

FINAL DEVELOPMENT PLANS

FOR:

JONESVILLE SELF STORAGE ALACHUA COUNTY, FLORIDA

SECTION 3, TOWNSHIP 10 SOUTH, RANGE 18 EAST

SUBMITTED TO:

ALACHUA COUNTY
GAINESVILLE REGIONAL UTILITIES
SUWANNEE RIVER WATER MANAGEMENT DISTRICT
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

GENERAL NOTES

- PROJECT NAME:**
JONESVILLE SELF STORAGE
- PROJECT DESCRIPTION:**
THE PROPOSED PROJECT IS A 3-STORY (MAXIMUM BUILDING HEIGHT OF 40', 130,000 SQ FT GROSS FLOOR AREA), STORAGE FACILITY LOCATED ON A PORTION OF ALACHUA COUNTY TAX PARCEL 04344-001-000. THE PROJECT WILL INCLUDE ASSOCIATED CIRCULATION, AND PARKING NECESSARY FOR THE STORAGE FACILITY. THE PROJECT WILL UTILIZE THE EXISTING STORMWATER POND TO THE WEST AND WILL NOT INCLUDE ANY ADDITIONAL STORAGE ON SITE. THE PROJECT WILL BE ACCESSED VIA THE EXISTING DRIVE TO THE WEST, WHICH CONNECTS TO 143RD STREET.
- PROJECT ADDRESS:**
14217 WEST NEWBERRY ROAD
NEWBERRY, FL 32669
- TAX PARCEL NUMBER(S):**
04344-001-000
- ENGINEERS OF RECORD:**
WALKER OWEN, P.E.
CHW
11801 RESEARCH DRIVE
ALACHUA, FLORIDA 32615
(352) 331-1976
walkero@chw-inc.com
- NUMBER OF UNITS/AREA OF BUILDINGS:**
128,757 SF
- DENSITY:**
N/A.
- PHASING:**
N/A.
- DEVELOPMENT CRITERIA:**

TYPE	CRITERIA	REQUIRED	PROVIDED
OPEN SPACE	N/A	PER SEC. 407.52, NOT REQUIRED	PER SEC. 407.52, NOT REQUIRED
BUFFERS	NO PERIMETER BUFFERS ARE REQUIRED PER ULDC TABLE 407.43.1	NO PERIMETER BUFFERS ARE REQUIRED PER ULDC TABLE 407.43.1	NO PERIMETER BUFFERS ARE REQUIRED PER ULDC TABLE 407.43.1
TREE CANOPY	RETAIN 20% OF EXISTING CANOPY	0.526 AC.	0.58 AC. (22%)
SITE CANOPY	PROVIDE 30% COVERAGE	0.97	1.35 AC. (42%)
PARKING	1/EMPLOYEE + 3 EMPLOYEES	3	3
BICYCLE PARKING	1/10 VEHICULAR PARKING	0	0
MOTORCYCLE PARKING	1/40 VEHICULAR PARKING	0	0

10. DEVELOPMENT SITE AREA:

TYPE	ACRES	SF	% OF TOTAL
TOTAL PROJECT AREA:	3.23 AC	140,857 SF	100%
NON-RESIDENTIAL BUILDING AREA:	0.99 AC	42,919 SF	30%
ROW/PAVEMENT/SIDEWALK/EASEMENTS AREA:	0.84 AC	36,697 SF	26%
EXISTING IMPERVIOUS AREA:	0.00 AC	0 SF	0%
PROPOSED IMPERVIOUS AREA:	1.83 AC	79,616 SF	57%
TOTAL IMPERVIOUS AREA:	1.83 AC	79,616 SF	57%
OPEN SPACE AREA (THIS PHASE):	N/A	N/A	N/A
CONSERVATION/PRESERVATION AREA:	N/A	N/A	N/A
STORMWATER MANAGEMENT AREA:	N/A	N/A	N/A
FLOOD PLAINS AREA:	0.00	0 SF	0%
WETLANDS AREA:	0.00 AC	0 SF	0%
SURFACE WATER AREA:	0.00 AC	0 SF	0%
STRATEGIC ECOSYSTEMS AREA:	0.00 AC	0 SF	0%
SIGNIFICANT/LISTED SPECIES AREA:	0.00 AC	0 SF	0%
BUFFERS/SCREENING AREA:	N/A	N/A	N/A
GEOLOGICAL FEATURES AREA:	0.00 AC	0 SF	0%

