FINAL DEVELOPMENT PLANS FOR:

JONESVILLE SELF STORAGE

ALACHUA COUNTY, FLORIDA

SECTION 3, TOWNSHIP 10 SOUTH, RANGE 18 EAST

SUBMITTED TO:

ALACHUA COUNTY GAINESVILLE REGIONAL UTILITIES SUWANNEE RIVER WATER MANAGEMENT DISTRICT FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

GENERAL NOTES

JONESVILLE SELF STORAGE

2. PROJECT DESCRIPTION:

1. PROJECT NAME:

THE PROPOSED PROJECT IS A 3-STORY (MAXIMUM BUILDING HEIGHT OF 40', 130,000 SQ FT GROSS FLOOR AREA), STORAGE FACILITY LOCATED ON A PORTION OF ALACHUA COUNTY PARKING NECESSARY FOR THE STORAGE FACILITY. THE PROJECT WILL UTILIZE THE EXISTING STORMWATER POND TO THE WEST AND WILL NOT INCLUDE ANY ADDITIONAL STORAGE ON SITE. THE PROJECT WILL BE ACCESSED VIA THE EXISTING DRIVE TO THE WEST, WHICH CONNECTS TO 143RD STREET.

3. PROJECT ADDRESS:

14217 WEST NEWBERRY ROAD NEWBERRY, FL 32669

4. TAX PARCEL NUMBER(S).

04344-001-000

WALKER OWEN, P.E.

5. ENGINEERS OF RECORD:

11801 RESEARCH DRIVE ALACHUA, FLORIDA 32615 (352) 331-1976 walkero@chw-inc.com

6. NUMBER OF UNITS/AREA OF BUILDINGS:

128,757 SF

7. DENSITY:

8. PHASING:

N/A.

9. DEVELOPMENT CRITERIA:

ТҮРЕ	CRITERIA	REQUIRED	PROVIDED
OPEN SPACE	N/A	PER SEC. 407.52, NOT REQUIRED	PER SEC. 407.52, NOT REQUIRED
BUFFERS	NO PERIMETER BUFFERS ARE REQUIRED PER ULDC TABLE 407.43.1	NO PERIMETER BUFFERS ARE REQUIRED PER ULDC TABLE 407.43.1	NO PERIMETER BUFFERS ARE REQUIRED PER ULDC TABLE 407.43.1
TREE CANOPY	RETAIN 20% OF EXISTING CANOPY	0.526 AC.	0.58 AC. (22%)
SITE CANOPY	PROVIDE 30% COVERAGE	0.97	1.35 AC. (42%)
PARKING	1/EMPLOYEE * 3 EMPLOYEES	3	3
BICYCLE PARKING	1/10 VEHICULAR PARKING	0	o
MOTORCYCLE PARKING	1/40 VEHICULAR PARKING	0	0

10. DEVELOPMENT SITE AREA:

ТҮРЕ	ACRES	SF	% OF TOTAL
TOTAL PROJECT AREA:	3.23 AC	140,857 SF	100%
NON-RESIDENTIAL BUILDING AREA:	0.99 AC	42,919 SF	30%
ROW/PAVEMENT/SIDEWALK/EASEMENTS AREA:	0.84 AC	36,697 SF	26%
EXISTING IMPERVIOUS AREA:	0.00 AC	0 SF	0%
PROPOSED IMPERVIOUS AREA:	1.83 AC	79,616 SF	57%
TOTAL IMPERVIOUS AREA:	1.83 AC	79,616 SF	57%
OPEN SPACE AREA(THIS PHASE):	N/A	N/A	N/A
CONSERVATION/PRESERVATION AREA:	N/A	N/A	N/A
STORMWATER MANAGEMENT AREA:	N/A	N/A	N/A
FLOOD PLAINS AREA:	0.00	0 SF	0%
WETLANDS AREA:	0.00 AC	0 SF	0%
SURFACE WATER AREA:	0.00 AC	0 SF	0%
STRATEGIC ECOSYSTEMS AREA:	0.00 AC	0 SF	0%
SIGNIFICANT/LISTED SPECIES AREA:	0.00 AC	0 SF	0%
BUFFERS/SCREENING AREA:	N/A	N/A	N/A
GEOLOGICAL FEATURES AREA:	0.00 AC	0 SF	0%

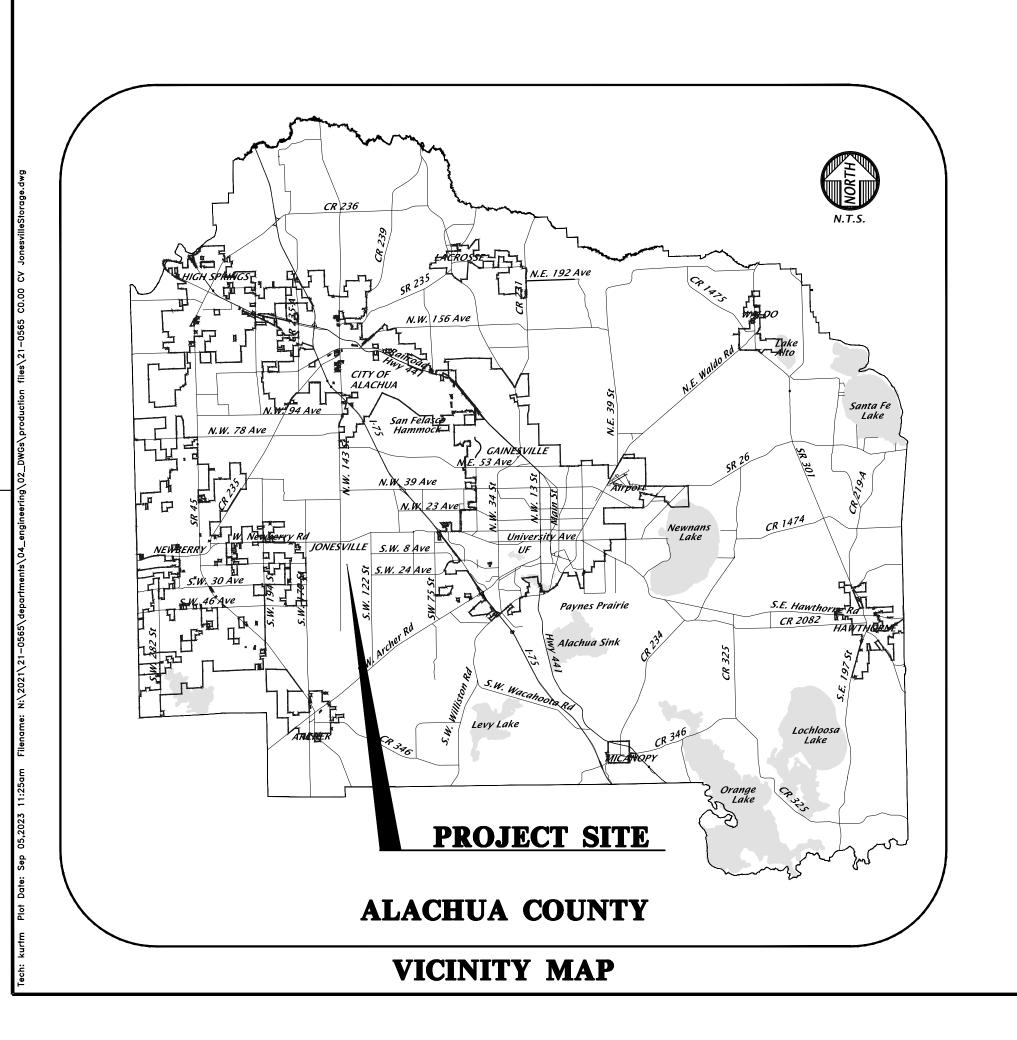
11. LOT/BUILDING REQUIREMENTS:

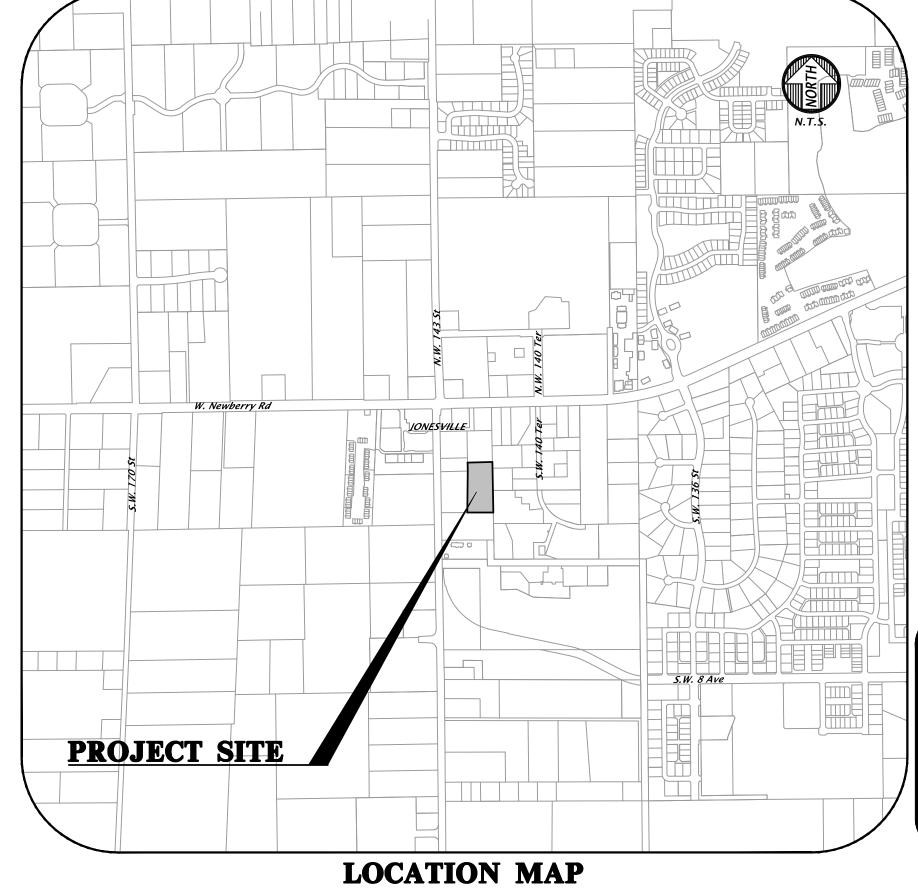
ТҮРЕ	REQUIRED	PROVIDED
MINIMUM LOT AREA (ACRES)	N/A	N/A
MINIMUM WIDTH AT FRONT BUILDING LINE (FT)	N/A	N/A
MINIMUM DEPTH (FT)	N/A	N/A
FRONT SETBACK (FT)	15'	15'
REAR SETBACK (FT)	5'	5'
SIDE SETBACK (FT)	5'	5'
STREET SIDE (FT)	N/A	N/A
MAXIMUM BUILDING HEIGHT (FT)	40	40
MAXIMUM BUILDING COVERAGE	N/A	N/A

12. TRIP GENERATION TABLE:

Jonesvill	le Self-Storage - Trip	Generation								
				Daily	AM Peak			PM Peak		
Land Use	TTE LU Code Variable Type Variable		Variable Size	Total	Total	In	Out	Total	In	Out
	Proposed Site			1	Li		1			
Mini-Warehouse	151	KSF GLA	130	189	12	7	5	20	9	11
	Existing Site									
Health/Fitness Club (Shares Access but Separate Parcel)	492	KSF GLA	8.125	N/A*	11	6	5	28	16	12
Combined Volumes					23	13	10	48	25	23

	SHEET INDEX	
SHEET NUMBER	DESCRIPTION	
C0.00	COVER SHEET AND INDEX	
C0.10	GENERAL NOTES	
C0.11	LEGEND	
1 - 3 OF 3	ALTA/NSPS LAND TITLE SURVEY	
C0.20	STORMWATER POLLUTION PREVENTION NOTES	
C0.21	STORMWATER POLLUTION PREVENTION PLAN	
C0.30	DEMOLITION AND TREE PROTECTION PLAN	
C1.00	MASTER SITE PLAN	
C1.10	DETAILED HORIZONTAL CONTROL AND SITE PLAN	
C2.10	DETAILED GRADING AND DRAINAGE PLAN	
C2.30	CONSTRUCTION DETAILS	
C3.10	DETAILED UTILITY PLAN	
AE201	ARCHITECTURAL ELEVATIONS	
SD101	DUMPSTER PLAN AND ELEVATIONS	
LS-1 - LS-3	LANDSCAPE PLANS	
P1	PHOTOMETRIC PLAN	







FOR REVIEW ONLY NOTIFY GRU WASTEWATER ENGINEERING 48

IF PROPER NOTIFICATION IS NOT MADE, CONTRACTOR IS SUBJECT TO STOP WORK ORDER.

DESIGN IS IN ACCORDANCE WITH CURRENT GRU DESIGN STANDARDS. PROPER NOTIFICATION IS NOT MADE, CONTRACTOR IS SUBJECT TO BE SHUT DOWN.

C0.00

This item has been digital

signed and sealed by Walk Fain Owen, PE on the date

GENERAL NOTES

- 1. THE TOPOGRAPHIC AND EXISTING INFORMATION SHOWN HEREON WERE TAKEN FROM A BOUNDARY AND LIMITED TOPOGRAPHIC SURVEY PREPARED BY CHW, AND DATED MAY 2, 2022.
- 2. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. THE RESPECTIVE UTILITY COMPANIES SHALL RELOCATE ALL UTILITIES THAT INTERFERE WITH THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES DURING THE RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE CAUSED TO THE CONTRACTOR BY THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- 3. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE APPROPRIATE UTILITY COMPANIES IN ORDER TO ALLOW MARKING OF THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES IN ADVANCE OF CONSTRUCTION BY CALLING THE FLORIDA SUNSHINE STATE ONE-CALL CENTER, INC. AT 1-800-432-4770 OR 811. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "SUNSHINE" 48 HOURS PRIOR TO ANY CLEARING OF CONSTRUCTION TO IDENTIFY ALL UTILITY LOCATIONS. NO CONSTRUCTION ACTIVITY MAY OCCUR UNTIL THE UTILITIES HAVE BEEN PROPERLY MARKED.
- 4. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL LOCATION AND VERTICAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF THE PROJECT ENVELOPE SHOWN PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL CALL ALL UTILITY COMPANIES TO HAVE THE LOCATIONS OF ALL UTILITIES FIELD MARKED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUING CONSTRUCTION.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
- 6. ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS BEFORE COMMENCING CONSTRUCTION WORK, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- 7. ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK INCLUDING LANDSCAPING.
- 8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY AND/OR MUNICIPALITY INSTRUCTIONS.
- 9. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND SHALL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPES ARE BEING PLACED. DEWATERING SHALL BE USED AS REQUIRED, AND PERMITTED THROUGH LOCAL GOVERNMENTAL AGENCIES AND WATER MANAGEMENT DISTRICT PER CURRENT REGULATIONS AT THE SOLE COST OF THE CONTRACTOR
- 11. CONTRACTOR TO REVIEW GEOTECHNICAL REPORT AND BORINGS PRIOR TO BIDDING THE PROJECT AND FOLLOW OUTLINED CONSTRUCTION TECHNIQUES.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SERVICES OF AN APPROVED TESTING LABORATORY AND/OR SOILS ENGINEER, APPLICABLE REGULATORY AGENCIES, AND AS MAY BE FOUND IN THE ENGINEERING CONSTRUCTION DRAWINGS OR SPECIFICATIONS. CONTRACTOR TO VERIFY ALL TESTING WITH THE OWNER PRIOR TO COMMENCING CONSTRUCTION. UPON COMPLETION OF THE WORK, THE TESTING LABORATORY AND/OR SOILS ENGINEER MUST SUBMIT TO THE OWNER'S ENGINEER CERTIFICATIONS STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
- 13. INSTALL SILT FENCE PRIOR TO SITE DEMOLITION OR NEW SITE CONSTRUCTION. INSTALL SILT FENCE PER FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL AND PROVIDE TOE-IN. THE CONTRACTOR SHALL MAINTAIN THE SILT FENCE IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. THE PROJECT SILT FENCE SHALL BE INSPECTED DAILY AND ANY CORRECTIVE MEASURES SHALL BE COMPLETED WITHIN 24 HOURS.
- 14. ALL TREE BARRICADES AND SILT FENCING SHALL BE INSTALLED AND INSPECTED BY ALACHUA COUNTY ENVIRONMENTAL PROTECTION DEPARTMENT PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR CONSTRUCTION ACTIVITIES.
- 15. THE CONTRACTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL CONSTRUCTION IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- 16. ALL DELETERIOUS MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER'S ENGINEER OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED AND REMOVED FROM THE SITE. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE AREAS.
- 17. CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS SHALL BE SODDED, SEEDED, MULCHED, OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL, AS DIRECTED BY THESE PLANS, IMMEDIATELY FOLLOWING CONSTRUCTION PER LOCAL INSPECTOR.
- 18. WORK BEING PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON THE SITE BY OTHER CONTRACTORS AND/OR UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES.
- 19. ALL PAVEMENT DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

IS NOT LIMITED TO PROPOSED PIPING, STRUCTURES, UTILITIES, PAVING, CURBING, ETC.).

