOT 9 OF THE MOSES E. LEVY GRANT, ACCORDING TO THE PLAT THEREOF RECORDED IN DEED BOOK "J", PAGE 645 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, IN TOWNSHIP 11 SOUTH, RANGE 20 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

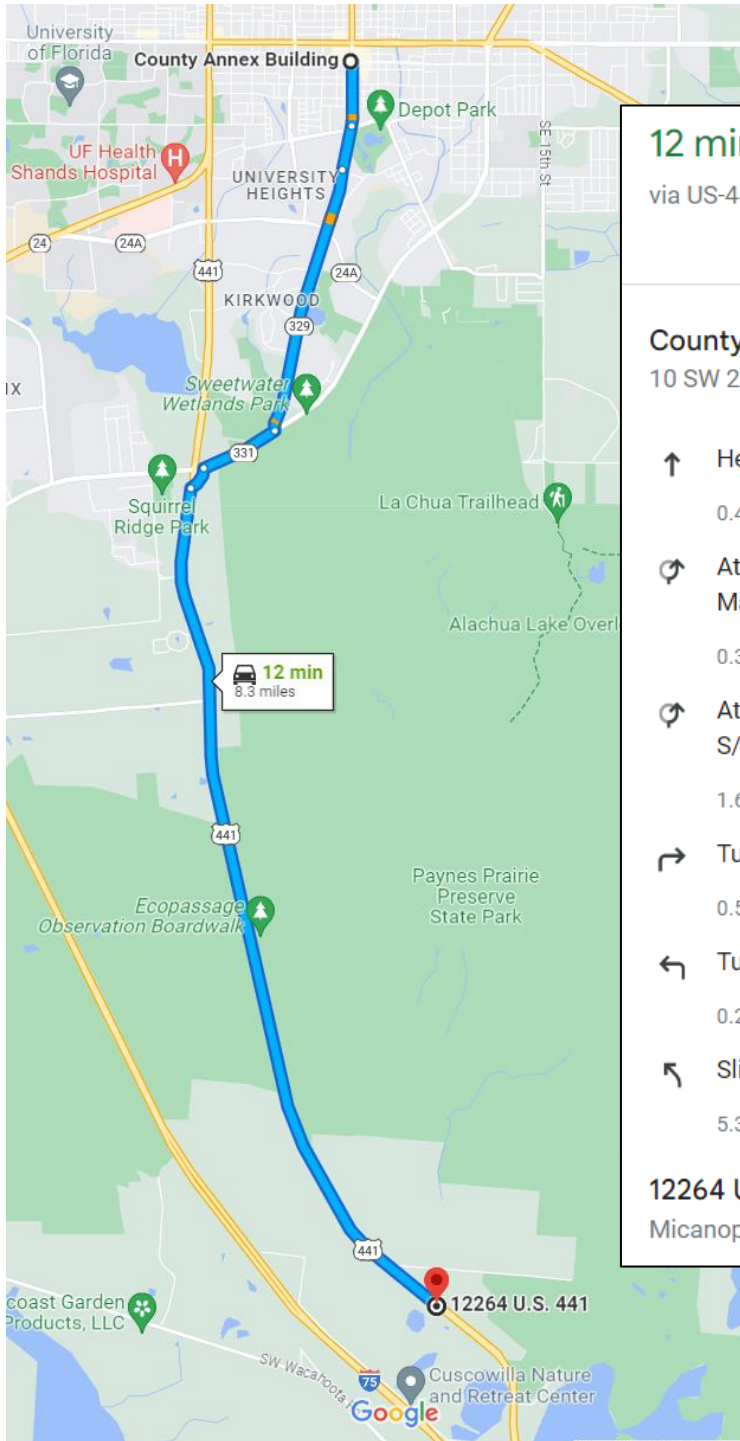
COMMENCE AT THE NORTHWEST CORNER OF SAID LOT 44 OF THE LEITNER TRACT BEING A 3"x3" CONCRETE MONUMENT (NO ID); THENCE S.86°39'49"E., 156.54 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING THE NORTHWESTERLY BOUNDARY OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 4433, PAGE 1477 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA AND A POINT ON A NON-TANGENT CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 1,535.48 FEET, A CENTRAL ANGLE OF 09°33'09", AND A CHORD

BEARING AND DISTANCE OF S.41°07'51"W., 255.70 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 256.00 FEET TO THE WESTERLY MOST CORNER OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 4433, PAGE 1477; THENCE ALONG SAID WESTERLY BOUNDARY OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 4433, PAGE 1477; OFFICIAL RECORDS BOOK 1889, PAGE 735; OFFICIAL RECORDS BOOK 2440, PAGE 1113; OFFICIAL RECORDS BOOK 4365, PAGE 2274; OFFICIAL RECORDS BOOK 4336, PAGE 2004; OFFICIAL RECORDS BOOK 1679, PAGE 1977; OFFICIAL RECORDS BOOK 4011, PAGE 1259; OFFICIAL RECORDS BOOK 4104, PAGE 361; AND OFFICIAL RECORDS BOOK 4179, PAGE 1402 ALL IN THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, S.03°44'23"W., 2,076.12 FEET TO THE NORTHEASTERLY MOST CORNER OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2232, PAGE 2297 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE DEPARTING SAID WESTERLY BOUNDARY, ALONG THE NORTHERLY BOUNDARY OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2232, PAGE 2297 THE FOLLOWS THREE (3) COURSES: 1) N.65°24'40"W., 1,392.60 FEET; 2) THENCE N.69°36'54"W., 212.18 FEET; 3) THENCE N.73°15'13"W., 632.08 FEET TO THE WESTERLY MOST CORNER OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2232, PAGE 2297 AND NORTHERLY RIGHT OF WAY LINE OF S.W. 134 AVENUE (80' PUBLIC RIGHT OF WAY PER RIGHT OF WAY MAP SECTION 26260-2460); THENCE DEPARTING SAID NORTHERLY BOUNDARY ALONG SAID NORTHERLY RIGHT OF WAY LINE, N.51°29'46"W., 636.07 FEET TO THE SOUTHERLY MOST CORNER OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 3869, PAGE 1725 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE DEPARTING SAID NORTHERLY RIGHT OF WAY, ALONG THE EASTERLY BOUNDARY OF LANDS AS DESCRIBED IN OFFICIAL RECORDS BOOK 3450, PAGE 1255; OFFICIAL RECORDS BOOK 1832, PAGE 957; AND OFFICIAL RECORDS BOOK 3869, PAGE 1725 ALL OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, N.03°22'19"E., 1,376.68 FEET TO NORTHEASTERLY CORNER OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 3450, PAGE 1255; THENCE DEPARTING SAID EASTERLY BOUNDARIES, ALONG NORTHERLY BOUNDARY OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 3450, PAGE 1255, N.86°07'39"W., 1,894.08 FEET TO A POINT ON THE AFORESAID NORTHERLY RIGHT OF WAY LINE OF S.W. 134 AVENUE, SAID POINT ALSO BEING THE WESTERLY MOST CORNER OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 3450, PAGE 1255; THENCE DEPARTING SAID NORTHERLY BOUNDARY, ALONG SAID NORTHERLY RIGHT OF WAY THE FOLLOWS (2) TWO COURSES: 1) N.50°20'33"W., 82.41 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 11,369.14 FEET, A CENTRAL ANGLE OF 00°14'06", AND A CHORD BEARING AND DISTANCE OF N.52°08'22"W., 46.63 FEET; 2.) THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 46.63 FEET TO THE WESTERLY BOUNDARY OF LOT 40 OF SAID LEITNER TRACT; THENCE DEPARTING SAID NORTHERLY RIGHT OF WAY LINE, ALONG SAID WESTERLY BOUNDARY, N.04°04'49"E., 258.16 FEET TO THE SOUTHWESTERLY CORNER OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 3328, PAGE 612 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE DEPARTING SAID

WESTERLY BOUNDARY, ALONG THE SOUTHERLY BOUNDARY OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 3328, PAGE 612, S.86°03'22"E., 1,007.05 FEET TO THE SOUTHEASTERLY CORNER OF SAID LANDS AS DESCRIBED IN OFFICIAL RECORDS BOOK 3328, PAGE 612; THENCE DEPARTING SAID SOUTHERLY BOUNDARY, ALONG THE EASTERLY BOUNDARY OF LANDS AS DESCRIBED IN OFFICIAL RECORDS BOOK 3328, PAGE 612, OFFICIAL RECORDS BOOK 2884, PAGE 242, OFFICIAL RECORDS BOOK 1341, PAGE 221, OFFICIAL RECORDS BOOK 1078, PAGE 580 ALL OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, N.03°23'05"E., 989.22 FEET TO THE SOUTHWESTERLY CORNER OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 4164, PAGE 533 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE DEPARTING SAID EASTERLY BOUNDARIES, ALONG THE SOUTHERLY BOUNDARY OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 4164, PAGE 533, S.86°06'01"E., 791.82 FEET TO THE SOUTHEASTERLY CORNER OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 4164, PAGE 533; THENCE DEPARTING SAID SOUTHERLY BOUNDARY, ALONG THE EASTERLY BOUNDARY OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 4164, PAGE 533, N.03°39'43"E., 329.58 FEET TO THE NORTHEASTERLY CORNER OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 4164, PAGE 533; THENCE DEPARTING SAID EASTERLY BOUNDARY, ALONG THE SOUTHERLY BOUNDARY OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 1144, PAGE 543 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, S.86°00'41"E., 197.85 FEET TO A POINT ON THE WESTERLY BOUNDARY OF PALMETTO ACRES, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK "D", PAGE 44 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, ALSO BEING THE WESTERLY BOUNDARY OF LOT 22 OF SAID LEITNER TRACT; THENCE DEPARTING SAID SOUTHERLY BOUNDARY, ALONG THE WESTERLY BOUNDARY OF SAID LOT 22, S.03°37'47"W., 329.73 FEET TO THE SOUTHWESTERLY CORNER OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 3082, PAGE 291 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE DEPARTING SAID WESTERLY BOUNDARY, ALONG THE SOUTHERLY BOUNDARY OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 3082, PAGE 291 AND LANDS AS DESCRIBED IN OFFICIAL RECORDS BOOK 3877, PAGE 2127 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, S.86°09'30"E., 1,009.67 FEET TO THE SOUTHEASTERLY MOST CORNER OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 3877, PAGE 2127; THENCE DEPARTING SAID SOUTHERLY BOUNDARY, ALONG THE EASTERLY BOUNDARY OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 3877, PAGE 2127, N.38°06'55"E., 97.40 TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD NO. 25 (174' PUBLIC RIGHT OF WAY PER RIGHT OF WAY MAP SECTION 26010-2526); THENCE DEPARTING SAID EASTERLY BOUNDARY, ALONG SAID SOUTHERLY RIGHT OF WAY LINE, S.52°10'30"E., 306.93 FEET TO THE NORTHERLY MOST CORNER OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2279, PAGE 2149 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE DEPARTING SAID SOUTHERLY RIGHT OF WAY LINE, ALONG THE WESTERLY BOUNDARY OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2279, PAGE 2149, S.03°40'35"W., 959.12 FEET TO THE SOUTHWESTERLY CORNER OF SAID LAND AS DESCRIBED IN