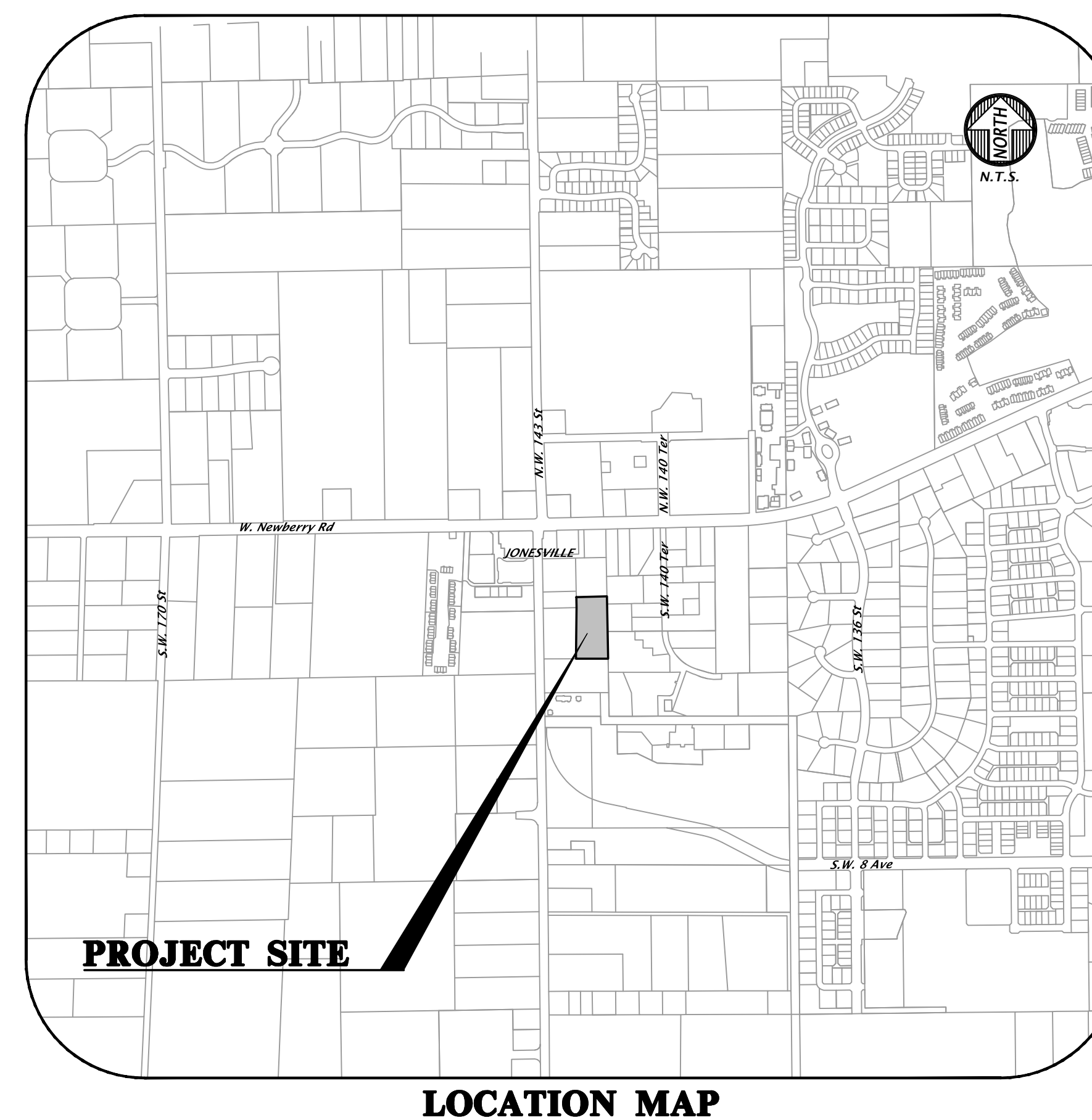