- 20. THE GOVERNING STANDARDS AND SPECIFICATIONS, UNLESS STATED OTHERWISE SHALL BE PER FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD PLANS (FY 2023-24 ROAD CONSTRUCTION) AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION DATED JANUARY 2023, AS AMENDED BY CONTRACT DOCUMENTS. ALL MATERIALS AND METHODS SHALL MEET FDOT SPECIFICATIONS AND SHALL BE PRODUCED OR OBTAINED FROM AN FDOT APPROVED SOURCE.
- 21. ALL NEW TRAFFIC CONTROL DEVICES (SIGNS AND PAVEMENT MARKINGS) SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT STANDARDS.
- 22. ALL STRIPING WITHIN THE ALACHUA COUNTY RIGHT OF WAY SHALL BE PLACED FIRST AS TEMPORARY STRIPING FOLLOWED BY APPLICATION OF THERMOPLASTIC STRIPING 30 DAYS LATER.
- 23. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROPER BENCHMARKS ON-SITE. EXISTING BENCH MARKS SCHEDULED FOR REMOVAL SHALL BE RELOCATED AT CONTRACTORS EXPENSE AND RE-ESTABLISHED BY A LICENSED SURVEYOR.
- 24. ALL HANDICAP RAMPS SHALL COMPLY WITH THE FLORIDA ACCESSIBILITY CODE AND AMERICANS WITH DISABILITIES ACT.
- 25. A PRE-CONSTRUCTION CONFERENCE SHALL BE REQUIRED. THE CONTRACTOR, ENGINEER OF RECORD, AND THE OWNER SHALL MEET WITH THE ALACHUA COUNTY PUBLIC WORKS DEPARTMENT PRIOR TO INITIATION OF SITE CONSTRUCTION.
- 26. ANY CHANGE ORDER REQUESTS, SITE REVISIONS, AND PAY REQUESTS MUST BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD.
- 27. CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING AS NEEDED THROUGHOUT ALL CONSTRUCTION ACTIVITIES COVERED BY THESE PLANS.
 DEWATERING SHALL BE DONE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS, JANUARY 2023 EDITION, SECTION 120.
- 28. THE CONTRACTOR IS RESPONSIBLE FOR THE PERFORMANCE AND COST OF ALL CLEARING AND GRUBBING AND ALL WORK OF REMOVAL, DISPOSAL, AND REPAIR OR REPLACEMENT OF EXISTING IMPROVEMENTS WHERE SHOWN IN THE PLANS, OR ORDERED BY THE ENGINEER TO BE REMOVED, OR WHERE REQUIRED BECAUSE OF THE CONSTRUCTION OPERATIONS, IN ORDER TO CONSTRUCT THE PROPOSED IMPROVEMENTS (THIS INCLUDES BUT
- 29. AN AS-BUILT SURVEY MAY BE REQUIRED BY REGULATORY AGENCIES. CONTRACTOR TO COORDINATE WITH PROJECT OWNER FOR COMPLETION OF AS-BUILT SURVEYS PRIOR TO PROJECT / PERMIT CLOSE-OUT.

MAINTENANCE OF TRAFFIC (MOT) NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR CREATING A MAINTENANCE OF TRAFFIC (MOT) PLAN FOR CONSTRUCTION ACTIVITY THAT OCCURS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO SIDEWALK WORK AND ACTIVITIES THAT REQUIRE A LANE (OR ROAD) CLOSURE, SUCH AS CONNECTION TO SEWER MANHOLES AND WATER MAINS. THE MOT PLAN MUST BE CREATED BY A REGISTERED PROFESSIONAL ENGINEER WHO IS CERTIFIED TO DO SO BY THE FDOT MOT CERTIFICATION TRAINING. THE MOT PLAN MUST ALSO BE IN ACCORDANCE WITH FDOT STANDARD PLANS AND FDOT STANDARD SPECIFICATIONS REQUIREMENTS AND MUST BE REVIEWED AND APPROVED BY THE ACPWD, AS REQUIRED.
- 2. THE CONTRACTOR SHALL SUBMIT THE MOT TO THE APPROPRIATE REGULATORY AUTHORITY PRIOR TO WORK REQUIRING THE MOT FOR APPROVAL. NO WORK IN THE ROW SHALL OCCUR UNTIL THE MOT IS APPROVED.

DEMOLITION GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ALL DEMOLITION MATERIALS IN A SAFE AND LAWFUL MANNER. THE CONTRACTOR SHALL SALVAGE TO THE OWNER ANY ITEM AS DETERMINED BY THE OWNER. ONCE DEMOLISHED, MATERIAL SHALL BE DISPOSED OF PROPERLY AND IMMEDIATELY.
- 2. REMOVE ALL IMPROVEMENTS DEFINED ON THE DEMOLITION PLAN. SALVAGE ITEMS TO OWNER AS DEFINED BY THE OWNER'S REPRESENTATIVE AND CONSTRUCTION DOCUMENT SPECIFICATIONS.
- 3. EXISTING PAVEMENT AND SIDEWALK EDGES THAT BORDER NEW CONSTRUCTION OR DEMOLITION ARE TO BE SAW-CUT TO PROVIDE A SMOOTH TRANSITION
- 4. ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED.
- 5. ROOTS LARGER THAN 1 INCH IN DIAMETER ON TREES TO BE PRESERVED THAT ARE ENCOUNTERED DURING CONSTRUCTION MUST BE CUT CLEANLY AND COVERED OVER WITH SOIL BY THE END OF THE WORKING DAY.
- 6. ALL ASPHALT AND LIMEROCK WILL BE COMPLETELY REMOVED FROM AREAS THAT WILL BE LANDSCAPED. IN PARTICULAR, AREAS WHERE ASPHALT WILL BE REMOVED MUST HAVE THE TOP HARD SURFACE, LIMEROCK, AND COMPACTED SOIL REMOVED. REPLACEMENT SOIL SHALL BE CLEAN DEEP FILL OF PH 5.5 6.5. THE DEPTH OF UNCOMPACTED SOIL PRIOR TO PLANTING MUST BE AT LEAST 3 FEET TO ACCOMMODATE FUTURE TREE ROOT GROWTH. NO LIMEROCK, LARGE STONES, OR OTHER CONSTRUCTION DEBRIS CAN REMAIN IN AREAS TO BE LANDSCAPED.

PAVING, GRADING, AND DRAINAGE GENERAL NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL PRACTICES DURING CONSTRUCTION TO MINIMIZE ON-SITE EROSION/SEDIMENTATION AND TO PROTECT AGAINST DAMAGE TO OFF SITE PROPERTY. THE FOLLOWING PRACTICES SHALL BE EMPLOYED:
- A. EROSION AND SEDIMENTATION CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AREAS OF OFF-SITE DISCHARGE DURING CONSTRUCTION SHALL BE PROTECTED WITH A SEDIMENT BARRIER PER FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL TO PREVENT OFF-SITE DISCHARGE OF SEDIMENTS. A SILT BARRIER SHALL SPECIFICALLY BE REQUIRED, CONSTRUCTED, AND MAINTAINED AS INDICATED ON THIS SHEET. TEMPORARY SEED AND MULCH SHOULD BE USED TO CONTROL ON-SITE EROSION WHEN IT IS NOT PRACTICAL TO ESTABLISH PERMANENT VEGETATION. SOD SHALL BE PLACED AS EARLY AS POSSIBLE ON ALL SLOPES STEEPER THAN 5 (FT) HORIZONTAL TO 1 (FT) VERTICAL. SOD SHALL BE PINNED AS REQUIRED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. THE CONTRACTOR SHALL INSPECT AND REPAIR AS NECESSARY THE EROSION/SEDIMENTATION PROTECTION AT THE END OF EACH WORKING DAY.
- NOTE: EROSION/SEDIMENTATION CONTROL SHALL BE PLACED PRIOR TO SITE EXCAVATION AND SHALL REMAIN IN PLACE UNTIL SITE VEGETATION AND LANDSCAPING IS COMPLETE.
- B. ALL INLET STRUCTURES AND PIPE SHALL BE PROTECTED FROM SILTATION BY CONSTRUCTING INLET PROTECTION AS DEFINED BY THESE PLANS OR IN THE FDOT STANDARDS. IF SILTATION OCCURS, THE CONTRACTOR IS RESPONSIBLE TO REMOVE SILTATION AS PART OF THE BASE CONTRACT AT NO ADDITIONAL COST TO THE OWNER.
- C. EXCAVATED STORMWATER FACILITIES SHALL BE CONSTRUCTED AS PART OF THE INITIAL CONSTRUCTION. THE FACILITIES SHALL BE ROUGH GRADED TO THE DESIGN ELEVATIONS. AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED. THE FACILITIES BOTTOM SHALL BE OVER-EXCAVATED BY SIX INCHES, SCARIFIED, BACKFILLED WITH ARCHER FILL (HAVING NO MORE THAN 5% PASSING NO. 200 SIEVE), AND GRADED TO FINAL DESIGN GRADES. EXCESS AND UNSUITABLE SOILS SHALL BE REMOVED FROM THE BASIN (REMOVE ALL ACCUMULATED SILTS, CLAYS, ORGANIC, AND DEBRIS). FINALLY, SCARIFY AND RAKE BOTTOM AND VEGETATE.
- D. PERMANENT VEGETATIVE STABILIZATION SHALL BE APPLIED ON FINE GRADED SITES AS SOON AS PRACTICAL. TEMPORARY SEEDING SHOULD BE EMPLOYED TO PREVENT EXPOSURE OF BARREN SOILS UNTIL PERMANENT VEGETATION CAN BE APPLIED.
- E. ALL SLOPES 1:3 OR STEEPER REQUIRE LAPPED OR PEGGED SOD.
- F. EROSION, SEDIMENT AND TURBIDITY CONTROL ARE THE RESPONSIBILITY OF THE CONTRACTOR. THESE DELINEATED MEASURES ARE THE MINIMUM REQUIRED, WITH ADDITIONAL CONTROLS TO BE UTILIZED AS NEEDED, DEPENDENT UPON ACTUAL SITE CONDITIONS AND CONSTRUCTION OPERATION.
- G. ALL SYNTHETIC BALES, SILT FENCE, AND OTHER EROSION CONTROL MEASURES SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
- 2. THE CONTRACTOR SHALL MAINTAIN IN HIS POSSESSION A COPY OF THE WATER MANAGEMENT DISTRICT CONSTRUCTION PERMIT. HE SHALL BE RESPONSIBLE FOR ADHERENCE TO ALL CONDITIONS CONTAINED IN THE PERMIT.
- 3. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
- 4. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER AND OWNER'S ENGINEER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR THE PERFORMANCE OF THE ITEM.
- 5. THE COST OF ALL TESTING OF COMPACTION AND OTHER REQUIRED TESTS SHALL BE PAID BY THE CONTRACTOR AND MADE AVAILABLE TO THE ENGINEER OF RECORD DURING SITE INSPECTIONS.
- 6. GENERAL CONTRACTOR TO CONTACT ENGINEER OF RECORD AND THE OWNER REPRESENTATIVE 48 HOURS IN ADVANCE PRIOR TO BACKFILLING TRENCHES FOR FIELD INSPECTION AND PRIOR TO LAYING ASPHALT FOR FIELD INSPECTION.
- 7. CONTRACTOR IS TO SUBMIT ALACHUA COUNTY APPROVED ASPHALT DESIGN MIXES TO THE OWNER'S REPRESENTATIVE AND ENGINEER OF RECORD BEFORE ANY WORK IS TO COMMENCE ON PROJECT. THE MIXTURE AT THE PLANT OR ON THE ROAD SHALL NOT EXCEED 335 DEGREES. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND PROVIDE TEMPERATURE READINGS PRIOR TO LAYING ASPHALT.
- 8. AS DETERMINED NECESSARY AND DIRECTED BY ALACHUA COUNTY PUBLIC WORKS DEPARTMENT OR ENGINEER OF RECORD, THE CONTRACTOR SHALL UNDERCUT ALL UNSUITABLE MATERIAL 24 INCHES BELOW THE BOTTOM OF ANY PROPOSED LIMEROCK BASE, AND SHALL BACKFILL WITH FILL MATERIAL MEETING FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. SEE FDOT INDEX 120-001 AND 120-002.
- 9. PROVIDE LEVEL PLATFORM IN FRONT OF ALL EGRESS DOORS. THE FLOOR SURFACE ON BOTH SIDES OF A DOOR SHALL BE AT THE SAME ELEVATION. THE FLOOR SURFACE OR LANDING ON EACH SIDE OF THE DOOR SHALL EXTEND FROM THE DOOR IN THE CLOSED POSITION A DISTANCE EQUAL TO THE DOOR WIDTH AND SHALL COMPLY WITH SECTION 4.13.6 MANEUVERING CLEARANCES AT DOORS OF THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.
- 10. RAMPS SHALL HAVE LEVEL LANDINGS AT THE BOTTOM AND TOP OF EACH RAMP RUN. CURB RAMPS ARE NOT REQUIRED TO HAVE LANDINGS.
 LANDINGS SHALL HAVE THE FOLLOWING FEATURES:
- A. THE LANDING SHALL BE AT LEAST AS WIDE AS THE RAMP RUN LEADING TO IT.
- B. ALL LANDINGS ON RAMPS SHALL BE NOT LESS THAN 60" CLEAR, AND THE BOTTOM OF EACH RAMP SHALL HAVE NOT LESS THAN 72" OF STRAIGHT AND LEVEL CLEARANCE.
- C. IF RAMPS CHANGE DIRECTION AT LANDINGS, THE MINIMUM LANDING SIZE SHALL BE 60"X60". IF A RAMP RUN HAS A RISE GREATER THAN 6" OR A HORIZONTAL PROJECTION GREATER THAN 72" THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS. HANDRAILS SHALL BE SHOWN ON THE SITE PLAN.
- 11. THE CONTRACTOR SHALL STOCKPILE TOPSOIL AND CONSTRUCTION MATERIALS IN AREAS DESIGNATED BY THE OWNER.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING RECORD DRAWINGS OR AS-BUILT SURVEY AS NOTED IN NOTE #29 UNDER SITE GENERAL NOTES.
- 13. ALL CONCRETE USED SHALL BE 2,500 PSI MINIMUM.
- 14. ALL WELLS, CLEANOUTS, MANHOLE TOPS, PULL BOX COVERS AND OTHER UTILITY APPURTENANCES IN THE AREA OF REDEVELOPMENT SHALL BE PROTECTED AND TOPS ADJUSTED TO MATCH PROPOSED GRADES.
- 15. CONTRACTOR SHALL SAW CUT, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS ANY EXISTING PAVEMENT.
- 16. SOD SHALL BE PLACED AROUND ALL STRUCTURES AS DIRECTED BY FDOT INDEX 524-001 AND FDOT INDEX 425- AND 430- SERIES AS APPROPRIATE. ALL OTHER DISTURBED AREAS SHALL BE SEEDED AND MULCHED.
- 17. ALL STORM SEWER CURB AND DITCH BOTTOM INLETS SHALL CONFORM TO THE APPLICABLE FDOT STANDARD PLANS ALL DRAINAGE STRUCTURES
- WITH GRATES THAT ARE LOCATED IN GRASSED AREAS SHALL HAVE THE GRATE CHAINED TO THE STRUCTURE USING AN EYE BOLT AND CHAIN.
- 18. ALL CONCRETE STRUCTURES SHALL HAVE ALL EXPOSED EDGES CHAMFERED 3/4" AND CLASS I SURFACE FINISH.
- 19. ALL HDPE FITTINGS AND CONNECTORS SHALL BE WATER TIGHT. SEE SPECIFICATIONS FOR MORE INFORMATION.
 20. COMPACTION OF ALL MATERIALS SHALL BE LIMITED TO STATIC MODE ONLY, UNLESS DIRECTED OTHERWISE BY THE ENGINEER OF RECORD.
- 21. ALL RCP PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC IN ACCORDANCE WITH FDOT STANDARD SPECIFICATION SECTION 430.