OFFICIAL RECORDS BOOK 2279, PAGE 2149; THENCE DEPARTING SAID WESTERLY BOUNDARY, ALONG THE SOUTHERLY BOUNDARY OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2279, PAGE 2149, S.86°29'54"E., 773.40 FEET TO THE SOUTHEASTERLY CORNER OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2279, PAGE 2149; THENCE DEPARTING SAID SOUTHERLY BOUNDARY, ALONG THE EASTERLY BOUNDARY OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2279, PAGE 2149, N.03°56'50"E., 424.78 FEET TO THE AFORESAID SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD NO. 25; THENCE DEPARTING SAID EASTERLY BOUNDARY, ALONG SAID SOUTHERLY RIGHT OF WAY LINE THE FOLLOWS (2) TWO COURSES: 1) S.52°27'11"E., 964.05 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 1,790.73 FEET, A CENTRAL ANGLE OF 02°12'28", AND A CHORD BEARING AND DISTANCE OF S.51°03'25"E., 69.00 FEET; 2.) THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 69.00 FEET TO THE NORTHERLY MOST CORNER OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 4433, PAGE 1477 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, SAID POINT ALSO BEING THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 1,535.48 FEET, A CENTRAL ANGLE OF 11°34'52", AND A CHORD BEARING AND DISTANCE OF S.30°10'47"W., 309.84 FEET; THENCE DEPARTING SAID SOUTHERLY RIGHT OF WAY LINE, ALONG THE WESTERLY BOUNDARY OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 4433, PAGE 1477, SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 310.37 TO THE POINT OF BEGINNING.

Detailed Directions to Site









12 min (8.3 miles)

via US-441 S

County Annex Building

10 SW 2nd Ave, Gainesville, FL 32601

-  Head south on S Main St toward SE 2nd Ave
0.4 mi
-  At the traffic circle, take the 2nd exit and stay on S Main St
0.3 mi
-  At the traffic circle, continue straight onto FL-329 S/S Main St
1.6 mi
-  Turn right onto FL-331 S
0.5 mi
-  Turn left
0.2 mi
-  Slight left onto US-441 S
5.3 mi

12264 US-441

Micanopy, FL 32667

Legal Description

A portion of Lots 22 and 39 of the Leitner Tract, being a subdivision of Lots Eight (8) and Nine (9) of the Moses E. Levy Grant, as per plat thereof, recorded in Deed Book "J", page 645 of the Public Records of Alachua County, Florida; being more particularly described as follows:

Commence at a 4" x 4" concrete monument (Perry C. McGriff, R.L.S. 509) at the northwest corner of Lot 39 of the Leitner Tract, being a subdivision of Lots Eight (8) and Nine (9) of the Moses E. Levy Grant, as per plat thereof, recorded in Deed Book "J", page 645 of the Public Records of Alachua County, Florida and run thence South 86°21'54" East, along the north line of said Lot 39 and along the south line of Lot 22 of said Leitner Tract, a distance of 852.13 feet to the Point of Beginning; thence continue South 86°21'54" East, along said north and south lines, 157.66 feet to a ¾" iron pipe (no id.); thence North 38°04'03" East, 97.34 feet to a point on the southwesterly Right of Way line of State Road No. 25 (U.S. Highway No. 441, 174' Right of Way); thence South 52°08'50" East, along said Right of Way line, 307.08 feet to a point on the East line of said Lot 39 and the West line of Lot 38 of said Leitner Tract; thence South 03°40'39" West, along said East and West lines, 372.86 feet; thence North 86°21'54" West, parallel with said North and South lines, 466.70 feet; thence North 03°40'39" East, parallel with said East and West lines, 465.26 feet to the Point of Beginning.

Containing 5.00 Acres (217,805 Square Feet), more or less.

NORTH

TAX PARCEL NO.
16395-001-000

SOUTH LINE OF LOT 22
S 86°21'54" E
852.13'

4" X 4" CONCRETE
MONUMENT (NO ID.)

S 86°21'54" E
157.66'

RIGHT OF WAY LINE
N 38°04'03" E
97.34'

3/4" IRON PIPE
(NO ID.)

NORTH LINE OF LOT 39

S 52°08'50" E
307.08'

POINT OF COMMENCEMENT
N.W. CORNER OF LOT 39
4" X 4" CONCRETE
MONUMENT
PERRY C. McGRIFF
R.L.S. 509

POINT OF BEGINNING

5.00 ACRES, +/-
(217,805 SQUARE FEET)

TAX PARCEL NO.
16392-000-000

N 03°40'39" E
465.26'

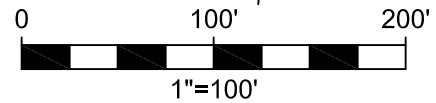
A PORTION OF
TAX PARCEL NO.
16392-000-000

EAST LINE OF LOT 39
372.86'
WEST LINE OF LOT 38
S 03°40'39" W

TAX PARCEL NO.
16401-000-000

466.70'
N 86°21'54" W

TAX PARCEL NO.
16392-000-000



THIS IS NOT A BOUNDARY SURVEY

DRN.	CHKD.	SURVEY DATE	DWG COMP	PROJ. NO.	FIELD BK.	PAGE NO.
B.G.	B.G.		7/18/2023	2023-052		

LEGAL DESCRIPTION SKETCH OF

A PORTION OF LOTS 22 AND 39 OF THE LEITNER TRACT, BEING A SUBDIVISION OF LOTS EIGHT (8) AND NINE (9), OF THE MOSES E. LEVY GRANT, AS PER PLAT THEREOF, RECORDED IN DEED BOOK "J", PAGE 645 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA

FOR: ALACHUA COUNTY PUBLIC WORKS DEPARTMENT

THIS SKETCH OF LEGAL DESCRIPTION MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 (2022), FLORIDA STATUTES.

BY: ROBERT W. GRAVER P.S.M. 4239

Corporate Authorization
No. LB 2389



eda consultants inc.

LB 2389
720 S.W. 2nd Ave, South Tower, Suite 300
GAINESVILLE, FLORIDA 32601
TEL. (352) 373-3541
www.edafl.com mail@edafl.com

J:\BOB\2023-052\2023-052-5acres.dwg

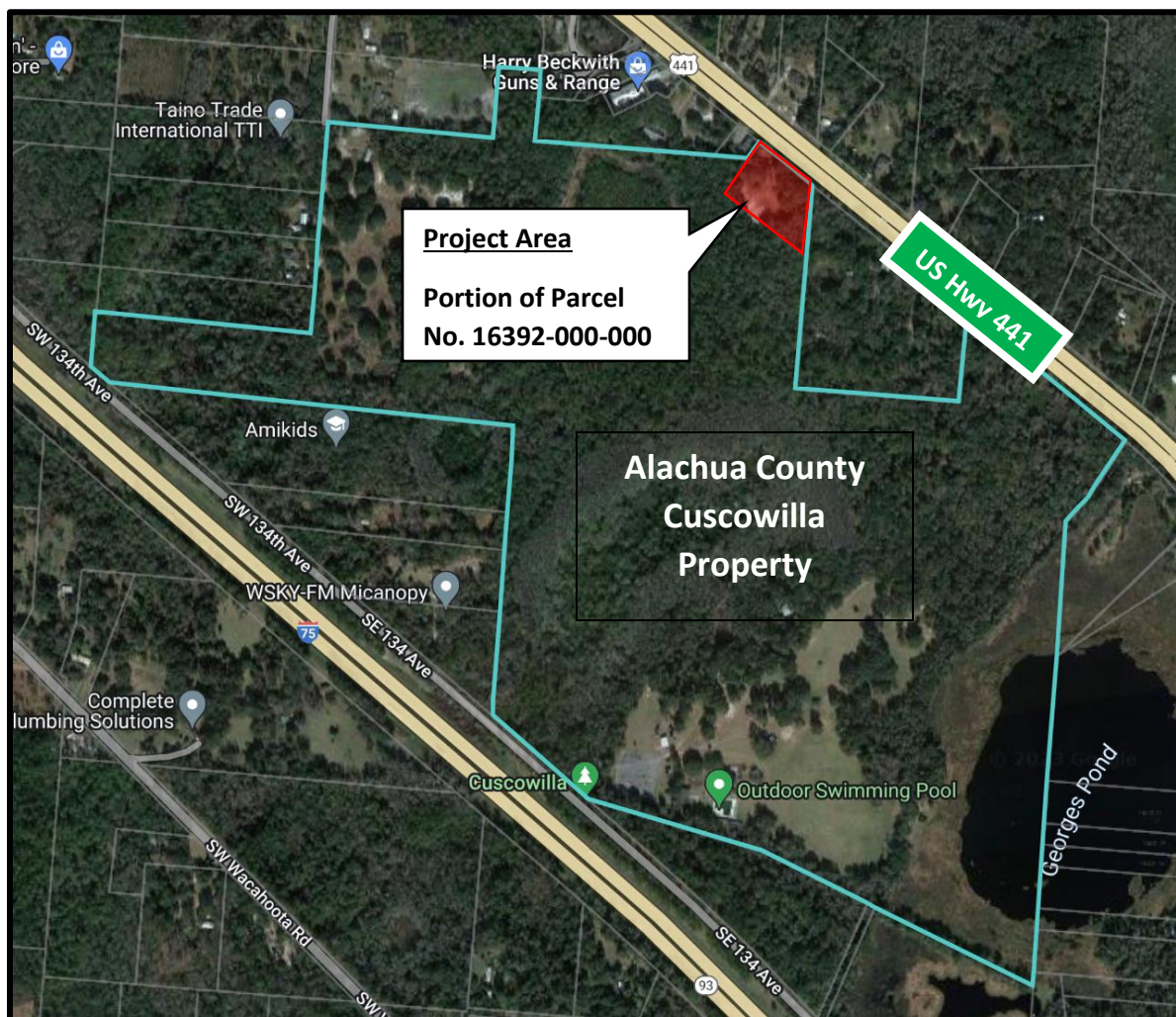
NEIGHBORHOOD WORKSHOP NOTICE

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Date: Thursday, September 14, 2023
Time: 6:00 PM
Address: **Micanopy Town Hall**
706 NE Chokolka Boulevard
Micanopy, FL 32667

Upon request, an electronic link or paper copies of all materials discussed at the workshop can be provided via email or US Mail after the meeting. Comments on the development plan may also be submitted to the e-mail address below or by calling the phone number below.