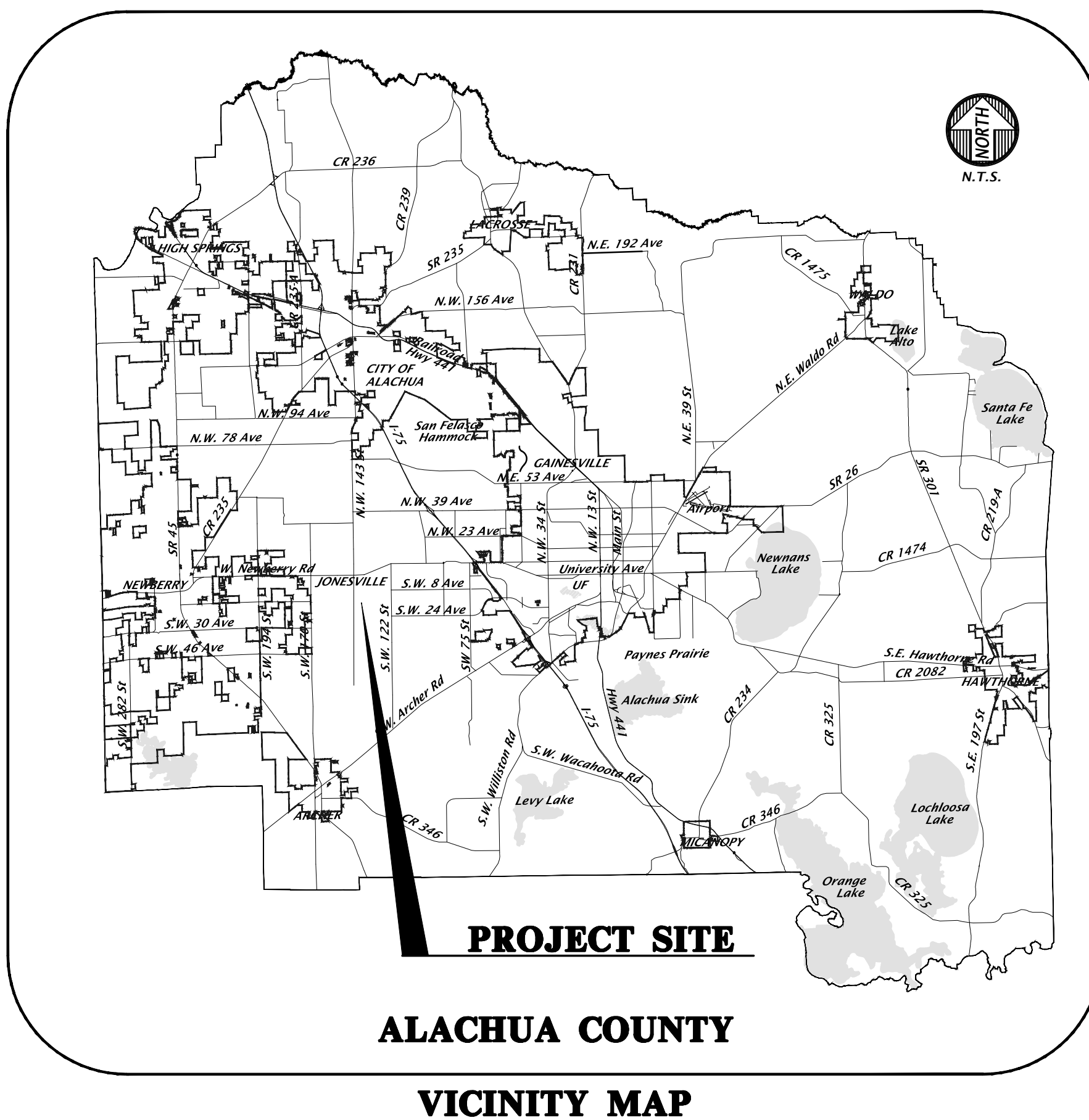
11. LOT/BUILDING REQUIREMENTS:

TYPE	REQUIRED	PROVIDED
MINIMUM LOT AREA (ACRES)	N/A	N/A
MINIMUM WIDTH AT FRONT BUILDING LINE (FT)	N/A	N/A
MINIMUM DEPTH (FT)	N/A	N/A
FRONT SETBACK (FT)	15'	15'
REAR SETBACK (FT)	5'	5'
SIDE SETBACK (FT)	5'	5'
STREET SIDE (FT)	N/A	N/A
MAXIMUM BUILDING HEIGHT (FT)	40	40
MAXIMUM BUILDING COVERAGE	N/A	N/A

12. TRIP GENERATION TABLE:

Land Use	ITE LU Code	Variable Type	Variable Size	Daily			AM Peak			PM Peak		
				Total	In	Out	Total	In	Out	Total	In	Out
Proposed Site												
Mini-Warehouse	151	KSP GLA	130	189	12	7	5	20	9	11		
Existing Site												
Health/Fitness Club (Shares Access but Separate Parcel)	492	KSP GLA	8,125	N/A*	11	6	5	28	16	12		
Combined Volumes				N/A	23	13	10	48	25	23		

* Daily trip generation is not provided in the 11th Edition ITE Trip Generation Manual.



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1-800-432-4770

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GRU NOTIFICATIONS

1. NOTIFY GRU WASTEWATER ENGINEERING 48 HOURS PRIOR TO CONSTRUCTION AT 352-393-1633; IF PROPER NOTIFICATION IS NOT MADE, CONTRACTOR IS SUBJECT TO STOP WORK ORDER.

2. NOTIFY GRU ELECTRIC INSPECTIONS 48 HOURS PRIOR TO CONSTRUCTION AT 352-339-0430; IF PROPER NOTIFICATION IS NOT MADE, CONTRACTOR IS SUBJECT TO BE SHUT DOWN.

FOR REVIEW ONLY
GRU CERTIFICATION

THE WATER & WASTEWATER SYSTEM DESIGN IS IN ACCORDANCE WITH CURRENT GRU DESIGN STANDARDS.

DATE: _____

Title: N/A Date: Sep 05, 2023 11:25am Filename: N:\2021\21-0556\Information\04_engineering\02_DWG\production\final\21-0556_C0.00_CV JonesvilleStorage.dwg

11801 Research Drive
Alachua, Florida 32615
(352) 331-1976
www.chw-inc.com

CHW
Professional Consultants

SCALE: N/A
VERIFY SCALE ON ORIGINAL DRAWING
0" = 100' (SEE NOTE ON THIS SHEET, ADJUST SCALES ACCORDINGLY)

CONSTRUCTION INFORMATION

CLIENT: RELIANT REAL ESTATE MANAGEMENT, LLC
PROJECT: JONESVILLE COMMERCIAL FDP
SHEET TITLE: COVER SHEET AND INDEX

DESIGNER: K. MERRITT
CHECKER: C. LEDFORD
QUALITY CONTROL: R. CALNEY
PROJECT NUMBER: 21-0565

FL PE No. 94201
SHEET NO. C0.00

ABBREVIATIONS

Table of abbreviations and symbols for various engineering and construction terms, including symbols, feet, degrees, minutes, seconds, percent, and various pipe and material types.