GRU UTILITY NOTES

- 1. NO UTILITY PERMITS ARE REQUIRED.
- 2. THE UTILITY PLAN AND PLAT SHOWS ALL PUBLIC UTILITY EASEMENTS (PUE'S) IN A METES AND BOUNDS FORMAT. UPON GRU'S APPROVAL OF PLANS FOR DEVELOPMENTS NOT BEING PLATTED, OWNER MAY CHOOSE TO GRANT THE METES AND BOUNDS EASEMENTS AS SHOWN, OR A BLANKET EASEMENT OVER THE ENTIRE PROPERTY, PROVIDED FACILITIES ARE INSTALLED WITHIN THE PRESCRIBED DISTANCES AS SHOWN ON THE UTILITY PLANS AND IN ACCORDANCE WITH THE UTILITY SEPARATION REQUIREMENTS TABLE IN APPENDIX C OF THE GRU W/WW/RCW DESIGN STANDARDS.
- 3. ALL CONSTRUCTION MATERIALS AND METHODS FOR POTABLE WATER, WASTEWATER, AND RECLAIMED WATER SYSTEMS SHALL CONFORM TO GRU'S MOST RECENT POTABLE WATER, WASTEWATER, & RECLAIMED WATER SYSTEM DESIGN STANDARDS AND APPROVED MATERIALS MANUAL.
- 4. POTABLE WATER AND WASTEWATER MAINS SHALL MAINTAIN A MINIMUM 10 FEET HORIZONTAL AND 1.5 FOOT VERTICAL SEPARATION.
- 5. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FOR POTABLE WATER MAINS, WASTEWATER FORCE MAINS, AND RECLAIMED WATER MAINS, AND 15 FEET FOR GRAVITY WASTEWATER MAINS SHALL BE PROVIDED AND MAINTAINED FROM BUILDINGS, TRANSFORMERS, AND ALL PERMANENT STRUCTURES. SERVICE LATERALS REQUIRE 5 FEET LESS CLEARANCE FOR EACH OF THE UTILITIES; NOTE THAT WATER SERVICE LATERALS SHALL BE INSTALLED WITHIN 3" SLEEVES. (SEE APPENDIX C OF GRU'S DESIGN STANDARDS AND CONSTRUCTION DETAILS FOR POTABLE WATER, WASTEWATER, AND RECLAIMED WATER HORIZONTAL SEPARATION DISTANCES FOR PARALLEL AND PERPENDICULAR CLEARANCE FROM OTHER OBJECTS TABLE.)
- 6. POTABLE WATER SERVICES, REQUIRING A SEPARATE WATER METER, SHALL BE PROVIDED TO EACH LOT, BUILDING OR PARCEL. EFFECTIVE OCTOBER 1, 2007, FOR COMMERCIAL, MULTIFAMILY, AND INSTITUTIONAL DEVELOPMENTS, THE DEVELOPER SHALL BE RESPONSIBLE FOR INSTALLING POTABLE WATER SERVICES AND YOKE ASSEMBLY PACKAGE UP TO AND INCLUDING THE METER YOKE, BOX (INSTALLED AT FINAL GRADE) AND ASSOCIATED APPURTENANCES, FOR METERS 1" AND SMALLER (SEE GRU W/WW/RCW CONSTRUCTION DETAIL W 8.0). WITH A ONE-YEAR WARRANTY.
- 7. 2" VALVES LOCATED IN PAVED AREAS, INCLUDING SIDEWALKS, SHALL BE GRU APPROVED CAST IRON, RESILIENT SEAT GATE VALVES WITH STANDARD 2"
 OPERATING NUT, THREADED WITH BRASS NIPPLE BETWEEN THE VALVES AND TAPPING SADDLE OR TAPPED TEE.
- 8. WATER MAINS 4" IN DIAMETER AND GREATER, PLACED UNDER ROADWAYS, SHALL BE CEMENT LINED DUCTILE IRON PIPE (CLDIP) EXTENDING 5 FEET PAST THE BACK OF CURB (3 FEET WITHIN CITY OF GAINESVILLE LIMITS). TRACER WIRE INSTALLED ON PVC WATER MAINS SHALL CONTINUE ACROSS THE CLDIP SECTIONS.
- 9. 1" OR 2" WATER SERVICE CROSSINGS LOCATED UNDER ROADWAYS SHALL BE ENCASED IN 3" SCH 40 PVC EXTENDING 5' PAST THE BACK OF CURB (3 FEET INSIDE CITY OF GAINESVILLE LIMITS).
- 10. ANCHORING TEES, COUPLINGS, AND BENDS SHALL BE USED ON ALL FIRE HYDRANT ASSEMBLIES.
- 11. ALL PRESSURIZED MAIN FITTINGS SHALL BE MECHANICAL JOINT WITH RESTRAINED JOINT GLANDS; A SUFFICIENT LENGTH OF THE PIPE CONNECTED TO THE FITTINGS SHALL BE MECHANICALLY RESTRAINED TO PROVIDE REACTION AS SPECIFIED ON THE RESTRAINED JOINT STANDARD IN THE CONSTRUCTION DETAILS OF THE GRU STANDARDS (W 2.8 & 2.9, RCW 2.8 & 2.9, AND WW 2.4 & 2.5). CALCULATIONS FOR REQUIRED RESTRAINT LENGTH MUST BE PROVIDED IF THE SPECIFIED RESTRAINT LENGTH, DUE TO SOIL TYPE OR DEPTH OF COVER, DIFFERS FROM THOSE PROVIDED ON THESE DETAILS.
- 12. ALL SANITARY WASTEWATER SERVICE LATERALS SHALL BE MIN. 4" DIAMETER PVC (SDR 26) AT 1.00% MIN. SLOPE UNLESS OTHERWISE LABELED.
- 13. WASTEWATER CLEANOUT COVERS SHALL BE RATED FOR TRAFFIC LOAD BEARING.
- 14. MANHOLES WHICH ARE NOT INSTALLED UNDER PAVEMENT SHALL HAVE A RIM ELEVATION AT LEAST 6" ABOVE FINISHED GRADE, AND A 10:1 SLOPE TO FINISHED GRADE.
- 15. UNLESS OTHERWISE NOTED ON THE PLANS, THE FINISHED FLOOR ELEVATIONS OF BUILDINGS SHALL BE A MINIMUM OF 6" ABOVE THE LOWEST UPSTREAM MANHOLE TOP. IF THIS IS INFEASIBLE, A WASTEWATER SERVICE LATERAL BACKWATER VALVE (BWV) IS REQUIRED ON THE CUSTOMER SIDE OF THE CLEANOUT.
- 16. WHEN A POTABLE OR RECLAIMED WATER MAIN, OR A WASTEWATER FORCE MAIN IS ROUTED WITHIN 10 FT. OF AN ELECTRIC TRANSFORMER, A 20 FT. LENGTH OF DIP SHALL BE CENTERED ON THE TRANSFORMER WITH MECHANICAL RESTRAINT AT EACH END. NO FITTINGS OR VALVES SHALL OCCUR WITHIN 10 FT. OF THE NEAREST EDGE OF THE TRANSFORMER. A MINIMUM CLEARANCE OF 3' SHALL BE MAINTAINED BETWEEN THE MAIN AND THE TRANSFORMER.
- 17. CALL 811 BEFORE DIGGING.
- 18. CONTRACTOR SHALL CONTACT WESLEY LESTER, GRU GAS OPERATIONS SUPERVISOR, AT PH: (352) 538-2570 (2) TWO BUSINESS DAYS PRIOR TO DIGGING.
- 19. OWNER'S CONTRACTOR SHALL CALL 811 TO LOCATE, PROTECT AND MAINTAIN 36" MIN. COVER OVER
 THE EXISTING GAS MAINS & GAS SERVICE DURING ALL PHASES OF DEMOLITION/CONSTRUCTION. THE DEVELOPER WILL BE RESPONSIBLE FOR THE COST OF THE
 GAS MAIN RELOCATION.
- 20. OWNER'S CONTRACTOR WILL MAINTAIN A MIN. 12" ALL-CLEAR ZONE AROUND GAS MAINS AND SERVICES.
- 21. PVC GAS CASINGS FURNISHED AND INSTALLED BY DEVELOPER'S CONTRACTOR BURIED AT A MIN. DEPTH OF 36" BELOW FINISHED GRADE.
- 22. DEVELOPER'S CONTRACTOR SHALL CONTACT VANESSA ARAGON, GRU GAS MARKETING, PH# (352) 393-1466, 21 DAYS DAYS PRIOR TO THE START OF CONSTRUCTION.
- 23. DEVELOPER'S CONTRACTOR SHALL CONTACT VANESSA ARAGON, GRU GAS MARKETING, PH.#: (352) 393-1466, 5 DAYS PRIOR TO THE INSTALLATION OF GAS CASINGS, AND TO REQUEST GAS LOCATOR BALLS.
- 24. DEVELOPER'S CONTRACTOR SHALL CONTACT VANESSA ARAGON, GRU GAS MARKETING, PH.#: (352) 393-1466, 7 DAYS IN ADVANCE TO COORDINATE FOR THE GAS METER SET.
- 25. CONTRACTOR TO CUT AND CAP UNUSED SEWER LATERALS AT PROPERTY LINE. GRU TO LINE SEWER MAIN (LINING OVER EXISTING LATERALS) AT DEVELOPERS EXPENSE. CONTRACTOR TO CUT IN NEW LATERALS.
- 1. ALL ELECTRICAL UTILITIES AND INFORMATION SHOWN ON THE CIVIL PLANS ARE FOR LOCATION AND COORDINATION PURPOSES ONLY. REFER TO ELECTRICAL PLANS BY OTHERS FOR THE ELECTRICAL DESIGN AND DETAILS.

ELECTRIC SERVICE GENERAL NOTES

2. ELECTRIC DESIGN PROVIDED BY CLAY ELECTRIC.

FDOT GENERAL NOTES

- 1. ALL WORK PERFORMED WITHIN THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL CONFORM TO THE FOLLOWING:
- A. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (JULY 2023).
- B. FDOT STANDARDS PLANS (FY 2023-24 ROAD CONSTRUCTION)
 C. FDOT DESIGN MANUAL (2022)
- D. FOOT FLEXIBLE PAVEMENT DESIGN MANUAL FOR NEW CONSTRUCTION AND PAVEMENT REHABILITATION
- SHOULD A CONFLICT ARISE BETWEEN THE DETAILS SHOWN IN THE PLANS AND THE DEPARTMENT OF TRANSPORTATION STANDARDS THE ENGINEER/ PERMITTEE SHALL IMMEDIATELY CONFER WITH THE DEPARTMENT'S ENGINEER IN ORDER TO RESOLVE THE DISCREPANCY. IN NO CASE WILL ANYTHING LESS THAT THE DEPARTMENT'S MINIMUM STANDARD BE ALLOWED.
- 2. ALL TRAFFIC STRIPING AND MARKINGS ARE TO BE LEAD-FREE, NON-SOLVENT BASED THERMOPLASTIC.
- 3. REMOVAL OF EXISTING STRIPING SHALL BE ACCOMPLISHED USING THE "HYDRO-BLAST" METHOD.
- 4. ALL CURB AND GUTTER AND SIDEWALK WILL BE REMOVED AND REPLACED JOINT TO JOINT.
- 5. ALL DISTURBED AREA WITH THE DEPARTMENT OF TRANSPORTATION RIGHT OF WAY WILL RESTORED TO ORIGINAL OR BETTER CONDITION BY GRADING AND SODDING THE AREA DISTURBED (BERMUDA IN RURAL, CENTIPEDE IN UTILITY STRIPS).