Contact: eda consultants, inc.
permitting@edaf.com (352) 373-3541



16401-000-000
AUXIER HERSCHEL A III
1008 NW 21ST ST
GAINESVILLE, FL 32603

16395-000-000
GIANELLI PETER A & PENELOPE M
1009 NW 10TH ST
GAINESVILLE, FL 32601

16342-003-000
HUMPHREYS & HUMPHREYS
106 NE WEAVER RUN
MICANOPY, FL 32667

16415-001-000
GERARD MARGARET
106 SE WACAHOOA RD
MICANOPY, FL 32667

16395-001-000
YOUNG SUSAN K
10910 NW 35TH PL
GAINESVILLE, FL 32606

16423-004-000
HORN ERICH P & BILJANA N
115 SE WACAHOOA RD
MICANOPY, FL 32667

16339-002-000
WOLKING SARAH H TRUSTEE
115 SE WACHAHOOTA RD
MICANOPY, FL 32667

16392-001-001
MORGAN MITCHELL B & PEGGY L
11908 SW 1ST ST
MICANOPY, FL 32667-9712

16392-006-000
BRANDT ERIC T & ANNA M
11925 SW 1ST STREET
MICANOPY, FL 32667

16338-008-000
BOLEN & BOLEN ET AL
11942 SW 5TH TER
MICANOPY, FL 32667

16392-008-001
OUKO DANIEL OMONDI
11976 US HIGHWAY 441 SOUTH
MICANOPY, FL 32667

16392-000-000
ALACHUA COUNTY
12 SE 1ST ST
GAINESVILLE, FL 32601

16392-007-000
RITCHIE H L & MELODY
12013 SW 1ST ST
MICANOPY, FL 32667-9712

16392-004-002
DORSEY ALBERT F & DANETTA M
12014 SW 1ST ST
MICANOPY, FL 32667-5343

16394-000-000
VAN MEIR PENNY
12019 PALMETTO DR
MICANOPY, FL 32667

16340-000-000
BRADSHAW STEPHEN L & AYL A C
12077 SW 5TH TER
MICANOPY, FL 32667

16397-007-000
SIGMA SCIENTIFIC LLC
12109 S US HWY 441
MICANOPY, FL 32667

16392-004-000
COALTER CINDY L
12121 SW 1ST ST
MICANOPY, FL 32667

16395-002-000
HARRY BECKWITH GUNS & RANGE
INC
12130 SOUTH HIGHWAY 441
MICANOPY, FL 32667

16392-005-001
GONZALEZ WILFREDO
12206 SW 1ST ST
MICANOPY, FL 32667

16399-001-000
MCDOWELL FRED
12221 HIGHWAY 441 S
MICANOPY, FL 32667

16399-000-000
DOVERMAN MARK JOZEF
12303 S HWY 411
MICANOPY, FL 32667

16392-006-002
GLATTLI ANDREW & POLLY
12402 SW 1ST ST
MICANOPY, FL 32667

16342-001-000
WASHINGTON FRANK & DOROTHY
12405 SW 6TH TER
MICANOPY, FL 32667-9801

16404-000-000
SAVINO P P & GLORIA
12413 S US HIGHWAY 441
MICANOPY, FL 32667-9704

16405-000-000
KING MICHAEL A & HOPE A
12415 S US HIGHWAY 441
MICANOPY, FL 32667

16405-002-001
DECONNA VINCE
12427 S US HIGHWAY 441
MICANOPY, FL 32667

16342-000-000
KINER MALCOLM
1248 SE 13TH AVE
GAINESVILLE, FL 32641

16359-000-000
% BUTLER & DUKES & ET AL TRUST
SECOND BETHEL BAPTIST CHURCH
12607 SW 6TH TER
MICANOPY, FL 32667-3205

16404-004-000
MILLER WILLIAM A & PATRICIA A
12611 S HWY 441
MICANOPY, FL 32667

16399-005-000
PRYOR & TEAGUE
12629 HIGHWAY 441 S
MICANOPY, FL 32667-5315

16407-011-000
MANEERATANA NIPON &
PORNPROM
13024 S US HIGHWAY 441
MICANOPY, FL 32667

16414-001-000
ASHMORE MICHAEL CHARLES
13121 S US HIGHWAY 441
MICANOPY, FL 32667-9704

16407-015-001
BENDIK JAN
13216 S US HWY 441
MICANOPY, FL 32667

16424-001-000
VELAZQUEZ-LOPEZ CRISTOBAL
13613 SE 8TH TER
MICANOPY, FL 32667

16407-018-000
HAWKINS MARK
1427 SE 132ND LN
MICANOPY, FL 32667

16407-004-000
STEADHAM CHARLES V JR TRUSTEE
203 SW 3RD AVE
GAINESVILLE, FL 32601-6519

16413-000-000
TIAA FSB TRUSTEE
211 N BROADWAY SUITE 1000
ST LOUIS, MO 63102-2733

16398-000-000
J DURAN INVESTMENTS LLC
2365 RAPOLLO DR
KISSIMMEE, FL 34741

16392-002-000
BELLOWS GUNTHER HEIRS
2725 SW 27TH AVE APT C7
GAINESVILLE, FL 32608-2701

16399-003-000
BRINZA AUSTIN JAMES & LAUREN
KRISTEN
12707 S US HIGHWAY 441
MICANOPY, FL 32667

16392-001-000
LEVESQUE DOUGLAS RICHARD
13118 HIGHWAY 441 SOUTH
MICANOPY, FL 32667

16407-014-000
KUHLMANN KRISTI BELLE FISH
13122 S US HIGHWAY 441
MICANOPY, FL 32667

16338-002-001
BUTLER ALVIN
1356 SW WACAHOOTA RD
MICANOPY, FL 32667

16424-000-000
GARNER JAMES
13615 SE 8TH TER
MICANOPY, FL 32667

16394-012-000
GAINESVILLE HOUSING DEVELOPMENT
& MANAGEMENT CORP
1900 SE 14TH ST
GAINESVILLE, FL 32641

16415-000-000
BIELLING BILLIE HEIRS
204 SE WACAHOOTA RD
MICANOPY, FL 32667

16383-001-000
ALDOUS NICHOLAS
2155 NW 10TH ST APT F
GAINESVILLE, FL 32609

16394-005-000
PRAIRIE PARKING LLC
2460 AURORA RD
MELBOURNE, FL 32935

16407-019-000
PATEL & PATEL TRUSTEES
306 LIONS FATE DR
SAINT AUGUSTINE, FL 32080

16404-003-000
LLOYD LEESA SUE
12720 HIGHWAY 441 S
MICANOPY, FL 32667-5300

16407-017-000
LEVESQUE BRENDA
13118 S HIGHWAY 441
MICANOPY, FL 32667

16407-001-000
KINARD & TAYLOR-KINARD H/W
13204 HWY 441 S
MICANOPY, FL 32667-5305

16392-003-000
ROTE CHARLES R & GLORIA
136 SARONA CIRCLE
ROYAL PALM BEACH, FL 33411

16407-015-000
DOYLE & HAWKINS
1427 SE 132ND LANE
MICANOPY, FL 32667

16392-006-001
FORRESTEL PAUL
1901 NW 67TH PL STE K
GAINESVILLE, FL 32653-1657

16424-005-000
WHITTAKER GALEN S & ELIZABETH
207 S WASHINGTON ST
ROCKVILLE, MD 20850-4420

16426-024-000
CAMPEN BEN TRUSTEE
2160 PARK ST
JACKSONVILLE, FL 32204

16392-007-001
LEWIS ANSEL D
27 WALNUT ST
FISHERSVILLE, VA 22939-2239

16361-002-001
MAXWELL MICHAEL W & IRENE S
306 REYNOLDS AVE
NICEVILLE, FL 32578-2541

16338-007-000
BOLEN BEULAH D
313 SW 7TH AVE
GAINESVILLE, FL 32601-6625

16392-003-001
BATSON & MCCOY W/H
316 SW WACAHOOA RD
MICANOPY, FL 32667

16420-002-000
MIDDAUGH MARISSA A
318 SW WACAHOOA RD
MICANOPY, FL 32667

16361-001-000
JALAL'S FARMS LLC
3206 NW 57TH TER
GAINESVILLE, FL 32606

16416-001-000
JEMPSON CHARLES T HEIRS
326 SW WACAHOOA RD
MICANOPY, FL 32667-9801

16341-000-000
CEMETERY
350 SW 134TH AVE
MICANOPY, FL 32667

16405-002-002
DECONNA NICHOLAS D
4020 NW 21ST ST
GAINESVILLE, FL 32605-1704

16361-003-000
WOLFF DAVID & AMY E
410 SW WACAHOOA RD
MICANOPY, FL 32667

16417-000-000
GALBREATH JR & GALBREATH & PA
41707 N MILL DR
MAGNOLIA, TX 77354-1891

16361-002-000
PUTT & PUTT
420 SW WACAHOOA RD
MICANOPY, FL 32667

16397-002-000
MAJOR BRUCE & GWENN
423 SE 119TH AVE
MICANOPY, FL 32667-9705

16361-005-000
CARR CHARLES CHADWICK &
CATHY DIANE HERREN
444 SW WACAHOOA RD
MICANOPY, FL 32667

16392-200-000
CSX TRANSPORTATION INC
500 WATER ST TAX DEPARTMENT J-
910
JACKSONVILLE, FL 32202-4423

16361-004-000
BRYAN DONALD
506 SW WACAHOOA RD
MICANOPY, FL 32667

16383-000-000
KALLMAN CLAYTON H
5200 SW 25TH BLVD UNIT 4221
GAINESVILLE, FL 32608-8925

16423-002-000
HAVILAND MARY ELEANOR LIFE
ESTATE
526 SE 138TH AVE
MICANOPY, FL 32667

16360-000-000
% RICHARDSON
PRESTON ELIZA HEIRS
545 W 126TH ST APT 20 C
NEW YORK, NY 10027-2437

16397-001-000
% DON WILLIAMS
LINDSEY LORAIN HEIRS
609 SE 119TH AVE
MICANOPY, FL 32667

16397-000-000
SCHAAF TERRY F & YING
6215 BUNKERHILL RD
NEW BERLIN, IL 62670

16399-002-000
MUSIKAR HOWARD A & SUNSHINE
MAIRIE
625 SW 119TH AVE
MICANOPY, FL 32667

16339-000-000
LAVOIX RODYNX
6292 NW 66TH AVE
PARKLAND, FL 33067

16404-002-000
JENKINS CLEO B
6617 SE COUNTY ROAD 234
GAINESVILLE, FL 32641-1607

16400-001-000
ALACHUA REGIONAL MARINE INSTI
6815 SW ARCHER RD
GAINESVILLE, FL 32608-4720

16407-000-000
RUNIEL PROPERTIES LLC
6928 SW 39TH ST A 102
DAVIE, FL 33314

16424-004-000
MILES & MILES
705 NE 24TH ST
GAINESVILLE, FL 32641

16357-011-000
BATIE & BATIE
714 SW WACCHOOA RD
MICANOPY, FL 32667

16423-005-000
DUVALL SHAUNA
723 SE 138TH AVE
MICANOPY, FL 32667

16423-006-000
MOUNTAIN WILLIAM SHELBY
735 SE 138TH AVE
MICANOPY, FL 32667

16407-003-000
BENNETT JOHN GREGORY
906 SE 134TH AVE
MICANOPY, FL 32667-5368

16397-008-000
WALLACE ROBERT T & LISA
9725 NW 193RD ST
MICANOPY, FL 32667

16378-000-000
% DNR DOUGLAS BLDG
STATE OF FLA IIF DNR-REC & PA
PAYNES PRAIRIE ST PRESERVE
TALLAHASSEE, FL 32399

16403-000-000
FICARA SANDY S
PO BOX 141376
GAINESVILLE, FL 32614

16423-000-000
TRAUNER MICHAEL A TRUSTEE
PO BOX 2012
PLANT CITY, FL 33564

16416-000-000
FEASTER & FEASTER TRUSTEES
PO BOX 321
MCINTOSH, FL 32664

16392-008-000
SIMMONS DANA L SR & EHTEL L
PO BOX 413
MICANOPY, FL 32667-0413

16397-006-000
MCLEAN JOHNNY SHEROUSEKERRI
L
PO BOX 613
MICANOPY, FL 32667-0613

16409-001-000
PROPERTY TAX DEPT
GTP TOWERS I LLC
PO BOX 723597
ATLANTA, GA 31139

Old Florida Heritage Highway, Inc.
c/o Aaron Weber
PO Box 9
Micanopy, FL 32667

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PO Box 631244 Cincinnati, OH 45263-1244

PROOF OF PUBLICATION

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Eda Consultants Inc
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300
GAINESVILLE FL 32601

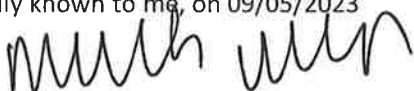
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09/05/2023

Affiant further says that the website or newspaper complies with all legal requirements for publication in chapter 50, Florida Statutes.

Subscribed and sworn to before me, by the legal clerk, who is personally known to me, on 09/05/2023



Legal Clerk



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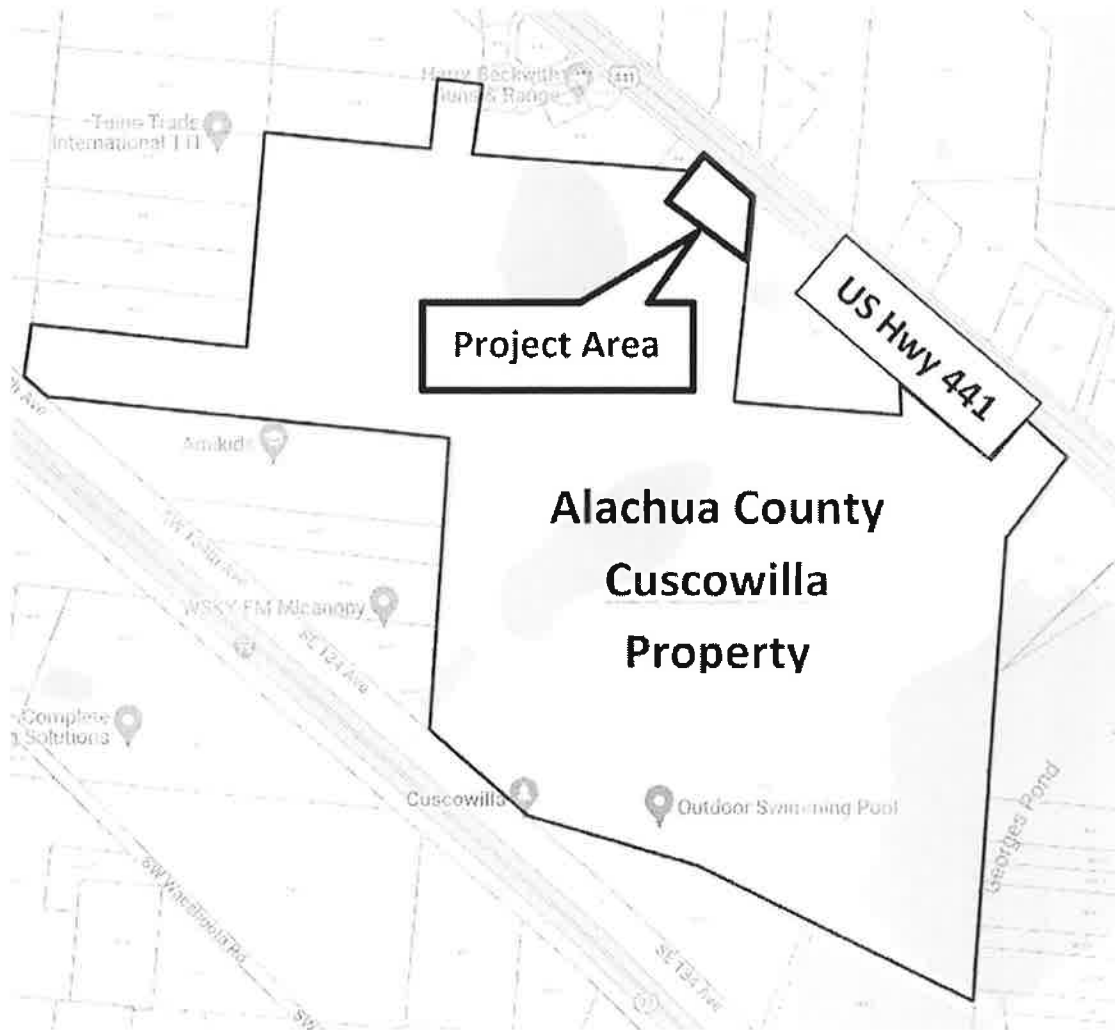
KAITLYN FELTY
Notary Public
State of Wisconsin

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Micanopy, FL 32667

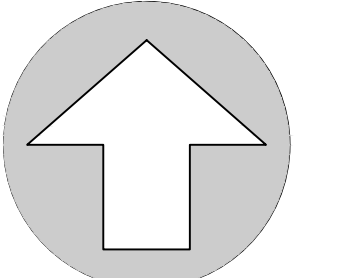
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\\server3\engprojects\Alachua County - Cuscowilla Fire Station\Plans\Current\DWG\Concept Plan\C23052L1.dwg, E100 - LOCATION EXHIBIT, 9/14/2023 9:56:41 AM, AutoCAD PDF (General Documentation).pc3, NJG

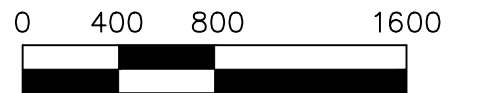


EB 2389
720 S.W. 2nd Ave., South Tower, Suite 300
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TEL. (352) 373-3541
www.edall.com permitting@edall.com



NORTH

SCALE: 1" = 800'



GRAPHIC SCALE

No.	Date	Comment

Project No: 23-052

Project phase: CONCEPTUAL

Project title:

CUSCOWILLA FIRE STATION
ALACHUA COUNTY

Sheet title:

LOCATION EXHIBIT

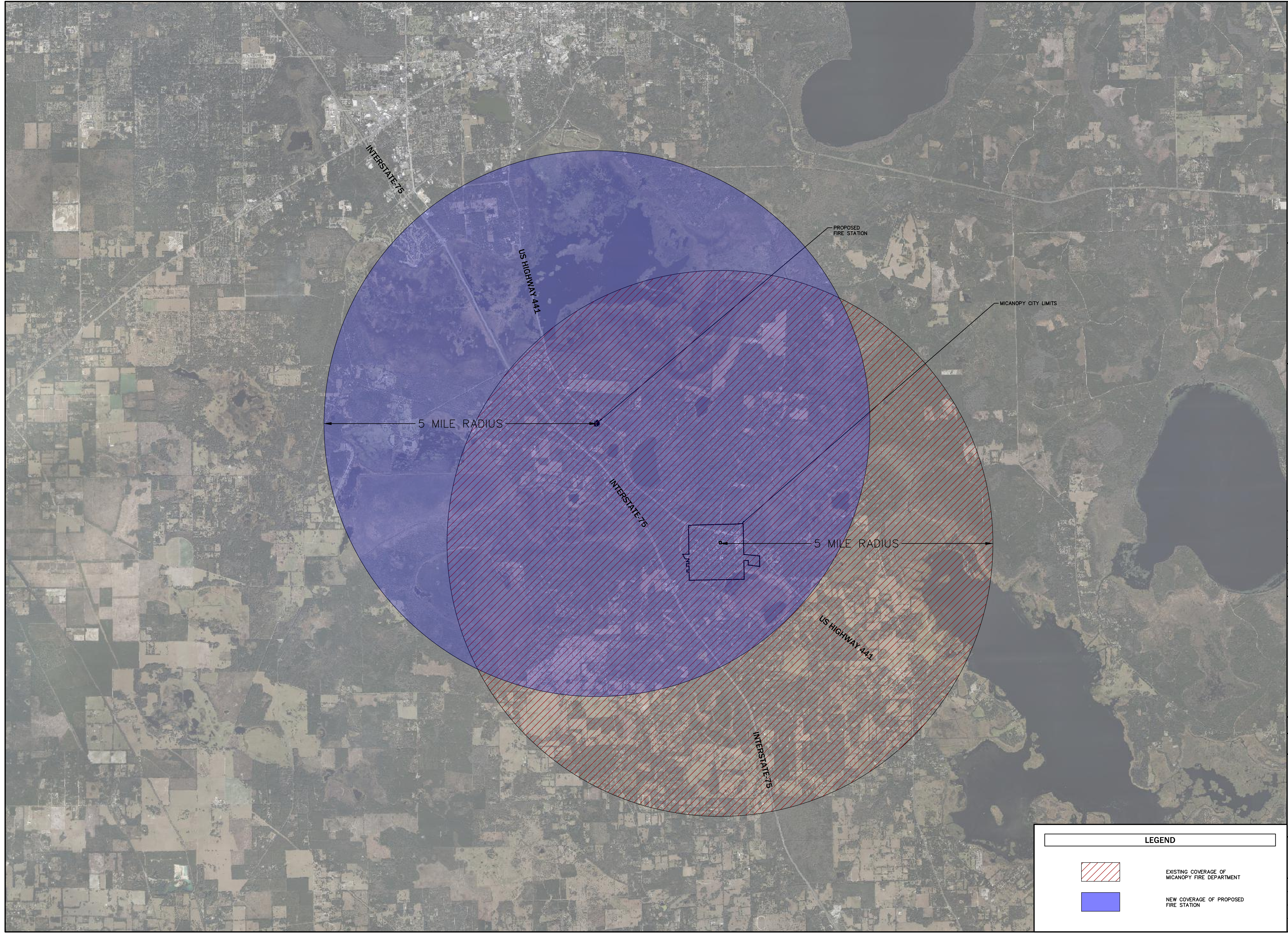
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Drawn: NJG E100