Alachua, Florida 32615 (352) 331-1976 www.chw-inc.com

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ABBREVIATIONS SYMBOLS FEET (WHEN USED WITH LENGTHS) **DEGREES** NORTHING - EASTING NOT APPLICABLE MINUTES (WHEN USED WITH ANGLES) NAVD NORTH AMERICAN VERTICAL DATUM OF 1988 SECONDS PERCENT NGVD NATIONAL GEODETIC VERTICAL DATUM OF NUMBER NPDES NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM AASHTO ASSOCIATION OF STATE HIGHWAY AND NOT TO SCALE TRANSPORTATION OFFICIALS **ACRES** AMERICAN WITH DISABILITIES ACT ON CENTER AMERICAN NATIONAL STANDARDS OVERHEAD WIRE OFFICIAL RECORDS BOOK OSHA OCCUPATIONAL SAFETY AND HEALTH ARV AIR RELEASE VALVE ASTM AMERICAN SOCIETY FOR TESTING AND **ADMINISTRATION** MATERIALS AWWA AMERICAN WATER WORKS ASSOCIATION PAVT PAVEMENT POINT OF CURVATURE BACK OF CURB POINT OF COMPOUND CURVE POLYETHYLENE BACKFLOW PREVENTER BLDG BUILDING PERFORATED ВМ BENCHMARK PROPOSED REST MANAGEMENT PRACTICE POINT OF TANGENCY POLYVINYL CHLORIDE BACK OF CURB PUBLIC UTILITY EASEMENT BEGIN VERTICAL CURVE STATION **BVCE** POINT OF VERTICAL INTERSECTION BEGIN VERTICAL CURVE ELEVATION **BOTTOM OF WALL** BSL BUILDING SETBACK LINE RADIUS REINFORCED CONCRETE PIPE CATV CABLE TELEVISION RAISED REFLECTIVE PAVEMENT MARKER CURB INLET REDUCED PRESSURE ZONE CAST IRON PIPE RIGHT RECLAIMED WATER MAIN CLDIP CEMENT LINE DUCTILE IRON PIPE RWM RIGHT-OF-WAY CORRUGATED METAL PIPE CLEANOUT COA CITY OF ALACHUA CONC CONCRETE SOUTH COORD COORDINATE SANITARY CR COUNTY ROAD SEASONAL HIGH WATER ELEVATION CLEANOUT SILT FENCE SLOPE SUPERPAVE DIAMETER AT BREAST HEIGHT STATE ROAD SANITARY SEWER DRAINAGE EASEMENT DEG DEGREE STATION DIAMETER STA STANDARD STD **DUCTILE IRON PIPE** DRAWING TREE BARRICADE RATE OF ELEVATION TEMPORARY CONSTRUCTION EASEMENT FAST TFMPORARY **EACH** TOP OF BANK ELEVATION TELEVISION TOP OF WALL ELEV ELEVATION EOP EDGE OF PAVEMENT TYPICAL **EOR** ENGINEER OF RECORD ELLIPTICAL REINFORCED CONCRETE PIPE **FRCP ESMT** UNITED STATES FOUNDRY **EASEMENT** USGS UNITED STATES GEOLOGICAL SURVEY **EVCS** END VERTICAL CURVE STATION UTIL UTILITY **EVCE** END VERTICAL CURVE ELEVATION VERTICAL VERTICAL CURVE VCP VITRIFIED CLAY PIPE FLORIDA BEARING RATIO FRICTION COURSE FLORIDA DEPARTMENT OF ENVIRONMENTAL FLORIDA DEPARTMENT OF TRANSPORTATION WATER FINISHED FLOOR ELEVATION FIRE HYDRANT WATER MAIN FHWA FLORIDA HIGHWAY ADMINISTRATION WASTEWATER FIG WELDED WIRE FABRIC FΜ FORCE MAIN FOC FACE OF CURB FLORIDA STATUTES FFFT GALV GALVANIZED GAS MAIN GATE VALVE HDPE HIGH DENSITY POLYETHYLENE HIGH POINT IDENTIFICATION INVERT INV EL INVERT ELEVATION IRON PIPE VERTICAL CURVE RATE OF CHANGE LENGTH LANDSCAPE ARCHITECT LIMEROCK BEARING RATIO LDR LAND DEVELOPMENT REGULATION LINEAR FEET LOW POINT I FFT MAXIMUM MATCH EXISTING

MANHOLE

MINIMUM

MISCELLANEOUS

MECHANICAL JOINT

MUTCD MANUAL ON UNIFORM TRAFFIC CONTROL

SIGNAGE SITE INFORMATION

SIGNS ARE PER FDOT SPECIFICATIONS OR PER MUTCD. SIGN

POSTS AND INSTALLATION SHALL BE PER FDOT INDEX NO.

700-010. SIGN PLACEMENT SHALL BE PER FDOT INDEX NO.

FTP-20-06 (12" X 18") PER FDOT INDEX NO.

R1-1 "STOP" - SEE PLANS FOR SIZE

EX. PROPERTY LINE ----- LANDSCAPE BUFFER LINE ----- BUILDING SETBACK LINE ---- WETLAND LIMITS LINE --- WETLAND SETBACK LINE CENTER LINE --- --- EASEMENT LINE RIGHT-OF-WAY LINE —— SF —— SF — SILT FENCE LINE — TB — TB — TREE BARRICADE LINE EX. STRUCTURE OR BUILDING PROPOSED BUILDING PROPOSED ASPHALTIC PAVEMENT PROPOSED CONCRETE PAVEMENT PROPOSED DETECTABLE WARNING SURFACE DIRECTIONAL TRAFFIC ARROW PER FDOT INDEX NO. 17346 WATERSHED DIVIDE **EX. ELEVATION CONTOUR** PROPOSED CONTOUR 93.2× EX. SPOT ELEVATION 93.23 PROPOSED SPOT ELEVATION DIRECTION OF SURFACE DRAINAGE FLOW PROPOSED SWALE LINE — х — х — **EX. FENCE** —O—O—O—PROPOSED FENCE 12" PINE (SIZE & TYPE) 1234 (EX. TREE (TREE ID)

12" PINE EX. TREE TO BE REMOVED (SIZE & TYPE)

1234 EX. TREE TO BE REMOVED (TREE ID)

PROJECT BENCHMARK

STORMWATER THE PROPOSED STORMWATER STRUCTURES DEPICTED BELOW ARE DRAWN PER FDOT SPECIFICATIONS AND TO SCALE WHEN SHOWN ON THE PLAN SHEETS. ---- ST ----- ST ---- EX. GRAVITY STORMWATER MAIN P-ST PROPOSED GRAVITY STORMWATER MAIN (PIPE LENGTHS ARE FROM N-E LOCATION OF A STRUCTURE TO N-E LOCATION OF A STRUCTURE) (ST) EX. STORMWATER MANHOLE N-F LOCATION ROPOSED 48" DIA. STORMWATER MANHOLE PER FDOT N-E LOCATION TOP/GRATE ELEV. LOCATION PROPOSED CIRCULAR AREA DRAIN N-E LOCATION TOP/GRATE ELEV. LOCATION PROPOSED SQUARE AREA DRAIN N-E LOCATION TOP ELEV. LOCATION PROPOSED TYPE 1 CURB INLET TOP PER FDOT INDEX NO. 425-020 (SEE PLANS FOR BOTTOM SPECIFICATION) N-E LOCATION TOP ELEV. LOCATION PROPOSED TYPE 2 CURB INLET TOP PER FDOT INDEX NO. 425-020 (SEE PLANS FOR BOTTOM SPECIFICATION) N-E LOCATION TOP ELEV. LOCATION PROPOSED TYPE 3 CURB INLET TOP PER FDOT INDEX NO. 425-020 (SEE PLANS FOR BOTTOM SPECIFICATION) N-E LOCATION PROPOSED TYPE 4 CURB INLET TOP PER FDOT INDEX NO. TOP ELEV. LOCATION 425-020 (SEE PLANS FOR BOTTOM SPECIFICATION) TOP ELEV. LOCATION PROPOSED TYPE 5 CURB INLET TOP PER FDOT INDEX NO. 425-021 (SEE PLANS FOR BOTTOM SPECIFICATION) N-E LOCATION TOP ELEV. LOCATION PROPOSED TYPE 6 CURB INLET TOP PER FDOT INDEX NO. 425-021 (SEE PLANS FOR BOTTOM SPECIFICATION) N-E LOCATION PROPOSED TYPE 9 CURB INLET TOP PER FDOT INDEX NO. TOP/GRATE ELEV. LOCATION 425-024 (SEE PLANS FOR BOTTOM SPECIFICATION) N-E LOCATION PROPOSED TYPE 'C' DITCH BOTTOM INLET TOP PER FDOT INDEX NO. 425-052 (SEE PLANS FOR GRATE MATERIAL AND **BOTTOM SPECIFICATION)** PROPOSED TYPE 'D' DITCH BOTTOM INLET TOP PER FDOT INDEX NO. 425-052 (SEE PLANS FOR GRATE MATERIAL AND BOTTOM SPECIFICATION) PROPOSED TYPE 'E' DITCH BOTTOM INLET TOP PER FDOT TOP/GRATE ELEV. LOCATION INDEX NO. 425-052 (SEE PLANS FOR GRATE MATERIAL AND BOTTOM SPECIFICATION) N-E LOCATION PROPOSED TYPE 'F' DITCH BOTTOM INLET TOP WITH STEEL TOP/GRATE ELEV. LOCATION GRATE PER FDOT INDEX NO. 425-053 (SEE PLANS FOR BOTTOM SPECIFICATION) N-E LOCATION TOP/GRATE ELEV. LOCATION PROPOSED TYPE 'G' DITCH BOTTOM INLET TOP WITH STEEL GRATE PER FDOT INDEX NO. 425-053 (SEE PLANS FOR **BOTTOM SPECIFICATION)** N-E LOCATION PROPOSED TYPE 'H' DITCH BOTTOM INLET TOP PER FDOT TOP/GRATE ELEV. LOCATION INDEX NO. 425-052 (SEE PLANS FOR GRATE MATERIAL AND BOTTOM SPECIFICATION) N-F LOCATION PROPOSED TYPE 'I' DITCH BOTTOM INLET TOP WITH STEEL GRATE PER FDOT INDEX NO. 425-054 (SEE PLANS FOR BOTTOM SPECIFICATION) PIPE INV. LOCATION -N-E LOCATION — TI PROPOSED U-TYPE CONCRETE ENDWALLS WITH GRATES PER FDOT INDEX NO. 430-010 (SEE PLANS FOR SIZE) INV. ELEV. LOCATION PROPOSED FLARED END SECTION PER FDOT INDEX

POTABLE AND RECLAIMED WATER

NO. 430-020 (SEE PLANS FOR SIZE)

INDEX NO. 430-021 (SEE PLANS FOR SIZE)

INDEX NO. 430-022 (SEE PLANS FOR SIZE)

(S-10) proposed stormwater structure id tag

PROPOSED CROSS DRAIN MITERED END SECTION PER FDOT

¬ PROPOSED SIDE DRAIN MITERED END SECTION PER FDOT

N-E LOCATION

N-E LOCATION

PIPE INV. ELEV. LOCATION

PIPE INV. ELEV. LOCATION

---- W ----- W ---- EX. POTABLE WATER MAIN PROPOSED POTABLE WATER MAIN --- RCW --- RCW --- EX. RECLAIMED WATER MAIN PROPOSED RECLAIMED WATER MAIN 11.25° BEND W/ MECHANICALLY RESTRAINED JOINTS (POTABLE AND RCW) 22.5° BEND W/ MECHANICALLY RESTRAINED JOINTS (POTABLE AND RCW) √ 45° BEND W/ MECHANICALLY RESTRAINED JOINTS (POTABLE AND RCW) L 90° BEND W/ MECHANICALLY RESTRAINED JOINTS (POTABLE AND RCW) ☐ TEE (POTABLE AND RCW) OII BLOWOFF ASSEMBLY (POTABLE AND RCW) **▼** REDUCER (POTABLE AND RCW) ⋈ EX. GATE VALVE AND BOX (POTABLE AND RCW) ► PROPOSED GATE VALVE AND BOX (POTABLE AND RCW) **⊕** EX. AIR RELEASE VALVE (POTABLE AND RCW) **⊚** PROPOSED AIR RELEASE VALVE (POTABLE AND RCW) XX EX. FIRE HYDRANT ASSEMBLY PROPOSED FIRE HYDRANT ASSEMBLY **PROPOSED SAMPLE POINT I EX. WATER METER (POTABLE AND RCW)** □ PROPOSED POTABLE WATER METER ► PROPOSED POTABLE WATER BACK FLOW PREVENTER **♦ PROPOSED RECLAIMED WATER METER** (W) EX. WATER WELL • PROPOSED HOSE BIB (POTABLE AND RECLAIMED)

(1) PROPOSED FITTING ID TAG (POTABLE AND RECLAIMED)

WASTEWATER

---- WW ----- WW ---- EX. GRAVITY WASTEWATER MAIN P-WW PROPOSED GRAVITY WASTEWATER MAIN (PIPE LENGTHS ARE FROM N-E LOCATION OF A STRUCTURE TO N-E LOCATION OF A STRUCTURE) ---- FM ----- FM EX. WASTEWATER FORCE MAIN P-FM PROPOSED WASTEWATER FORCE MAIN S EX. WASTEWATER MANHOLE RIM ELEV. LOCATION PROPOSED WASTEWATER MANHOLE **⊗** EX. WASTEWATER CLEANOUT • PROPOSED WASTEWATER CLEANOUT — PROPOSED WASTEWATER GREASE TRAP MH# PROPOSED WASTEWATER MANHOLE ID 11.25° BEND W/ MECHANICALLY RESTRAINED JOINTS (WW FORCE MAIN) ∠ 22.5° BEND W/ MECHANICALLY RESTRAINED JOINTS (WW FORCE MAIN) √ 45° BEND W/ MECHANICALLY RESTRAINED JOINTS (WW FORCE MAIN) L 90° BEND W/ MECHANICALLY RESTRAINED JOINTS (WW FORCE MAIN) ∠ WYE W/ MECHANICALLY RESTRAINED JOINTS (WW FORCE MAIN) ⋈ EX. PLUG VALVE AND BOX (WW FORCE MAIN) ► PROPOSED PLUG VALVE AND BOX (WW FORCE MAIN) **⊕** EX. AIR RELEASE VALVE (WW FORCE MAIN) • PROPOSED AIR RELEASE VALVE (WW FORCE MAIN)

MISCELLANEOUS UTILITIES THE PROPOSED UTILITIES BELOW ARE DESIGN BY OTHERS AND ARE DEPICTED FOR COORDINATION PURPOSES ONLY. REFER TO PLANS BY OTHERS FOR EXACT LOCATIONS, DIMENSION, AND DETAILS. P-ATT PROPOSED AT&T LINE —— BC —— BC —— EX. BURIED CABLE LINE P-BC — PROPOSED BURIED CABLE LINE BTEL EX. BURIED TELEPHONE LINE P-TEL PROPOSED TELEPHONE LINE ----- CATV ----- EX. CABLE TELEVISION LINE P-TV PROPOSED CABLE/TELEVISION LINE — FO — FO — EX. FIBER OPTIC LINE ———— UGTEL ———— EX. UNDERGROUND TELEPHONE LINE te EX. TELEPHONE PEDESTAL --- CHW --- CHW --- EX. CHILLED WATER MAIN P-CHW PROPOSED CHILLED WATER MAIN FIRE EX. FIRE MAIN P-FIRE PROPOSED FIRE MAIN ---- IRR ----- IRR ---- EX. IRRIGATION LINE STEAM — EX. STEAM LINE P-STEAM PROPOSED STEAM LINE P-CLAY PROPOSED CLAY ELECTRIC LINE — E — EX. ELECTRIC LINE P-E PROPOSED ELECTRIC LINE —— EN —— EX. ENERGY LINE P-LIGHT PROPOSED PRIVATE LIGHTING LINE — OHW — OHW — EX. OVERHEAD WIRE LINE — UGE — UGE — EX. UNDERGROUND ELECTRIC LINE 🌣 EX. LIGHT EX. UTILITY POLE To EX. UTILITY POLE © EX. WOOD POWER POLE EX. GUY ANCHOR T PROPOSED TRANSFORMER — GAS — GAS — EX. GAS LINE P-GAS PROPOSED GAS LINE © EX. GAS MARKER **G** EX. GAS MARKER

> 1. THIS LEGEND IS ALL INCLUSIVE AND MAY INCLUDE ITEMS NOT A PART OF THIS PLAN SET.