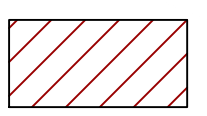
Checked: TAR


Date: 09/14/23

\\server3\engprojects\Alachua County - Cuscowilla Fire Station\Plans\Current\DWG\Concept Plan\C23052L1.dwg, E200 - COVERAGE EXHIBIT, 9/21/2023 4:11:59 PM, TAR



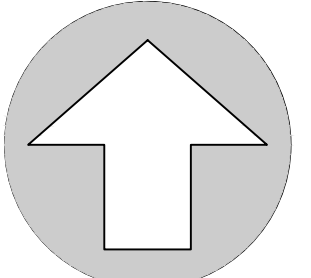
LEGEND

 EXISTING COVERAGE OF MICANOPY FIRE DEPARTMENT

 NEW COVERAGE OF PROPOSED FIRE STATION

eda
consultants inc.

EB 2389
720 S.W. 2nd Ave. South Tower, Suite 300
GAINESVILLE, FLORIDA 32601
TEL: (352) 373-3541
www.edall.com permitting@edall.com


NORTH
SCALE: 1" = 4000'
0 2000 4000 8000
GRAPHIC SCALE

No.	Date	Comment

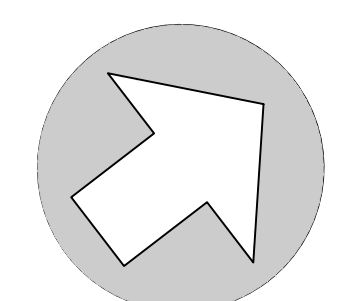
Project No: 23-052
Project phase: CONCEPTUAL
Project title: CUSCOWILLA FIRE STATION ALACHUA COUNTY

Sheet title: COVERAGE EXHIBIT

Designed: ---	Sheet No.: E200
Drawn: NJG	
Checked: TAR	
Date: 09/21/23	



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NORTH
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0 15 30 60
GRAPHIC SCALE

No.	Date	Comment

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Professional Engineer of Record:

Engineer Certificate No.

Project No: 23-052

Project phase: CONCEPTUAL

Project title:

**CUSCOWILLA FIRE STATION
ALACHUA COUNTY**

Sheet title:
CONCEPT V6 AERIAL

Designed: --- Sheet No.:

Drawn: TAR

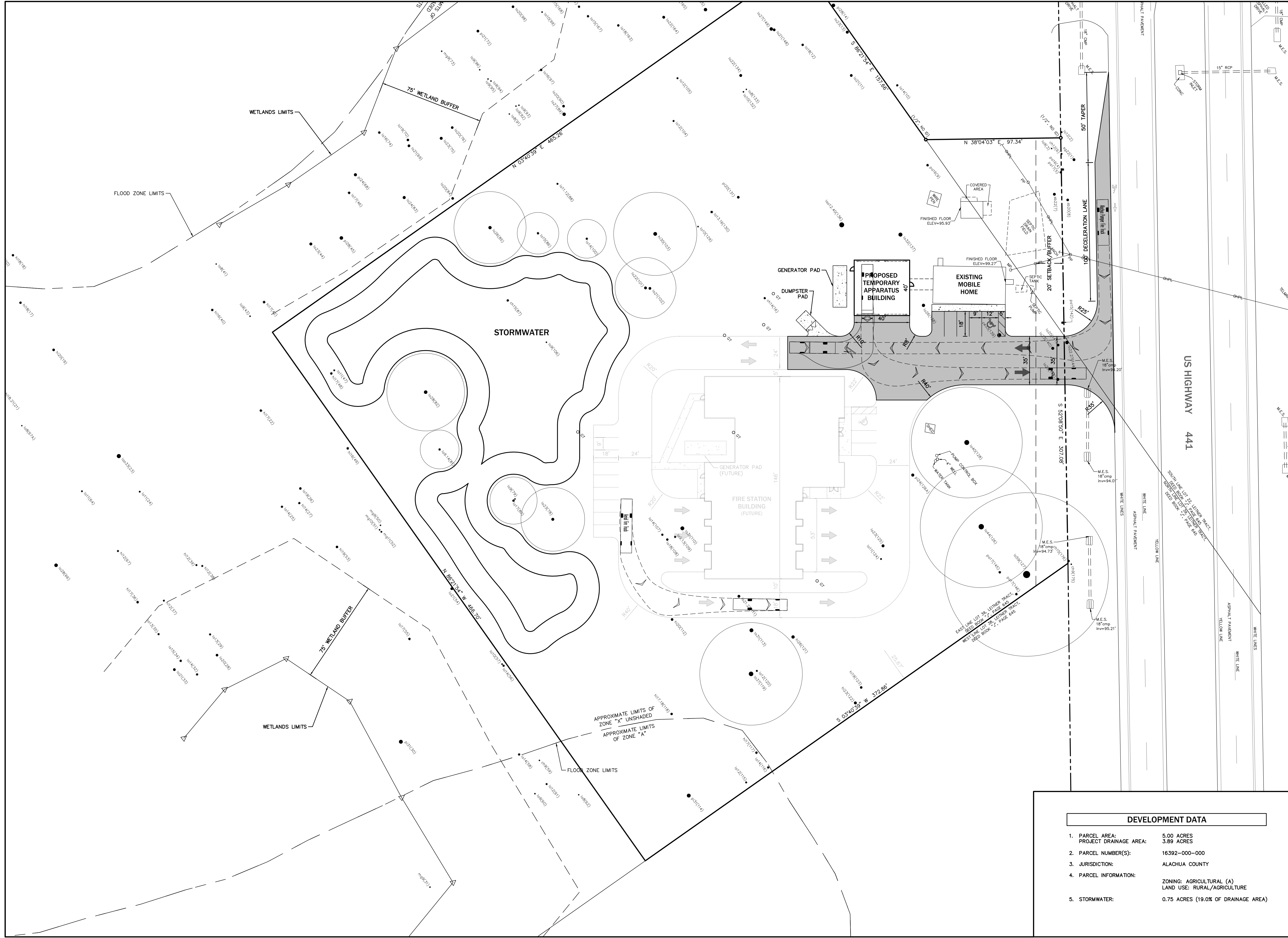
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Date: 08/21/23

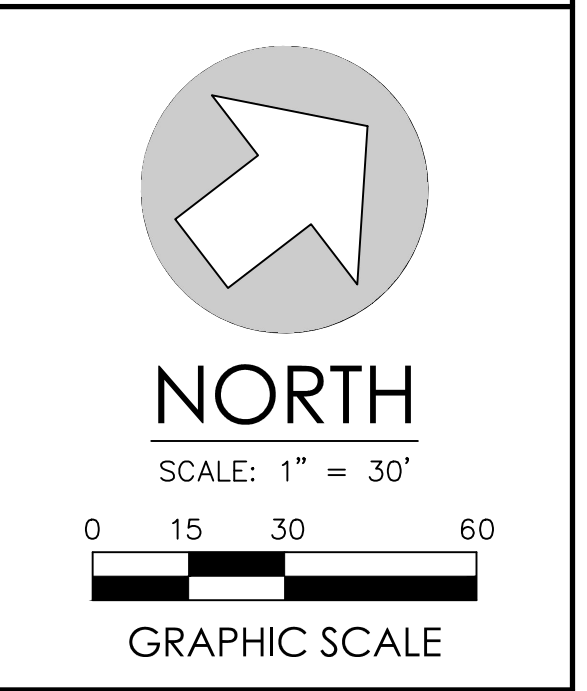
DEVELOPMENT DATA

1. PARCEL AREA: 5.00 ACRES
PROJECT DRAINAGE AREA: 3.89 ACRES
2. PARCEL NUMBER(S): 16392-000-000
3. JURISDICTION: ALACHUA COUNTY
4. PARCEL INFORMATION: ZONING: AGRICULTURAL (A)
LAND USE: RURAL/AGRICULTURE
5. STORMWATER: 0.75 ACRES (19.0% OF DRAINAGE AREA)

\\server3\engprojects\alachua county - Cuscowilla Fire Station\Plans\Current\DWG\C230521.dwg, C800 - CONCEPT V6, 8/21/2023 2:00:24 PM, TAR



DEVELOPMENT DATA	
1. PARCEL AREA:	5.00 ACRES
PROJECT DRAINAGE AREA:	3.89 ACRES
2. PARCEL NUMBER(S):	16392-000-000
3. JURISDICTION:	ALACHUA COUNTY
4. PARCEL INFORMATION:	ZONING: AGRICULTURAL (A) LAND USE: RURAL/AGRICULTURE
5. STORMWATER:	0.75 ACRES (19.0% OF DRAINAGE AREA)



No.	Date	Comment

THIS ITEM HAS BEEN CAREFULLY REVIEWED AND SEALED BY CLAUDIA S. VEGA, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