2. SYMBOLS SHOWN ON THIS SHEET ARE FOR ILLUSTRATIVE PURPOSES ONLY. UNLESS NOTED OTHERWISE, SYMBOLS IN THESE PLANS MAY NOT BE REPRESENTATIVE OF SIZE.

11801 Research Drive \(352) 331-1976 www.chw-inc.com est. 1988 **FLORIDA**

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signed and sealed by Walk Fain Owen, PE on the date Printed copies of this document are not consid any electronic copies.

FL PE No. 94201 C_{0.11}

INTRODUCTION

THIS DOCUMENT WAS PREPARED IN ORDER TO ILLUSTRATE COMPLIANCE WITH CHAPTER 62-621.300 (4) OF THE FLORIDA ADMINISTRATIVE CODE, WHICH PERTAINS TO THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. THE ADMINISTRATIVE CODE GRANTS THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) THE AUTHORITY TO REGULATE POINT SOURCE DISCHARGE OF STORMWATER FROM CONSTRUCTION SITES. THIS DOCUMENT ESTABLISHES A STORMWATER POLLUTION PREVENTION PLAN FOR THE SITE USING STANDARD PRACTICE AND BEST MANAGEMENT PRACTICES (BMPs) AND IS ORGANIZED TO CORRESPOND TO 62-621,300(4)(a) GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES EDEP FORM 62-621.300(4)(b) IS TO BE SUBMITTED IN CONIUNCTION WITH THIS DOCUMENT. CONTRACTOR(S) MUST FILL IN THE ACTIVITIES SEOUENCE (SECTION ii. B. BELOW) AND SIGN THIS SHEET (REFER TO SIGNATURE TABLE THIS SHEET) AND RETAIN THIS SHEET AND ALL FOLLOWING SWPPP SHEETS ON SITE. ALTERNATIVELY, CONTRACTOR(S MAY PREPARE AND SIGN THEIR OWN SWPP PLAN MEETING THE REQUIREMENTS. IF THE SITE OR CONTRACTOR ACTIVITIES REQUIRE ANY BMPs THAT ARE NOT DESCRIBED ON THIS SHEET, THE CONTRACTOR MUST PREPARE AN ALTERNATIVE OR ADDITIONAL SWPPP DOCUMENT CONTAINING THE NECESSARY BMPs

. SITE DESCRIPTION

ALACHUA COUNTY, FLORIDA

SECTION, TOWNSHIP, RANGE: SECTION 3, TOWNSHIP 10 SOUTH, RANGE 18 EAST 04344-001-000 COUNTY PARCEL NO.: STREET ADDRESS: 273 SW 143RD ST., NEWBERRY, FL 32669 PROJECT AREA: 3.23 ACRES SEE COVER SHEET OF CONSTRUCTION DRAWINGS SITE LOCATION MAP:

A. NATURE OF CONSTRUCTION ACTIVITY

THE PROPOSED DEVELOPMENT IS THE CONSTRUCTION OF A MULTISTORY STORAGE FACILITY AND ASSOCIATED PAVEMENT FOR DRIVEWAYS AND PARKING, SIDEWALKS, AND UTILITY INFRASTRUCTURE. THE PROJECT SITE IS LOCATED AT 273 SW 143RD ST., NEWBERRY, FLORIDA. THE PROJECT SITE TOTAL AREA IS APPROXIMATELY 3.23

B. SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES - CONTRACTOR MUST FILL IN DAYS

	<u>DATS</u>	
FROM	TO	PRIOR TO CONSTRUCTION, SILT FENCING AND TREE PROTECTION FENCING SHALL BE INSTALLED AND ALL EXISTING STORM DRAINAGE
		SWALE AND INLETS SHALL BE PROTECTED IN ACCORDANCE WITH THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER
		AND REVIEWER MANUAL, DATED JULY 2013, AND THESE PLANS.
ED 014		

FROM_____TO____THE CONSTRUCTION SERVICE ENTRANCE SHALL BE STABILIZED TO MINIMIZE THE CREATION OF DUST AND OFF-SITE TRACKING OF . ONLY THE AREA COMPRISING THE PROPOSED STORMWATER MANAGEMENT FACILITY(S) SHALL BE CLEARED AND GRUBBED OF UNWANTED

VEGETATION FROM_____TO____THE PROPOSED STORMWATER MANAGEMENT FACILITY(S) SHALL BE CONSTRUCTED. FROM_____TO_____ IF SUITABLE, THE EXCAVATED SOIL FROM THE FACILITY(S) MAY BE USED AS FILL FOR ON-SITE GRADING THAT IS DEPICTED IN THESE CONSTRUCTION PLANS. THE CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIAL ON-SITE OR OFF-SITE TO A PERMITTED

THE REMAINING PORTION OF THE SITE THAT IS TREATED BY THE CONSTRUCTED STORMWATER MANAGEMENT FACILITY(S) SHALL BE CLEARED AND GRUBBED

THE PERMANENT ROADWAYS/DRIVEWAYS SHALL BE ROUGHLY GRADED. FROM_____TO_____ THE UNDERGROUND UTILITIES INFRASTRUCTURE AND STORMWATER PIPING SYSTEM SHALL BE INSTALLED. ANY DE-WATERING (PUMPED) SHALL BE DIVERTED TO THE ASSOCIATED STORMWATER MANAGEMENT FACILITY(S).

FROM_____TO____THE PERMANENT ROADWAY/DRIVEWAY SUBGRADE SHALL BE COMPACTED, A LIMEROCK BASE SHALL BE ESTABLISHED, AND THEN FOLLOWED BY AN OVERLAY OF ASPHALT. . UPON SIGNIFICANT COMPLETION OF CONSTRUCTION, THE STORMWATER PIPING SYSTEM SHALL BE FLUSHED OUT TO REMOVE

· ALL REMAINING DISTURBED AREAS WITHIN THE CONSTRUCTION AREA SHALL BE COMPLETELY GRASSED AND/OR LANDSCAPED ACCORDING TO THESE PLANS. TURF ESTABLISHMENT SHALL BE PER FDOT STANDARD SPECIFICATIONS SECTION 570. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS.

C. SITE DEVELOPMENT DATA:

3 ACRE
7 ACRE
7 ACRE.
6 ACRE
7 AC

ACCUMULATED DEBRIS AND SEDIMENT.

D. SOIL CONDITIONS AND STORMWATER QUALITY

THE NRCS DATA FOR THE SITE REVEALS THAT THE SITE SOILS ARE COMPRISED OF MILLHOPPER SAND AND JONESVILLE-CADILLAC-BONNEAU COMPLEX. THE PROJECT SITE WILL ROUTE STORMWATER RUNOFF VIA A STORMWATER PIPE CONVEYANCE SYSTEM TO AN EXISTING OFFSITE STORMWATER MANAGEMENT FACILITY THAT WAS DESIGNED TO PROVIDE RATE AND VOLUME CONTROL AND WATER OUALITY TREATMENT OF THE STORMWATER RESULTING FROM THE POST-DEVELOPMENT SITE UNDER 100-YEAR CRITICAL STORM EVENT RAINFALL CONDITIONS.

E. SITE MAP

PLEASE SEE THE STORMWATER POLLUTION PREVENTION PLAN (C0.21) FOR DETAILS.

F. STORMWATER OUTFALL LOCATION AND RECEIVING WATER BODY

MENT FACILITY OUTFALL STRUCTURE IS LOCATED AT THE WEST PORTION OF THE PROJECT (29'39'3.14" N, 82'29'42.26" W) AND THE ASSOCIATED RECEIVING WATER BODY IS THE EXISTING OFFSITE STORMWATER MANAGEMENT FACILITY.

III. CONTROLS TO REDUCE POLLUTION

AS OUTLINED IN THE SUWANNEE RIVER WATER MANAGEMENT DISTRICT (SRWMD) PERMIT, ALL CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN A MANNER AS TO NOT VIOLATE STATE WATER QUALITY STANDARDS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES REQUIRED TO RETAIN SEDIMENT ON-SITE. IF SITE CONDITIONS ARE SUCH THAT ADDITIONAL CONTROL MEASURES ARE REQUIRED OTHER THAN WHAT IS SPECIFIED IN THE FROSION AND SEDIMENTATION CONTROL PLAN THEN THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL REST MANAGEMENT PRACTICES. THESE MEASURES MUST BE INSPECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE AND UNTIL AS DIRECTED BY THESE PLANS. THE STORMWATER POLLUTION PREVENTION PLAN (CO.21) AND SECTION IV BELOW PROVIDE DETAILS ON THE SPECIFIC CONTROL MEASURES TO REDUCE STORMWATER POLLUTION.

IV. EROSION AND SEDIMENT CONTROLS

A. STABILIZATION PRACTICES

EXISTING TREES AND NATURAL VEGETATION TO REMAIN ON-SITE SHALL BE PROTECTED BY TREE BARRICADE FENCING AS DEPICTED ON THE STORMWATER POLLUTION PREVENTION PLAN (CO.21). TYPE III SILT FENCING SHALL PROTECT ALL DRAINAGE STRUCTURES AND SHALL BUFFER AREAS WITH POTENTIAL TO CONTRIBUTE OFF-SITE RUNOFF AND AS SPECIFICALLY DEPICTED ON THE STORMWATER POLLUTION PREVENTION PLAN (CO.21). STABILIZATION MEASURES SHALL BE INITIATED FOR EROSION AND SEDIMENT CONTROL ON DISTURBED AREAS AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS, IN PORTIONS OF THE SITE WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED. AS SPECIFIED IN SECTION II.B. ABOVE, UPON COMPLETION OF CONSTRUCTION, ALL STORMWATER MANAGEMENT FACILITIES SHALL BE SCRAPED CLEAN OF ACCUMULATED SEDIMENT AFTER THE COMPLETION OF CONSTRUCTION. ALL TURF ESTABLISHMENT SHALL BE PERFORMED MEETING THE REQUIREMENTS OF SECTION 570 OF THE STANDARD SPECIFICATIONS. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO FINAL RELEASE.

B. STRUCTURE PRACTICES

AS DEPICTED IN THE STORMWATER POLLUTION PREVENTION PLAN (CO.21), A STORMWATER MANAGEMENT SYSTEM WILL BE CONSTRUCTED AND WILL BE COMPRISED OF A STORM PIPE CONVEYANCE SYSTEM THAT DISCHARGES TO AN EXISTING MASTER FACILITY. TO PREVENT EROSION DURING CONSTRUCTION, TYPE III SILT FENCING WILL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLANS. ALL EXISTING AND PROPOSED STORM DRAINS AND DRAINAGE SWALES SHALL BE PROTECTED ACCORDING TO THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWER MANUAL, DATED JULY 2013 OR PER DETAILS PROVIDED ON SHEET CO.21 UNTIL CONSTRUCTION IS COMPLETE. THE STORM PIPE CONVEYANCE SYSTEM SHALL BE FLUSHED OUT TO REMOVE ALL ACCUMULATED DEBRIS AND SEDIMENT UPON COMPLETION OF CONSTRUCTION.

C. DRAINAGE LOCATIONS THAT SERVE AREAS WITH LESS THAN 10 DISTURBED ACRES

AS SPECIFIED IN THE "SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES," THE SMF(S) WILL BE CONSTRUCTED PRIOR TO CLEARING AND GRUBBING OUTSIDE OF THE SMF(S) AREAS AND CONSTRUCTION OF THE PERMANENT PAVED AREAS. THE TOTAL CONTRIBUTING DRAINAGE AREA TO THE STORMWATER MANAGEMENT SYSTEM IS APPROXIMATELY 3.23 ACRES AND WILL CONSIST OF APPROXIMATELY 2.37 ACRES OF DISTURBED CONSTRUCTION AREA. THEREFORE. NO ADDITIONAL SEDIMENT TRAP BASINS ARE NECESSARY TO PROVIDE SEDIMENT STORAGE ON-SITE DURING CONSTRUCTION. AS SHOWN ON THE STORMWATER POLLUTION PREVENTION PLAN (CO.21), THE PROPOSED STORMWATER MANAGEMENT SYSTEM WILL PREVENT OFF-SITE EROSION DURING CONSTRUCTION. SILT FENCES OR EQUIVALENT SEDIMENT CONTROLS SHALL BE INSTALLED AT SIDE SLOPE AND DOWN SLOPE BOUNDARIES. INLET LOCATION, OUTLET LOCATIONS, AND OTHER LOCATIONS AS SHOWN ON THE STORMWATER POLLUTION PREVENTION PLAN, AS REQUIRED. BY COMPLETION OF CONSTRUCTION, THE SIDE SLOPES, SWALES, AND ALL DISTURBED AREAS SHALL BE STABILIZED WITH GRASS AND LANDSCAPING AS SPECIFIED ON THE CONSTRUCTION DRAWINGS.

D. DRAINAGE LOCATIONS THAT SERVE AREAS WITH MORE THAN 10 DISTURBED ACRES

NOT APPLICABLE, SEE SECTION C, ABOVE.

V. STORMWATER MANAGEMENT

A. BEST MANAGEMENT PRACTICES

AFTER CONSTRUCTION, THE STORMWATER MANAGEMENT SYSTEM SHALL BE MAINTAINED IN ACCORDANCE WITH THE SPECIFIED STORMWATER MAINTENANCE NOTES IN THE INCLUDED CONSTRUCTION DRAWINGS AND/OR RESPECTIVE MAINTENANCE REPORTS. SPECIFICALLY. THE PROPOSED SMF(S) SHALL BE MOWED REGULARLY IN THE SPECIFIED AREAS, STORM PIPES AND STRUCTURES WILL BE INSPECTED SEMI-ANNUALLY AND CLEANED ANNUALLY, SMF(S) SIDE SLOPES SHALL BE MAINTAINED TO PREVENT EROSION, AND LANDSCAPING AND GRASS THAT PREVENTS EROSION SHALL BE MAINTAINED. ADDITIONALLY, REMEDIAL ACTIONS SHALL BE TAKEN SHOULD THE SMF(S) NOT PERFORM AS DESIGNED.

B. VEGETATED SWALES

WHEN VEGETATED SWALES ARE UTILIZED, SILT FENCING OR EQUIVALENT SEDIMENT CONTROLS SHALL BE INSTALLED AT ADEQUATE INTERVALS TO COLLECT SEDIMENT ALONG THE SWALE. THE SEDIMENT SHALL BE REMOVED WHEN SEDIMENT REACHES ONE-THIRD OF THE HEIGHT OF THE SILT FENCING. SEE THE STORMWATER POLLUTION PREVENTION PLAN (CO.21) FOR DETAILS AND LOCATIONS. AS REQUIRED

VELOCITY DISSIPATION DEVICES AT DISCHARGE POINTS

WHEN DISCHARGE POINTS ARE NOT LOCATED UNDER WATER. RIP RAP PADS HAVE BEEN PROVIDED AT LOCATIONS WHERE NECESSARY DUE TO ANTICIPATED DISCHARGE VELOCITIES. PLEASE SEE THE CONSTRUCTION PLANS FOR DETAILS AND LOCATIONS, AS NEEDED.

VI. CONTROLS FOR OTHER POTENTIAL POLLUTANTS

A. WASTE DISPOSAL

THE CONTRACTOR SHALL PROVIDE LITTER COLLECTION CONTAINERS WITHIN THE PROJECT BOUNDARIES DURING CONSTRUCTION. CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIALS AND CONSTRUCTION DEBRIS IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.

TO PREVENT OFF-SITE VEHICULAR TRACKING OF SEDIMENTS AND DUST GENERATION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE ESTABLISHED BY THE SITE CONTRACTOR. PLEASE SEE THE STORMWATER POLLUTION PREVENTION PLAN (CO.21) FOR DETAILS AND LOCATION(S).

C. EXISTING VERSUS PROPOSED POTABLE AND SANITARY SEWER SYSTEMS

THERE ARE EXISTING SANITARY SEWER AND POTABLE WATER SYSTEMS LOCATED ON THE PROJECT SITE. EXTENSION AND UPGRADES ARE PROPOSED. IF TEMPORARY SANITARY SYSTEMS ARE UTILIZED DURING CONSTRUCTION, THE CONTRACTOR SHALL PROPERLY CONTROL AND DISCHARGE ANY SANITARY WASTE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

D. FERTILIZER & PESTICIDES

THE USE OF FERTILIZERS, HERBICIDES, AND PESTICIDES ON THE PROJECT SITE, WILL BE DIRECTED BY THE LANDSCAPE PLAN AND THE FDOT STANDARD SPECIFICATIONS SECTION 570, TO SUPPORT THE GROWTH OF THE PROPOSED VEGETATION. ESTABLISHING THIS VEGETATION WILL AID IN THE STABILIZATION OF THE PROJECT SITE AND REDUCE EROSION. APPLICATION RATES FOR THE FERTILIZERS. HERBICIDES. AND PESTICIDES SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS TO GUARD AGAINST OVER-USE, WHICH CAN LEAD TO VIOLATIONS OF STATE WATER QUALITY STANDARDS.

THE CONSTRUCTION SITE WILL BE IN FULL COMPLIANCE WITH STATE AND FEDERAL REQUIREMENTS. A PLASTIC MAT, TAR PAPER, OR OTHER IMPERVIOUS MATERIAL SHALL BE PLACED UNDER AREAS WHERE TOXIC LIQUIDS ARE TO BE OPENED AND STORED.

F. HAZARDOUS MATERIALS

ALL HAZARDOUS MATERIALS SHALL BE STORED IN A SECURE LOCATION, UNDER COVER, AND IN APPROPRIATE TIGHTLY, SEALED CONTAINERS WHEN NOT IN USE. ALL PRODUCTS SHALL BE STORED IN AND USED FROM THE ORIGINAL CONTAINER WITH THE ORIGINAL PRODUCT LABEL. CONTAINERS MUST BE STORED IN A MANNER TO PROTECT THEM FROM THE ELEMENTS AND INCIDENTAL DAMAGE. THE MINIMUM PRACTICAL QUANTITY OF ALL SUCH MATERIALS SHALL BE KEPT ON THE JOB SITE AND SCHEDULED FOR DELIVERY AS CLOSE TO TIME OF USE AS PRACTICAL.

ALL PRODUCTS SHALL BE USED IN STRICT COMPLIANCE WITH THE INSTRUCTIONS ON THE PRODUCT LABEL

SUFFICIENT EQUIPMENT AND/OR MATERIALS SHALL BE KEPT ONSITE TO CONTAIN AND CLEAN UP SPILLS OF HAZARDOUS MATERIALS IN THE AREAS WHERE THESE MATERIALS ARE STORED OR USED. SPILL CONTROL AND CONTAINMENT KIT SUPPLIES SHALL BE OF SUFFICIENT QUANTITIES AND APPROPRIATE CONTENT TO CONTAIN A SPILL FROM THE LARGEST ANTICIPATED PIECE OF EQUIPMENT AND FROM THE LARGEST ANTICIPATED QUANTITIES OF PRODUCTS STORED ON THE SITE AT ANY

CONTRACTOR TO CONTAIN AND CLEAN UP ANY SPILLS IMMEDIATELY AFTER THEY OCCUR. ANY SPILLS OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF REPORTABLE QUANTITIES AS DEFINED BY EPA, STATE, OR LOCAL AGENCY REGULATIONS SHALL BE REPORTED TO THE APPROPRIATE AGENCIES IN THE REQUIRED TIME FRAMES. THE CONTRACTOR SHALL PROVIDE A WRITTEN NOTICE TO THE OWNER IMMEDIATELY UPON IDENTIFICATION OF ANY SPILL.

ALL EXCESS, USED, OR SPILLED PRODUCTS, INCLUDING CONTAMINATED SOIL, SHALL BE DISPOSED OF BY THE CONTRACTOR IN STRICT COMPLIANCE WITH

VII. APPROVED STATE AND LOCAL PLANS

THE CONSTRUCTION DRAWINGS FOR THE PROJECT WERE APPROVED AND PERMITTED BY THE FOLLOWING AGENCIES:

* SUWANNEE RIVER WATER MANAGEMENT DISTRICT * GAINESVILLE REGIONAL UTILITIES * FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

VIII. CONSTRUCTION ACTIVITY DISCHARGES

IN ACCORDANCE WITH THIS PLAN, THERE ARE NO ANTICIPATED DISCHARGES OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.

IX. CHANGES TO THE POLLUTION PREVENTION PLAN

THIS STORMWATER POLLUTION PREVENTION PLAN SHALL BE AMENDED TO REFLECT ANY APPLICABLE CHANGE IN A STATE, REGIONAL, OR LOCAL PERMIT FOR WHICH THE PERMITTEE RECEIVES WRITTEN NOTICE. WHEN WRITTEN NOTICE IS RECEIVED. THE PERMITTEE SHALL PROVIDE A RE-CERTIFICATION OF THIS POLLUTION PREVENTION PLAN, WHICH HAS BEEN REVISED TO ADDRESS SUCH CHANGES. AMENDMENTS TO THE PLAN SHALL BE PREPARED, SIGNED, DATE, AND KEPT AS ATTACHMENTS TO THE

X. ALTERNATIVE PERMIT REQUIREMENTS

NO ALTERNATIVE PERMIT REQUIREMENTS ARE REQUESTED.

XI. MAINTENANCE

THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE, INSPECTION SCHEDULE, AND REPAIRS OUTLINED IN THIS PLAN. MAINTENANCE SHALL CONTINUE THROUGHOUT THE PROJECT UNTIL WORK IS COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER CONSTRUCTION IS COMPLETE. IN ADDITION TO THE TIMES MENTIONED IN THE PREVIOUS SECTIONS, THE CONTRACTOR SHALL INITIATE ANY REPAIRS WITHIN 24 HOURS OF BEING REPORTED. IN THE EVENT THAT THE SMF(S) DO NOT PERFORM PROPERLY OR IF A SINKHOLE DEVELOPS, THE PROJECT ENGINEER SHALL BE NOTIFIED TO ASSIST IN COORDINATING REMEDIAL ACTION. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM SILT FENCING WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE SILT FENCE. UPON FINAL COMPLETION OF CONSTRUCTION AND ACCEPTANCE BY BOTH THE CITY AND OWNER. THE OPERATION AND MAINTENANCE ENTITY WILL BE "RELIANT REAL ESTATE MANAGEMENT LLC"

XII. INSPECTIONS

THE CONTRACTOR SHALL INSPECT ALL POINTS OF POTENTIAL DISCHARGE FROM THE PROJECT SITE FOR ALL DISTURBED AREAS ON THE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.50 INCHES OR GREATER. FOR POINTS OF DISCHARGE INTO SURFACE WATERS OF THE STATE OR AN MS4. A QUALIFIED INSPECTOR (PROVIDED BY THE OPERATOR) SHALL PERFORM THE REQUIRED INSPECTIONS. THE CONTRACTOR SHALL INSTALL A RAIN GAUGE AT THE SITE TO MONITOR AND DOCUMENT RAINFALL EVENTS 0.50 INCHES OR GREATER. LOCATIONS WHERE THE SITE IS COMPLETELY CONSTRUCTED AND STABILIZED. SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE A MONTH. ALL INSPECTIONS SHALL BE RECORDED ON THE CONSTRUCTION INSPECTION FORM. THE CONTRACTOR MAY USE THEIR OWN FORM (MEETING FDEP SWPPP REQUIREMENTS) OR A SAMPLE FORM FROM FDEP. A SAMPLE CONSTRUCTION FORM IS AVAILABLE AT: "HTTPS://FLORIDADEP.GOV/WATER/STORMWATER/DOCUMENTS/CONSTRUCTION-SWPPP". MORE SPECIFICALLY. THE INSPECTION SHALL ENSURI THE FOLLOWING CATEGORIES.

A. DISTURBED AREAS

ALL DISTURBED AREAS AND AREAS USED FOR MATERIAL STORAGE SHALL BE INSPECTED FOR POLLUTANTS ENTERING THE STORMWATER SYSTEM. THE STORMWATER MANAGEMENT SYSTEM AND EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE INSPECTED TO ENSURE THEY ARE OPERATING CORRECTLY. LOCATIONS WHERE VEHICLES ENTER AND EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.

B. MAINTENANCE PERFORMANCE

BASED ON THE RESULTS OF THE INSPECTION, ALL MAINTENANCE OPERATIONS NEEDED TO ASSURE PROPER COMPLIANCE WITH THIS PLAN SHALL BE DONE IN A TIMELY MANNER, BUT IN NO CASE LATER THAN 7 DAYS FOLLOWING THE INSPECTION.

C. REPORTING REQUIREMENTS

ALL INSPECTIONS SHALL BE RECORDED ON THE CONSTRUCTION INSPECTION FORM. THIS FORM IS CREATED TO SUMMARIZE THE SCOPE OF THE INSPECTION. THE NAME(S) AND QUALIFICATION OF THE INSPECTOR(S), THE DATE OF INSPECTION, RAINFALL DATA, OBSERVATIONS, THE ACTIONS TAKEN TO CORRECT INCIDENTS OF NON-COMPLIANCE WITH THE PROVISIONS OF THIS PLAN. IF NO INCIDENTS OF NON-COMPLIANTS ARE OBSERVED, THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND THE ASSOCIATED PERMIT.

XIII. NON-STORMWATER DISCHARGES

IN ADDITION TO STORMWATER RUNOFF, THIS PLAN APPLIES TO RUNOFF FROM IRRIGATION OPERATIONS AND CONSTRUCTION PRACTICES. THIS PLAN DOES NOT PERTAIN TO DISCHARGES FROM FIRE FIGHTING ACTIVITIES.

XIV. CONTRACTORS CERTIFICATION

THE CONTRACTORS OR SUB-CONTRACTORS SHALL PHOTOCOPY AND COMPLETE THE FORM ON THIS PAGE. IT SHALL BE PROVIDED TO THE OWNER AND KEPT ON FILE PURSUANT TO SECTION XV REGARDING PROJECT RECORDS.

XV. RETENTION OF RECORDS

THE PERMITTEE SHALL RETAIN COPIES OF STORMWATER POLLUTION PREVENTION PLANS AND ALL REPORTS REQUIRED BY THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT. FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED.

THE PERMITTEE SHALL RETAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN AND ALL REPORTS, RECORDS, AND DOCUMENTATION REQUIRED BY THIS PERMIT AT THE CONSTRUCTION SITE, OR AN APPROPRIATE ALTERNATIVE LOCATION AS SPECIFIED IN THE NOTICE OF INTENT, FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION

XVI. NOTICE OF TERMINATION

NOTICE OF TERMINATION:

- WHERE A SITE HAS BEEN FINALLY STABILIZED AND ALL STORMWATER DISCHARGES AUTHORIZED BY THIS PERMIT ARE ELIMINATED, THE PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION (DEP FORM 62-621.300(6)), SIGNED IN ACCORDANCE WITH PART VII.C OF DEP DOCUMENT NO. 62-621.300(4)(a), WITHIN 14 DAYS OF FINAL STABILIZATION OF THE SITE TO TERMINATE COVERAGE UNDER THIS PERMIT.
- FI IMINATION OF STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY MEANS THAT ALL DISTURBED SOILS AT THE SITE HAVE BEEN FINALLY STABILIZED AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR WILL BE REMOVED AT AN APPROPRIATE TIME, OR THAT ALL STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE SITE THAT ARE AUTHORIZED BY THIS GENERIC PERMIT HAVE OTHERWISE BEEN
- 3. FOR CONSTRUCTION ACTIVITIES WHERE THE OPERATOR CHANGES, THE EXISTING OPERATOR SHALL FILE AN N.O.T. IN ACCORDANCE WITH THIS PART WITHIN 14 DAYS OF RELINQUISHING CONTROL OF THE PROJECT TO A NEW OPERATOR.
- THE PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE FOLLOWING ADDRESS:

NPDES STORMWATER NOTICES CENTER, MS# 2510

FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION 2600 BLAIR STONE ROAD

TALLAHASSEE, FLORIDA 32399-2400

PROJECTS THAT DISCHARGED STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY TO A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4) SHALL SUBMIT A

Contractor/Subcontractor Certification Statement Stormwater Pollution Prevention Plan

Site Name: JONESVILLE SELF STORAGE Site Location: 273 SW 143RD ST., NEWBERRY, FL ALACHUA COUNTY, Florida

THE CONTRACTOR(S) OR SUB-CONTRACTOR(S) RESPONSIBLE FOR COMPLYING WITH THIS STORMWATER POLLUTION PREVENTION PLAN SHALL SIGN THE CERTIFICATION STATEMENT BELOW. MULTIPLE OPIES OF THIS CERTIFICATION STATEMENT MAY BE NECESSARY DEPENDING ON THE NUMBER OF SUB-CONTRACTORS ASSOCIATED WITH THE PROJEC