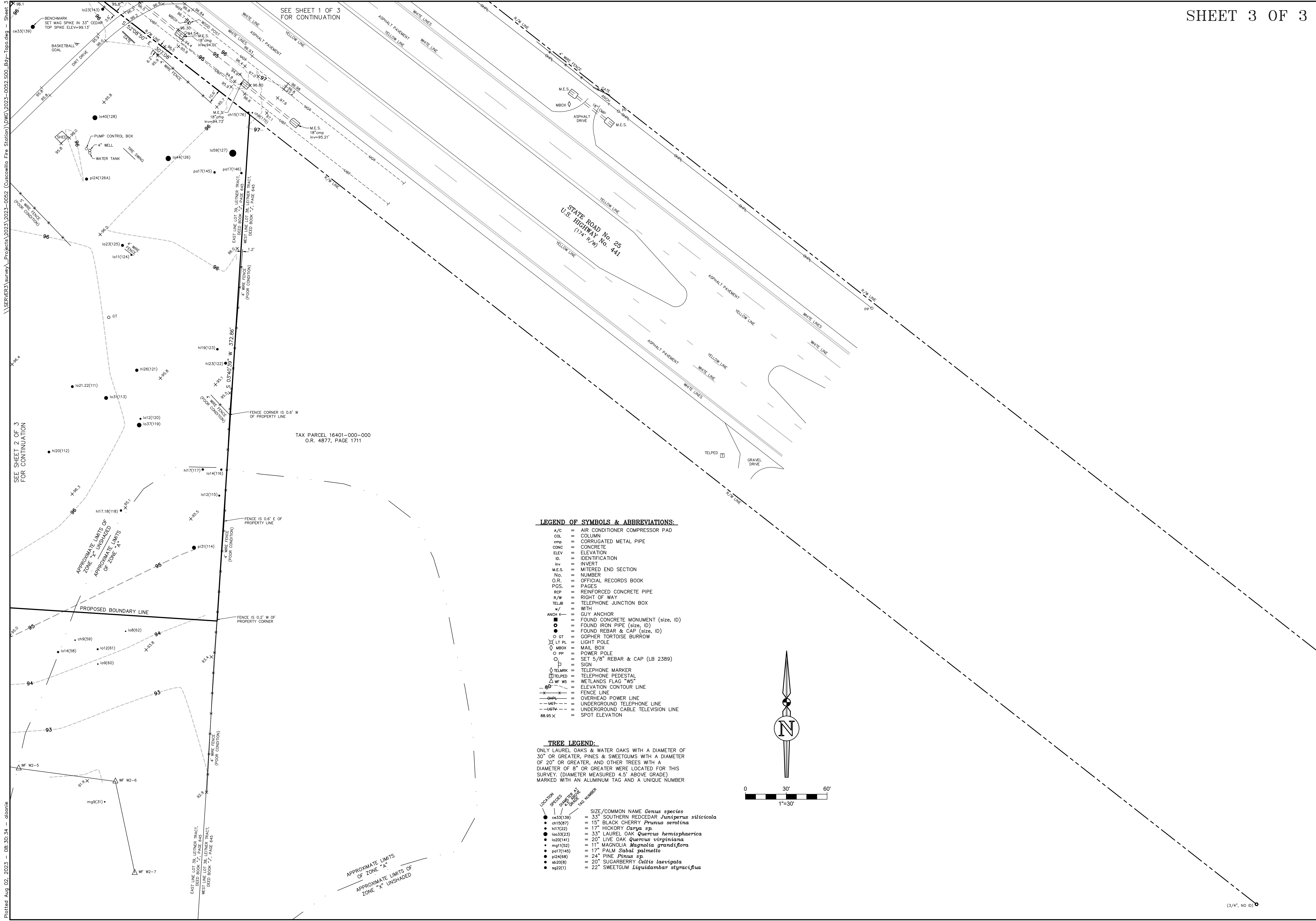
Professional Engineer of Record:

Engineer: _____ Certificate No. _____
Project No: 23-052
Project phase: CONCEPTUAL

Project title: CUSCOWILLA FIRE STATION
ALACHUA COUNTY

Sheet title: CONCEPT V6

Designed: --- Sheet No.: C800
Drawn: TAR
Checked: TAR
Date: 08/21/23



SEE SHEET 1 OF 3 FOR CONTINUATION

SEE SHEET 2 OF 3 FOR CONTINUATION

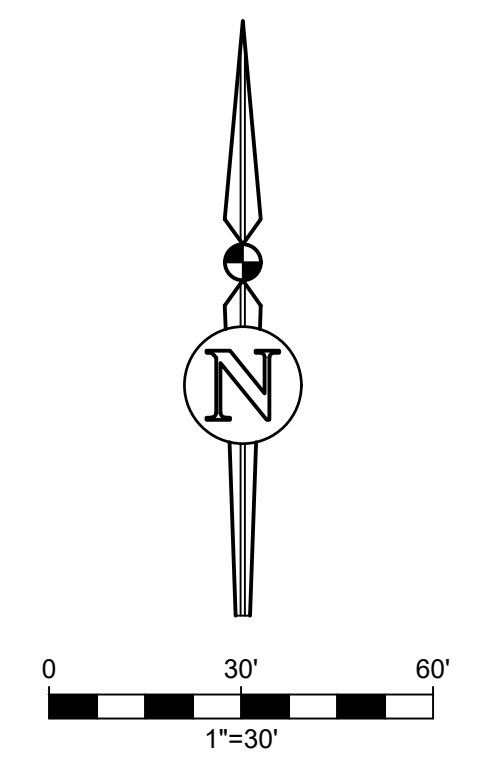
LEGEND OF SYMBOLS & ABBREVIATIONS:

- A/C = AIR CONDITIONER COMPRESSOR PAD
- col = COLUMN
- cmp = CORRUGATED METAL PIPE
- conc = CONCRETE
- elev = ELEVATION
- id. = IDENTIFICATION
- inv = INVERT
- M.E.S. = MITERED END SECTION
- No. = NUMBER
- O.R. = OFFICIAL RECORDS BOOK
- PGS. = PAGES
- RCR = REINFORCED CONCRETE PIPE
- R/W = RIGHT OF WAY
- TELJB = TELEPHONE JUNCTION BOX
- w/ = WITH
- ANCH = GUY ANCHOR
- FCM = FOUND CONCRETE MONUMENT (size, ID)
- FIP = FOUND IRON PIPE (size, ID)
- FIC = FOUND IRON PIPE & CAP (size, ID)
- OT = Gopher TORTOISE BURROW
- LT PL = LIGHT POLE
- MBOX = MAIL BOX
- PP = POWER POLE
- SR = SET 5/8" REBAR & CAP (LB 2389)
- SI = SIGN
- TELMRK = TELEPHONE MARKER
- TELPEB = TELEPHONE PEDESTAL
- WF = WETLANDS FLAG "WF"
- EL = ELEVATION CONTOUR LINE
- FL = FENCE LINE
- OP = OVERHEAD POWER LINE
- UT = UNDERGROUND TELEPHONE LINE
- UCTV = UNDERGROUND CABLE TELEVISION LINE
- SE = SPOT ELEVATION

TREE LEGEND:

ONLY LAUREL OAKS & WATER OAKS WITH A DIAMETER OF 30" OR GREATER, PINES & SWEETGUMS WITH A DIAMETER OF 20" OR GREATER, AND OTHER TREES WITH A DIAMETER OF 8" OR GREATER WERE LOCATED FOR THIS SURVEY. (DIAMETER MEASURED 4.5' ABOVE GRADE) MARKED WITH AN ALUMINUM TAG AND A UNIQUE NUMBER

- | | |
|-------------|---|
| ● c43x(139) | = 33" SOUTHERN REDCEDAR <i>Juniperus silicicola</i> |
| ● ch15(87) | = 15" BLACK CHERRY <i>Prunus serotina</i> |
| ● h17(22) | = 17" HICKORY <i>Carya</i> sp. |
| ● lo3x(23) | = 33" LAUREL OAK <i>Quercus hemisphaerica</i> |
| ● lo20(141) | = 20" LIVE OAK <i>Quercus virginiana</i> |
| ● mg1(52) | = 11" MAGNOLIA <i>Magnolia grandiflora</i> |
| ● p17(145) | = 17" PALM <i>Sabal palmetto</i> |
| ● p24(68) | = 24" PINE <i>Pinus</i> sp. |
| ● sb20(8) | = 20" SUGARBERRY <i>Celtis laevigata</i> |
| ● sg22(1) | = 22" SWEETGUM <i>Liquidambar styraciflua</i> |



FLOOD INSURANCE RATE MAP STATEMENT
 THE REAL PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONES(S) (UNSHADED) AS DESIGNATED ON THE FLOOD INSURANCE RATE MAP NUMBER 0465D, COUNTY NUMBER 120001, PANEL 0465D, EFFECTIVE DATE 06/16/06. SAID MAP DESCRIBES ZONE(S) AS BEING "SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, NO BASE FLOOD ELEVATIONS DETERMINED" AND ZONE "X" (UNSHADED) AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."



Project No: 2023-0052-0052
 Date: 08/02/2023
 Prepared by: ROBERT W. GRANER
 Checked by: B.G.
 NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE RAISED SEAL OF A LICENSED SURVEYOR AND MAPPER, CORP. REG. # 4239

1090 08/01/2023 08/02/2023
 Survey Date Drawing Completed
 Prepared for: 1) ALACHUA COUNTY PUBLIC WORKS DEPARTMENT
 2) 3) 4)
 THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 (2022), FLORIDA STATUTES. THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 08/01/2023.

Sheet No.: V-003

Neighborhood Meeting Minutes

Project: Special Use Permit for Cuscowilla Fire Station

Meeting Date & Time: September 14, 2023 at 6:00 p.m.
Micanopy Town Hall

Community Participants: 9 participants in total

Project Representatives: Sergio Reyes, eda
Stephanie Sutton, eda
Deputy Chief Taylor, Alachua County Fire Rescue

Meeting Minutes:

Sergio Reyes and Stephanie Sutton gave a presentation to inform the participants of the proposed fire station proposed along US Hwy 441, north of Micanopy on the County Cuscowilla property. A Special Use Permit is required for the proposed use of the site for a fire station and the site plan is limited to 5 acres of the overall Cuscowilla site.

They reviewed the location of the proposed fire station and plans for it to operate initially out of the existing mobile home on the site, with plans for a larger station to be built in the future and then opened up the floor for questions afterwards (assisted by Deputy Chief Taylor for fire service questions)

Q: Is there additional development proposed that requires a new fire station?

A: Not at this time – the station is moving to allow for better service in the area and additional staff.

Q: What will happen to the Micanopy Fire Station?

A: Beginning on October 1, Alachua County Fire Rescue will use that station until this new site is ready sometime next year/2024. At that time, the fire department staff will move and the Town of Micanopy will keep the building. The station will serve a 5 mile radius and still cover the Micanopy area with expanded ALS service. New crews will be 3 person advanced life support crews. Right now Micanopy has 2 person BLS (basic life support) crews.

Q: This is along the Heritage Highway- what is the setback?

A: Temporary station will be in existing mobile home on site and the proposed future fire station building will be set back approximately 100' with no plans to affect the trees along the 441 property line.

Q: What is the proposed timeline for the permanent structure

A: Likely will be 3-4 years until the permanent station is built.

Q: What kind of noise impacts will there be?

A: May hear trucks moving in and out, but sirens should only be used off property. Natural buffers will remain and noise is directed forward, in front of the truck. Crews use discretion and try not to use sirens in neighborhoods and at times where there isn't much traffic.