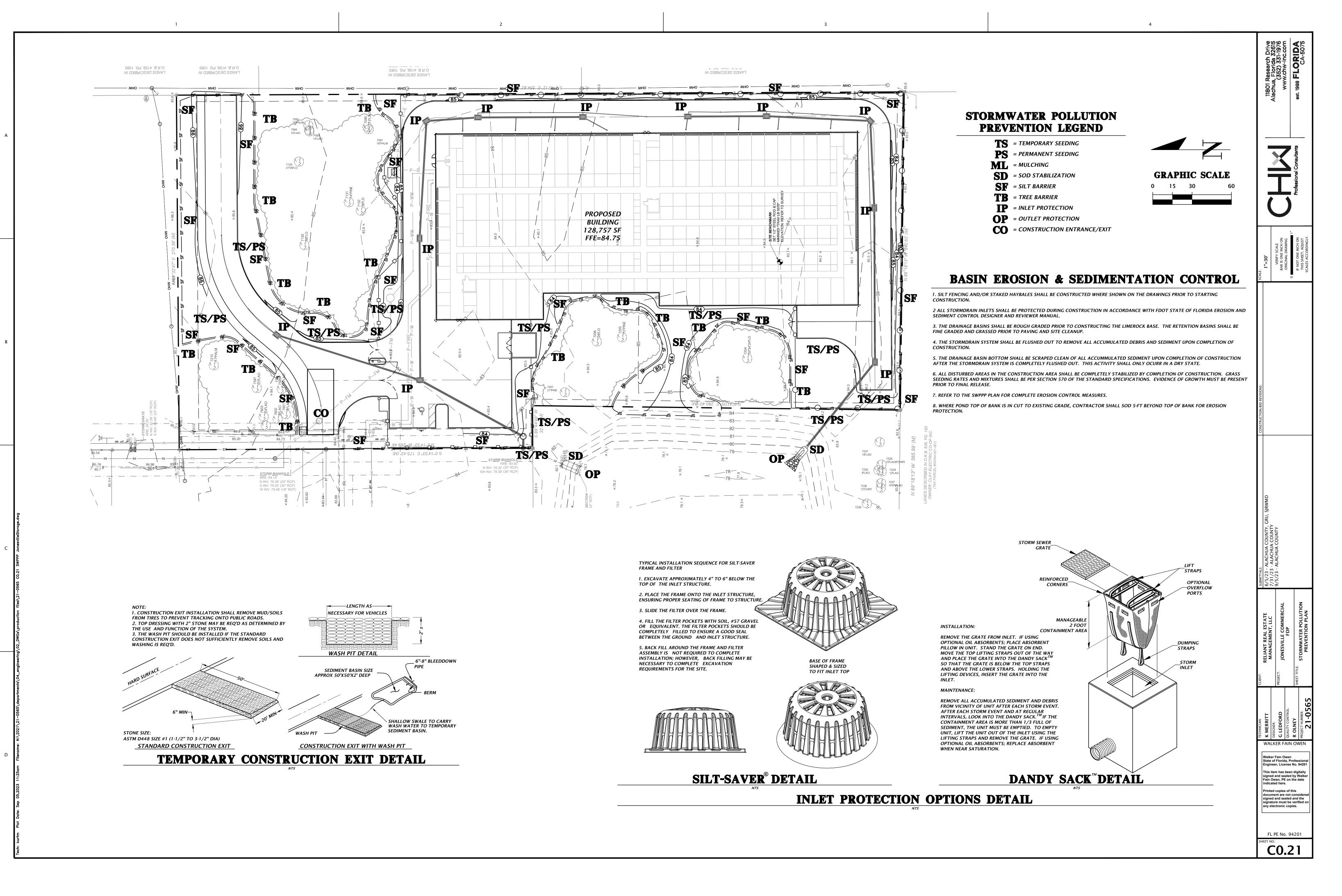
I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND. AND SHALL COMPLY WITH. THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDE

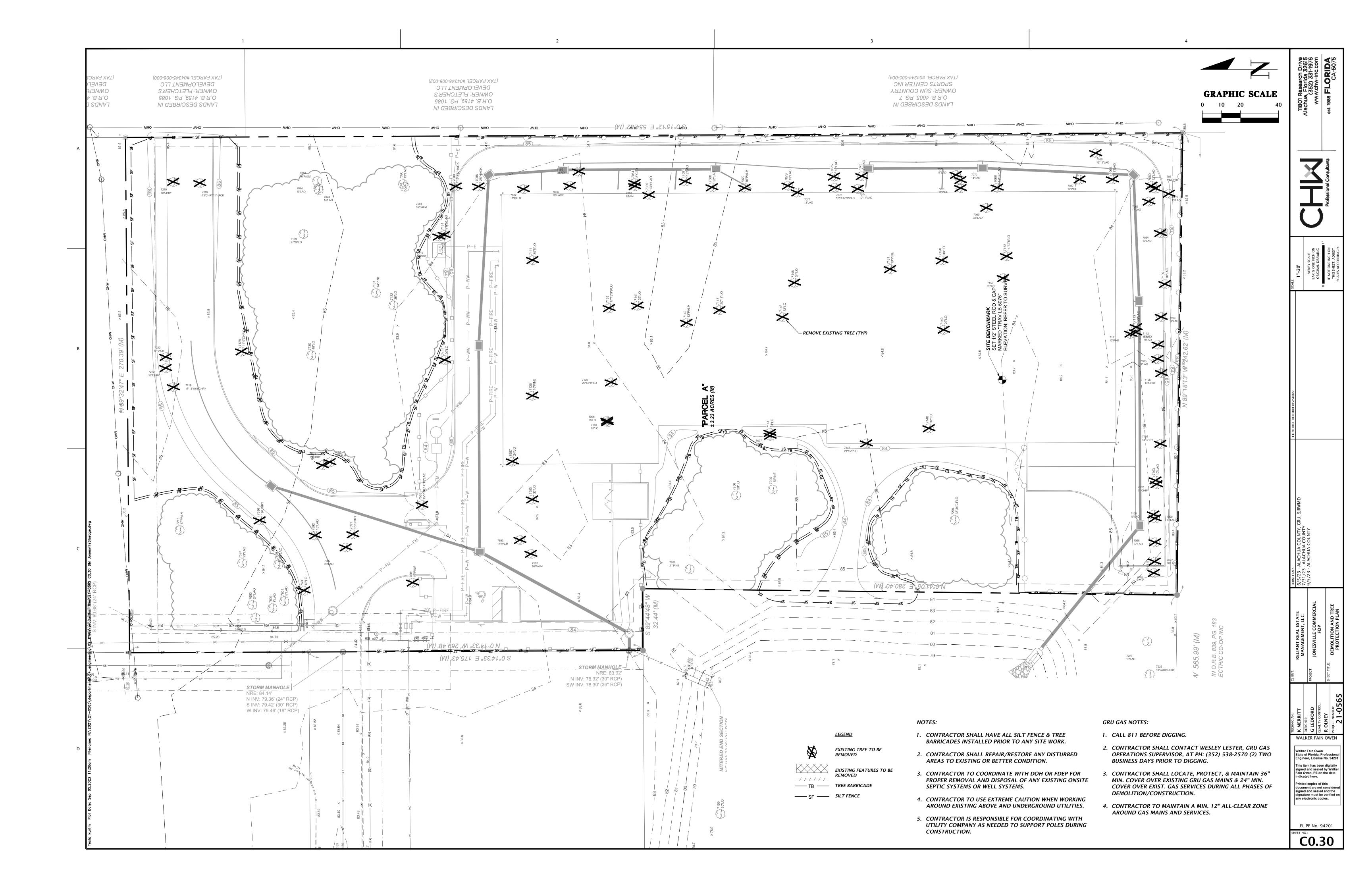
DATE	RESPONSIBLE INDIVIDUAL'S NAME	RESPONSIBLE INDIVIDUAL'S SIGNATURE	TITLE	COMPANY NAME, ADDRESS, AND PHONE NUMBER
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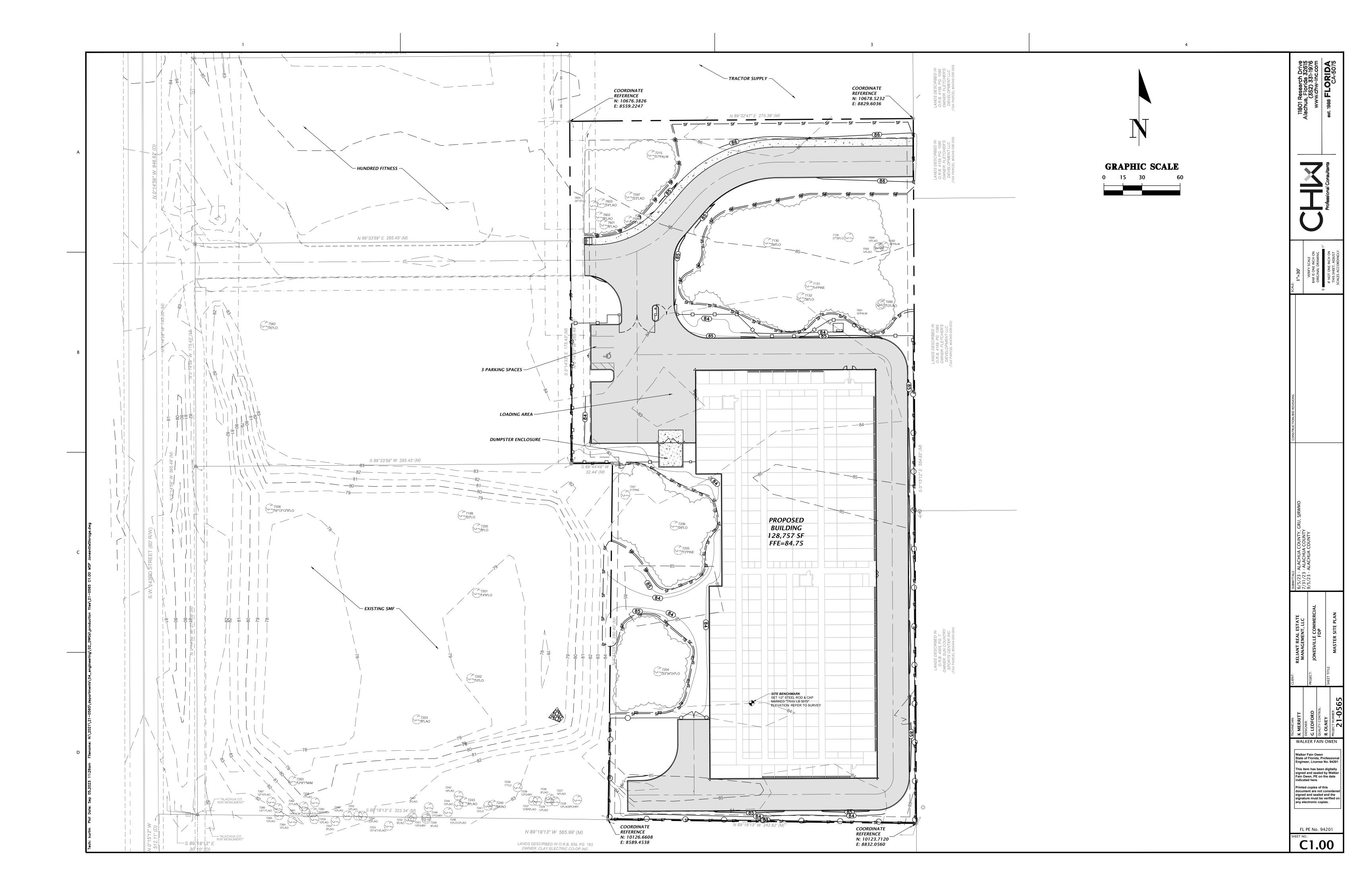
WALKER FAIN OWER Walker Fain Owen State of Florida, Profess This item has been digital signed and sealed by Walk Fain Owen, PE on the date rinted copies of this document are not consid

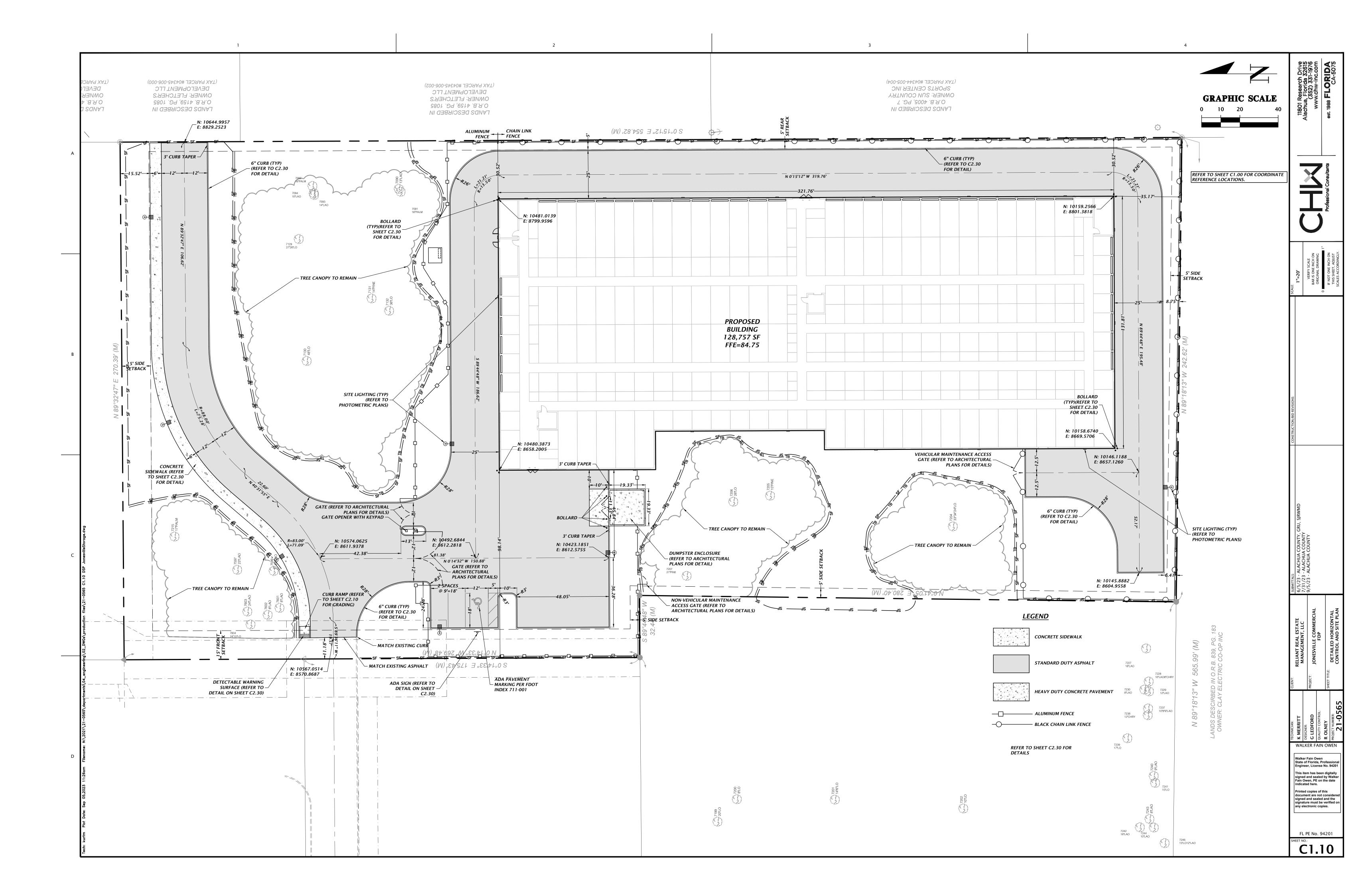
signed and sealed and the signature must be verified any electronic copies.

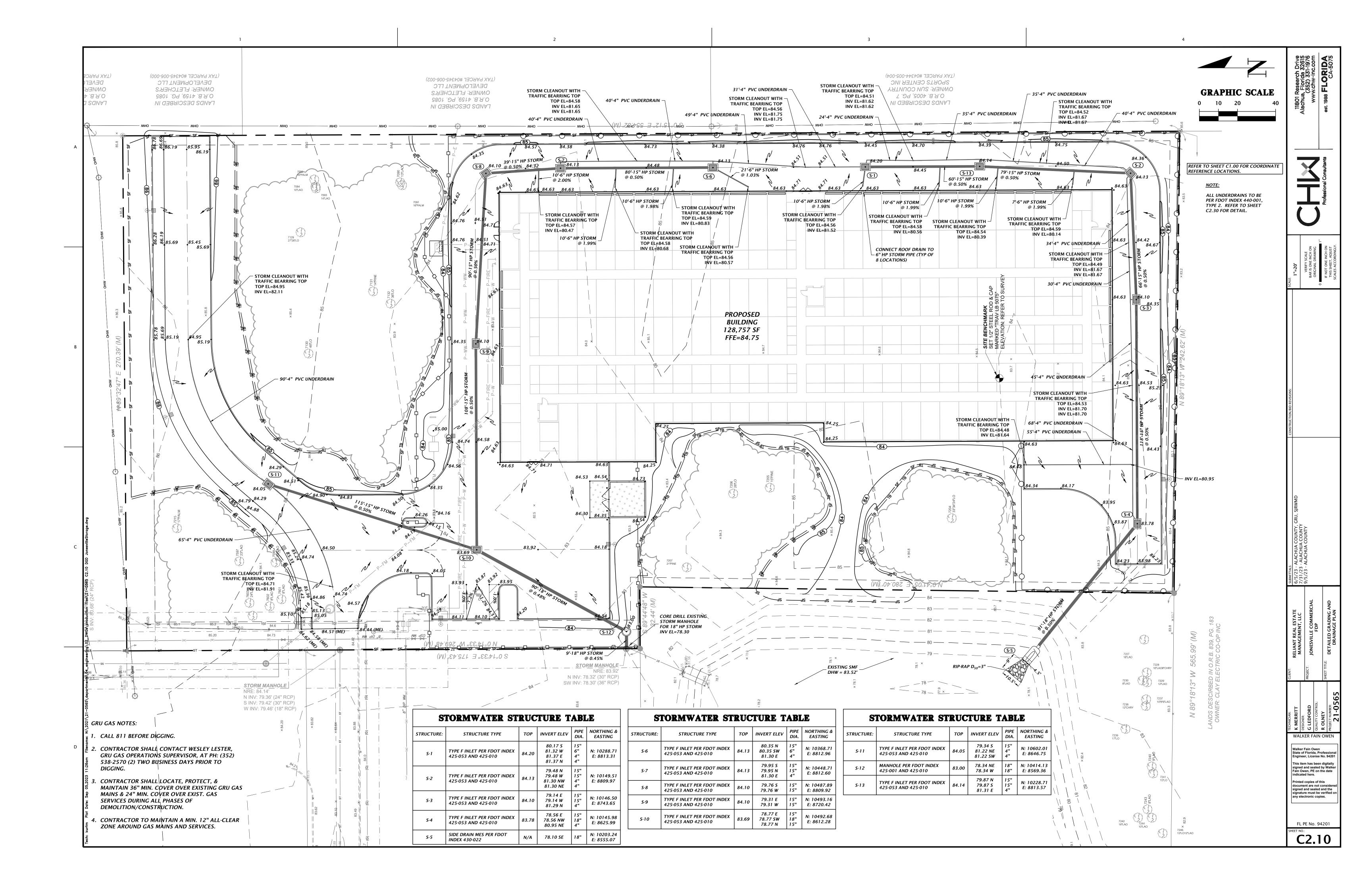
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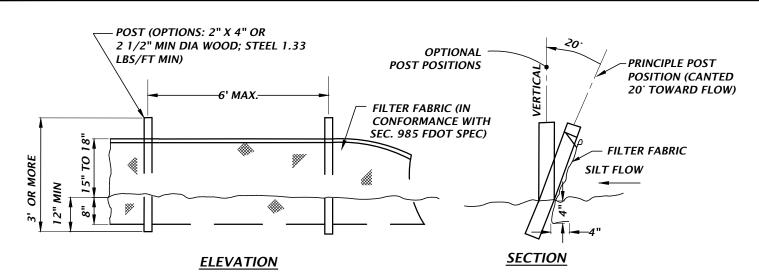




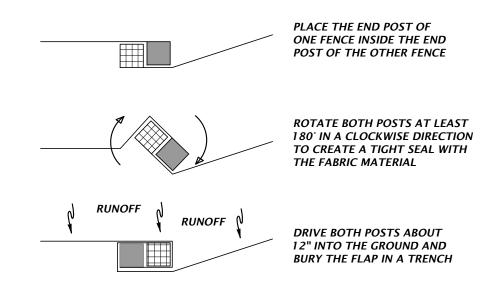






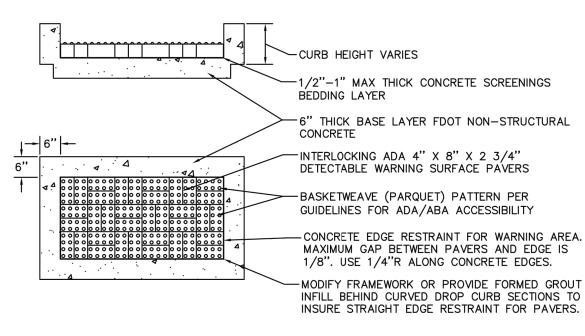


TYPE III SILT FENCE DETAIL



FOR ATTACHING TWO SILT FENCES WHEN TRENCHING IS USED

TYPE III SILT FENCE WRAPPING DETAIL



DETECTABLE WARNING DETAIL

DETECTABLE WARNING NOTES:

- 1. DETECTABLE WARNING SURFACE FOR THE RAMPS SHALL CONSIST OF INTERLOCKING 4"X8"X2 $\frac{3}{4}$ " ADA DETECTABLE WARNING SURFACE PAVERS HAVING A MINIMUM DEPTH OF 2" WITH RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES, AND CENTER-TO-CENTER SPACING OF NOMINAL 2.35 INCHES. CONCRETE PAVERS ARE TO MEET ASTM C902, CLASS SX, TYPE I AND THE COLOR OF THE BRICK SHALL BE BRICK RED. ALL OTHER COLOR SCHEMES SHALL BE APPROVED BY THE CITY ENGINEER.
- 2. ALL UNITS SHALL BE SOUND AND FREE OF DEFECTS THAT WOULD INTERFERE WITH THE APPEARANCE OR PROPER PLACEMENT OF THE UNIT OR IMPAIR THE STRENGTH OR LONGEVITY OF THE FINAL STRUCTURE. ANY UNITS THAT ARE STRUCTURALLY DAMAGED DURING THE WORK SHALL BE IMMEDIATELY REMOVED AND REPLACED. THE PAVERS ARE TO BE LAID IN A TWO BY TWO BASKETWEAVE PATTERN, FLUSH WITH THE FINISH GRADE OF THE DOME SURFACE AND HAVE GAPS BETWEEN 1/16" AND 1/8". CUT PAVERS (MASONRY SAW ONLY) SHALL BE NO SMALLER THAN ONE-THIRD OF A WHOLE PAVER.

- TREE TO REMAIN BRIGHTLY COLOR MESH -- 1" ANGLE IRON **CONSTRUCTION FENCING** CORNER POSTS, MAX. ATTACHED WITH TWIST 10' O.C. WIRE CONNECTOR EXISTING GRADE TO — REMAIN UNDISTURBED

TREE PROTECTION DETAIL

1) PROTECTIVE BARRIERS SHALL BE CONSTRUCTED, AS NECESSARY, TO PREVENT THE DESTRUCTION OR DAMAGING OF REGULATED TREES THAT ARE LOCATED WITHIN 50 FEET OF ANY CONSTRUCTION ACTIVITY OR STORAGE OF EQUIPMENT AND MATERIALS.

2) PROTECTIVE BARRIERS SHALL BE PLAINLY VISIBLE AND SHALL CREATE A CONTINUOUS BOUNDARY AROUND TREES OR VEGETATION CLUSTERS IN ORDER TO PREVENT ENCROACHMENT BY MACHINERY, VEHICLES OR STORED

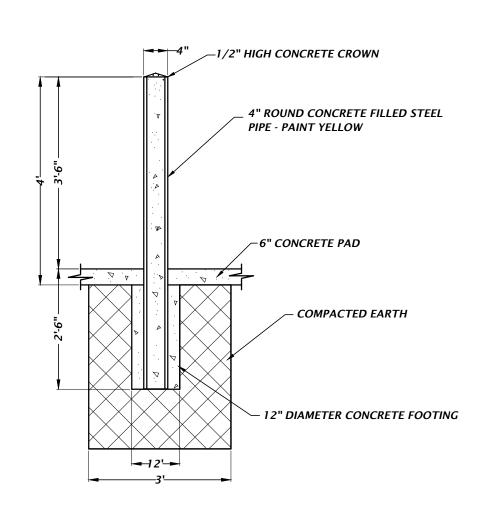
3) TREE BARRICADES MUST BE INSPECTED AND APPROVED BY COUNTY STAFF. PRIOR TO ANY CLEARING, DEMOLITION, OR GRUBBING WORK BEGINS, CONTACT GROWTH MANAGEMENT, 352-374-5249.

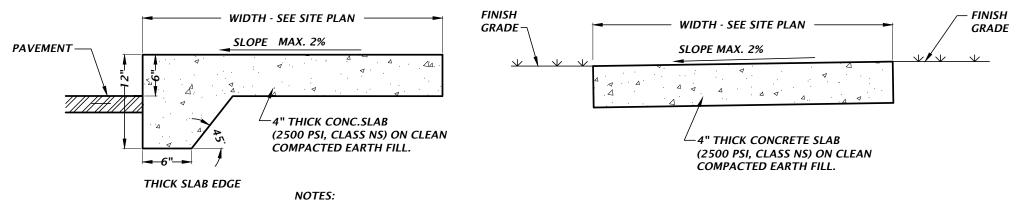
4) PROTECTIVE BARRIERS SHALL REMAIN IN PLACE AND INTACT UNTIL SUCH TIME AS LANDSCAPE OPERATIONS

5) ALL CONSTRUCTION ACTIVITIES SHALL BE PROHIBITED WITHIN THE UNDISTURBED AREA INCLUDING ALL DIGGING, TRENCHING, CONSTRUCTION LAY-DOWN AREAS, PLACEMENT OF HAZARDOUS MATERIALS, INCLUDING FUELS AND SOLVENTS, PLACEMENT OF FILL OR SOILS, AND PARKING OF VEHICLES.

6) NO ATTACHMENT OR WIRES SHALL BE ATTACHED TO

7) NO GRADE CHANGES SHALL BE MADE WITHIN ANY UNDISTURBED AREA WITHOUT PRIOR APPROVAL BY THE COUNTY INSPECTOR. IF A GRADE CHANGE IS MADE AND ROOTS LARGER THAN ONE INCH IN DIAMETER ARE DAMAGED OR EXPOSED, THEY SHALL BE CUT CLEANLY AND RE-COVERED WITH SOIL.





1. SAWCUT CONTROL JOINTS SHALL BE CONSTRUCTED 5 FEET ON

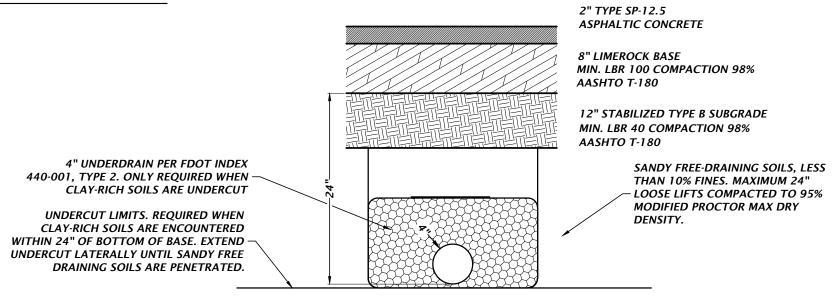
2. EXPANSION JOINTS WITH PREFORMED JOINT FILLER SHALL BE CONSTRUCTED BETWEEN ALL FIXED OBJECTS AND WALK AND AT CONSTRUCTION JOINTS.

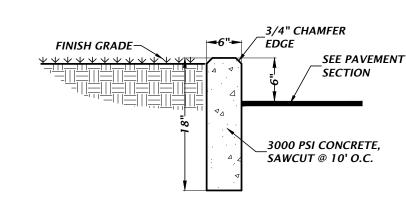
ADJACENT TO PAVEMENT

NOT ADJACENT TO PAVEMENT

CONCRETE SIDEWALK DETAILS

PIPE BOLLARD DETAIL





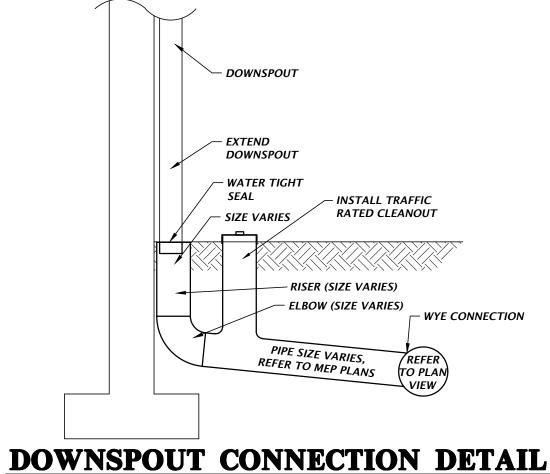
TYPICAL 6" CURB DETAIL

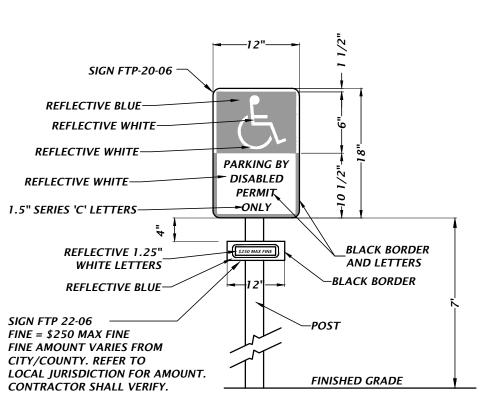
/	TION JOINTS 2" DEEP @ 12' O/C (SEAL JO I JOINTS @ 100' O/C
7/////////////////////////////////////	8" CONCRETE, 4000 PSI
	1 2" FREE DRAINING STABILIZED SUBGRADE (98% MODIFIED PROCTOR MAX DRY DENSITY)
	1 2" STABILIZED SUBGRADE (98% MODIFIED PROCTOR MAX DRY DENSITY

HEAVY DUTY

CONCRETE DETAIL

TYPICAL ASPHALT PAVEMENT DETAIL





SIGN NOTES: 1. SIGN CONSTRUCTION, DESIGN AND PLACEMENT SHALL COMPLY

WITH STATE AND LOCAL STATUTES.

ACCESSIBLE PARKING SIGN DETAIL

WALKER FAIN OWEN Walker Fain Owen State of Florida, Professiona Engineer, License No. 94201 This item has been digitall signed and sealed by Walk Fain Owen, PE on the date

document are not considere signed and sealed and the signature must be verified of any electronic copies.

Printed copies of this

FL PE No. 94201 C2.30