Q: Will there be any drainage impacts to property south of the site (land naturally slopes that way)

A: Stormwater system will be designed to capture runoff from the site into stormwater ponds behind the proposed station –

Q: How will the crossing at 441 be adjusted?

A: FDOT will allow a median cut for emergency access only. Will likely have a flashing sign for existing fire trucks.

Q: How many calls does the station run? Is this necessary?

A: Micanopy ran 400 calls last year (1-2 a day). Alachua County expects to run some additional calls serving additional area to the north.

Q: Why is it proposed at this location?

A: County property, on US 441, north of Micanopy and able to serve the Town and a larger area.

Q: What will lighting on site be like?

A: Just security lighting – no flood lights. County code requires that there is no light trespass to other properties and requires full cut off fixtures.

Q: What equipment will be on site?

A: An engine, a brush truck, a tanker for now – in the future, possibly an ambulance or swift water/boat equipment.

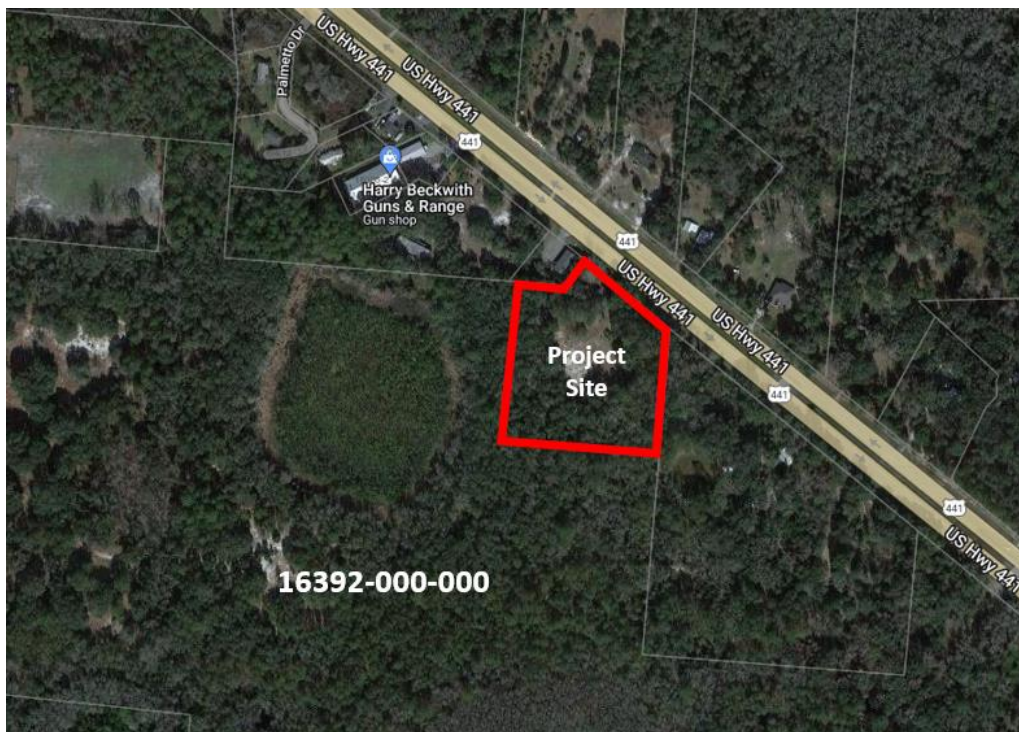
Q: What noise is there when a call comes in? Big bell?

A: Speakers are usually just internal and in equipment bays – if crews are outside the station they should have radios – no external speakers.

Q: What about staff at existing fire station in Micanopy?

A: Alachua County offered all employees jobs – some accepted and some have other employment.

Special Use Permit Application



Prepared by:
Clay Sweger,
AICP LEED AP

Project Request: A Special Use Permit application for a government building/facility (fire/rescue station) in the Agriculture (A) zoning district as identified in ULDC Ch. 404, Article 2 (Use Table).

Project Location: 12264 S. Highway 441
(Portion of Parcel Number 16392-000-000)

Project Owner: Alachua County

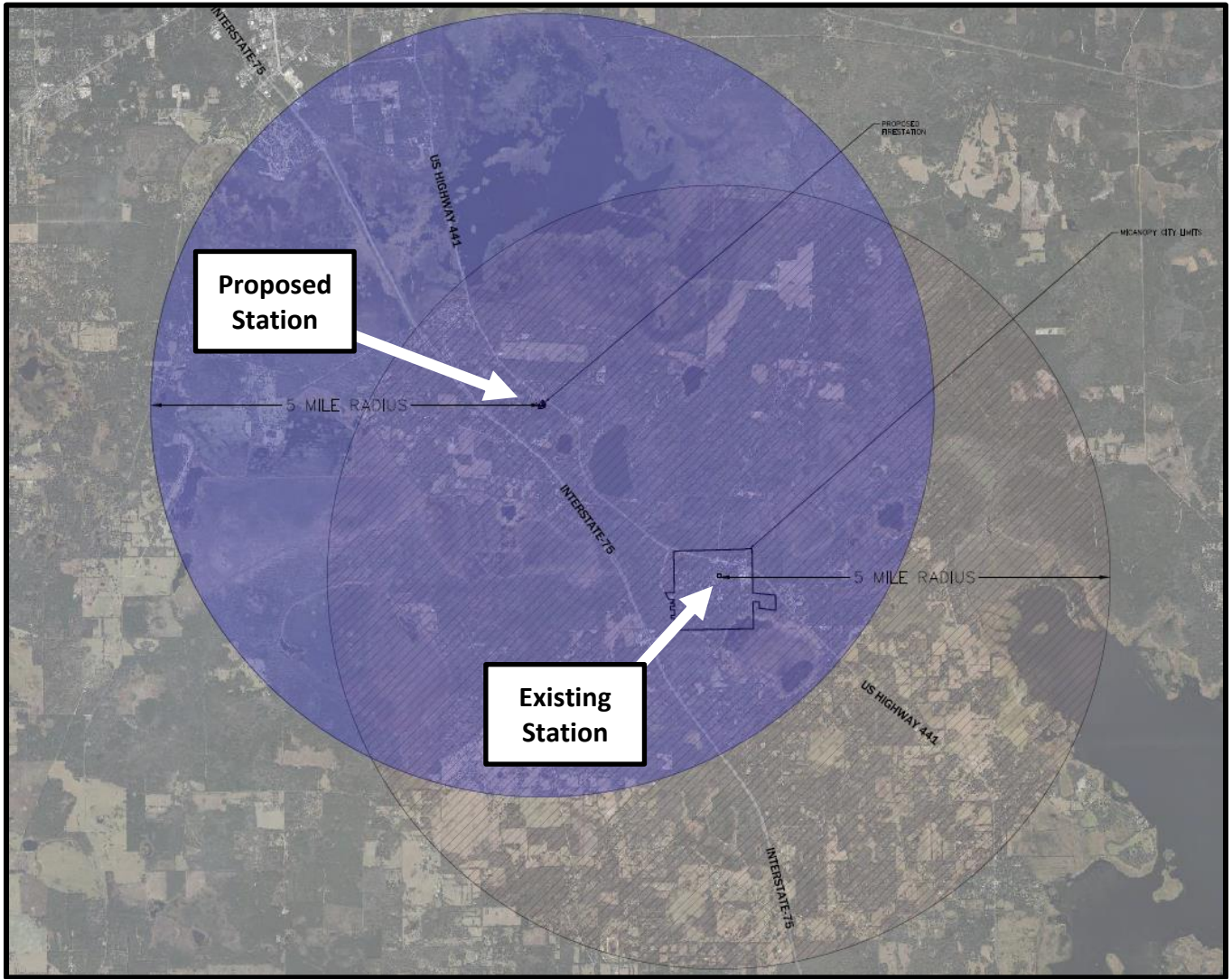
Submitted:
Sept. 25, 2023

Background & Summary of Request

The subject property is approximately 5 acres in size, located at 12264 S. US Highway 441 on a portion of parcel number 16392-000-000. The project site is part of a much larger County-owned parcel, a portion of which is the home to the County-operated Cuscowilla Nature and Retreat Center, as illustrated in the following exhibit:



This application requests Special Use Permit approval of a proposed ‘government building or facility.’ The intent of this application is to construct a fire/rescue station that will primarily serve an area within the southern portion of Alachua County in and around the Town of Micanopy. The need for a station here is necessitated by the upcoming closure of the fire station in Micanopy (operated by the Town). The overlap of the 5-mile service radius between the existing Micanopy station (set to cease operations) and the proposed Alachua County Fire Rescue station is shown on the exhibit on the following page.



5-Mile Radius Service Area Exhibit

As stated, government buildings/facilities (fire/rescue stations) are a permitted use via Special Use Permit in the Agriculture zoning district. The subject property is zoned Agriculture and is thereby eligible to request Special Use Permit approval by the Board of County Commissioners.

Comprehensive Plan Consistency

The following is an analysis of the consistency of this proposed Special Use Permit application with the Alachua County Comprehensive Plan.

Levels of Service / Public Facilities

The Alachua County Comprehensive Plan Capital Improvement Element requires that the public facilities and services needed to support development be available concurrent with the impacts of development and that issuance of a Certificate of Level of Service Compliance (CLSC) be a condition of all final development orders. 'Concurrent' shall mean that all adopted levels of service (LOS) standards shall be maintained or achieved within a specified timeframe. Per Policy 1.2.4 and Policy 1.2.5 of the Capital Improvements Element of the Alachua County Comprehensive Plan, LOS standards have been adopted for various types of public facilities.

Traffic

This special use permit is for a government building (fire/rescue station). Any development on the site will require mitigation through the MMTM fee program.

Water and Sewer

Policy 1.2.4 (d) of the Capital Improvements Element describes the minimum Level of Service standards for potable water and sewer. There will be no impacts to water and sewer levels of service resulting from this request as the site will be served by on-site private well and septic systems.

Drainage

Policy 1.2.4 (c) of the Capital Improvements Element states that the minimum drainage LOS standard for nonresidential development requires a floor elevation of one (1) foot above the 100-year/critical duration storm elevation or flood resistant construction. Any future development on this site will be required to meet this standard.

Emergency Services

Policy 1.2.5(a)(2) of the Capital Improvements Element states that the LOS standard for fire services in the area inside the urban cluster is as follows:

(2) In the rural area, initial unit response LOS guideline is within 12 minutes for 80% of all emergency responses within a 12 month period. Fire suppression/protection service level for all properties in the Rural Area shall be at the ISO (Insurance Service Office) Class Protection of <10. Development will provide adequate water supply for fire suppression and protection, and fire service compliant fire connections, required through land development regulations.

The proposed use is for a fire/rescue station. The site will be able to meet this standard as well as help provide this level of service to surrounding development.

Solid Waste

The proposed use of the property as a fire/rescue station should not degrade the level of service below adopted standards.

Schools

The proposed special use permit does not authorize residential units and will not have an impact on the school system.

Recreation

The proposed special use permit does not authorize residential units and will not have an impact on the recreational LOS in the County.

Future Land Use

Policy 5.2.1 of the Future Land Use Element outlines the criteria to determine the appropriateness of potential institutional locations and uses requiring special use permits shall be demonstrated prior to establishing the institutional use:

(a) Optimum service area.

Consistency: The site provides an optimum service area for emergency response. The proposed station will fill a gap between existing Alachua County Fire Rescue (ACFR) stations in order to ensure that the level of service will continue to be provided in this part of the county.

(b) Optimum operating size.

Consistency: The initial phase station will consist of the existing mobile home on the site and an apparatus bay. The permanent station is approximately 10,250 sq. ft. and is expected to have three ACFR staff on site at any given time. This staffing level and building size are optimal to serve the intended population. The site of the permanent station will allow for expansion in the future for additional staff and units, such as an ambulance.

(c) Access to clientele.

Consistency: Access to clientele (aka the public) will be from US Highway 441 with a dedicated egress point for emergency vehicles responding to calls. The proposed station will help reduce response times for citizens in this part of the county.

(d) Compatibility of the scale and intensity of the use in relationship to surrounding uses, taking into account impacts such as, noise, lighting, visual effect, traffic generation, odors.

Consistency: The proposed station is proposed at a scale that is appropriate to adequately serve the public and is also designed in a manner that is compatible with surrounding uses. Regarding compatibility, this proposed plan is compatible with the surrounding area. The property is located along US Highway 441, a state arterial roadway, which will provide safe and efficient access for emergency vehicles to serve the public. Traffic generation is not expected to be significant. In addition, the proposed location of the station is toward the center of the approx. 5 acre project site in order to increase distance from adjacent residences and large portions of the project site have been designated for naturally vegetated areas to remain undeveloped, including areas in closest proximity to adjacent properties under other ownership for the purposes of buffering and screening.

(e) Nature of service provision.

Consistency: The proposed fire/rescue station will provide a fire engine and a rescue apparatus to respond to emergency calls. Fire stations are considered institutional uses (government building or facility).

(f) Needs of the clientele.

Consistency: The intent of this application is to construct a fire/rescue station that will primarily serve an area within the southern portion of Alachua County in and around the Town of Micanopy. The need for a station here is necessitated by the upcoming closure of the fire station in Micanopy (operated by the Town). The overlap of the 5-mile service radius between the existing Micanopy station (set to cease operations) and the proposed Alachua County Fire Rescue station is shown on the exhibit on the following page.

(g) Availability and adequacy of public infrastructure to serve the particular use.

Consistency: The site is located along a major arterial roadway (US Highway 441). Adequate public infrastructure is in place to serve the fire/rescue station.

(h) Preservation and strengthening of community and neighborhood character through design.

Consistency: As shown on the special use permit master plan, the proposed location of the station is located along US Highway 441 for immediate access to a state arterial roadway. In addition, the project layout was established in order to avoid regulated natural resources and provide substantial buffers between adjacent neighboring properties to help ensure compatibility. Also, conditions for the Special Use Permit may be proposed by the County (during the review process) as appropriate in order to ensure compatibility with surrounding residences and other off-site impacts.

(i) Consistency with the goals, objectives, and policies of the Conservation and Open Space Element.

Consistency: The proposed fire/rescue station is consistent with the goals, objectives and policies of the Conservation and Open Space Element (COSE). The applicant submitted an environmental resource assessment as part of the special use permit application that was evaluated by the Alachua County Environmental Protection Department. The proposed request is consistent with the protection of natural resources.

Policy 5.4.2 FIRE PROTECTION: Fire stations shall be located so as to provide the most cost effective, efficient protection of life and property.

Consistency: As indicated by Alachua County Fire Rescue Department, the proposed location of the station will provide more effective and efficient service for this part of the County.

Policy 5.4.2.1 Fire stations may be permitted in all land use categories designated on the Future Land Use Map through the special use permit process, subject to performance criteria regarding site size, scale, and dimensions, building coverage, parking, buffering, access, and other impacts.

Consistency: The proposed site of the fire station is within the designated as Rural / Agriculture future land use map area. The project layout was established in order to avoid regulated natural resources and provide substantial buffers between adjacent properties. In addition, conditions of the Special Use Permit may be proposed by the County as appropriate in order to ensure compatibility with surrounding residences and other off-site impacts.

Unified Land Development Code (ULDC) Consistency

The proposed Special Use Permit is consistent with the applicable sections of the Unified Land Development Code.

Sec. 402.124. of the ULDC lists criteria for approval for special use permits:

(a) The proposed use is consistent with the comprehensive plan and ULDC;

Consistency: The proposed use is consistent with the Comprehensive Plan and ULDC. Government buildings and facilities are allowed within the Agriculture zoning district by Special Use Permit. Institutional uses are allowed in a range of land use categories, including Rural / Agriculture.

(b) The proposed use is compatible with the existing land use pattern and future uses designated by the comprehensive plan;

Consistency: The proposed Special Use Permit is consistent with the applicable policies of the Comprehensive Plan (See Comprehensive Plan Consistency section of report). Regarding the land use pattern, this proposed plan is compatible with the surrounding area. The property is located along US Highway 441, a state arterial roadway, which will provide safe and efficient access for emergency vehicles to serve the public. In addition, the proposed location of the station is toward the central portion of the approximately 5 acre project area in order to increase distance from adjacent residences and large portions of the project site have been designated for naturally vegetated areas to remain undeveloped, including areas in closest proximity to adjacent properties under other ownership for the purposes of buffering and screening.

(c) The proposed use shall not adversely affect the health, safety, and welfare of the public; and

Consistency: The proposed use bolsters public health, safety and welfare by providing a fire/rescue station that can respond to emergency calls within an efficient response time.

(d) Satisfactory provisions and arrangements have been made concerning the following matters, where applicable:

(1) Ingress and egress to the property and proposed structures thereon with particular reference to automotive, bicycle, and pedestrian safety and convenience, traffic flow and control and access in case of fire or catastrophe;

Consistency: As shown on the proposed special use permit master plan, general ingress and egress are located at a direct access point onto US Highway 441.

(2) Off-street parking and loading areas where required, with particular attention to item (1) above;

Consistency: Off street parking and loading areas for staff and the general public are shown on the special use permit master plan so as not to interfere with the deployment of emergency vehicles.

(3) The noise, glare or odor effects of the special use permit on surrounding properties;

Consistency: The proposed location of the station (as shown on the Special Use Permit master plan) is located in the central portion of the project site area in order to maximize the distance from adjacent properties and to diminish noise impacts. There are no anticipated glare or odor effects to impact surrounding properties.

(4) Refuse and service areas, with particular reference to location, screening and items (1) and (2) above;

Consistency: All refuse and service areas will be located within the operating area as identified on the Special Use Permit master plan, with specific details on size and screening will be provided on the required Development Plan in order to ensure safety and traffic flow.

(5) Utilities, with reference to location and availability;

Consistency: The proposed facility will be developed with utilities necessary to serve the intended use.

(6) Screening and buffering with reference to type, dimensions and character;

Consistency: As indicated on the special use permit master plan, large portions of the project site have been designated for naturally vegetated areas to remain undeveloped, including areas in closest proximity to adjacent properties under other ownership for the purposes of buffering and screening.

(7) Signs, if any, and proposed exterior lighting with reference to glare, traffic safety and compatibility with surrounding properties;

Consistency: Any signage will be required to be shown on the subsequent Development Plan, in compliance with ULDC requirements.

(8) Required yards and other greenspace;

Consistency: The proposed fire station is non-residential and will not require open space; however, as indicated on the special use permit master plan, large portions of the project site have been designated for naturally vegetated areas to remain undeveloped, including areas in closest proximity to adjacent properties under other ownership.

(9) General compatibility with surrounding properties; and

Consistency: The Special Use Permit master plan associated with the proposed fire/rescue station has been designed to provide compatibility with surrounding properties. The proposed location of the station is toward the central portion of the approximately 5 acre project area in order to increase distance from adjacent parcels. In addition, large portions of the project site have been designated for naturally vegetated areas to remain undeveloped, including areas in closest proximity to adjacent properties under other ownership for the purposes of buffering and screening.

(10) Any special requirements set forth in this ULDC for the particular use involved.

Consistency: The ULDC does not provide special requirements for fire/rescue stations.



ENVIRONMENTAL RESOURCES ASSESSMENT CHECKLIST

Pursuant to Alachua County Comprehensive Plan 2002, as amended, Conservation Open Space Element Policy 3.4.1, applications for land use change, zoning change, and development approval shall be required to submit an inventory of natural resource information. The inventory shall include site specific identification, analysis and mapping of each resource present on or adjacent to the site. The identification and analysis shall indicate information sources consulted.

Natural Resources Checklist:

Check "Yes" for each resource or resource characteristic identified and discuss and provide supporting material.

Check "N/A" for each resource or resource characteristic not present or otherwise relevant to the application.

Yes	N/A	Surface Waters (ponds, lakes, streams, springs, etc.)
Yes	N/A	Wetlands
Yes	N/A	Surface Water or Wetland Buffers
Yes	N/A	Floodplains (100-year)
Yes	N/A	Special Area Study Resource Protection Areas (Cross Creek, Idylwild/Serenola, etc.)
Yes	N/A	Strategic Ecosystems (within or adjacent to mapped areas)
Yes	N/A	Significant Habitat (biologically diverse natural areas)
Yes	N/A	Listed Species/Listed Species Habitats (FNAI S1, S2, & S3; State or Federally E, T, SSC)
Yes	N/A	Non-native Invasive Species
Yes	N/A	Recreation/Conservation/Preservation Lands
Yes	N/A	Significant Geological Features (caves, springs, sinkholes, etc.)
Yes	N/A	High Aquifer Recharge Areas
Yes	N/A	Wellfield Protection Areas
Yes	N/A	Wells
Yes	N/A	Soils
Yes	N/A	Mineral Resources Areas
Yes	N/A	Topography/Steep Slopes
Yes	N/A	Historical and Paleontological Resources
Yes	N/A	Hazardous Materials Storage Facilities
Yes	N/A	Contamination (soil, surface water, ground water)

Signed: _____ *MB* Project #: _____ Date: _____

For assistance in completing this form, please visit the Alachua County Environmental Protection Department (ACEPD) website at <http://alachuacounty.us/Depts/EPD/Pages/EPD.aspx> or contact ACEPD at (352) 264-6800.