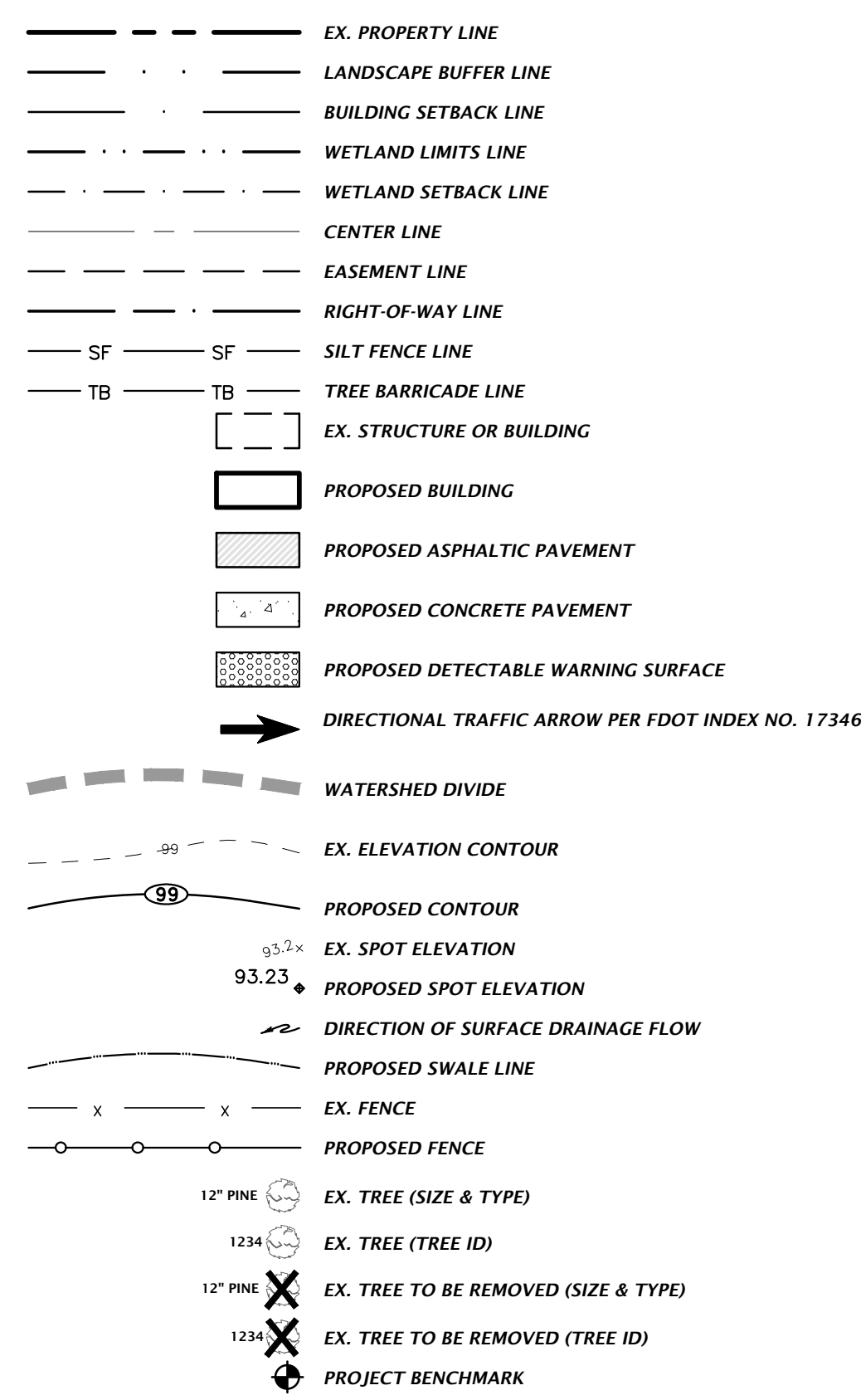
SIGNAGE

SIGNS ARE PER FDOT SPECIFICATIONS OR PER MUTCD. SIGN POSTS AND INSTALLATION SHALL BE PER FDOT INDEX NO. 700-010. SIGN PLACEMENT SHALL BE PER FDOT INDEX NO. 700-101.



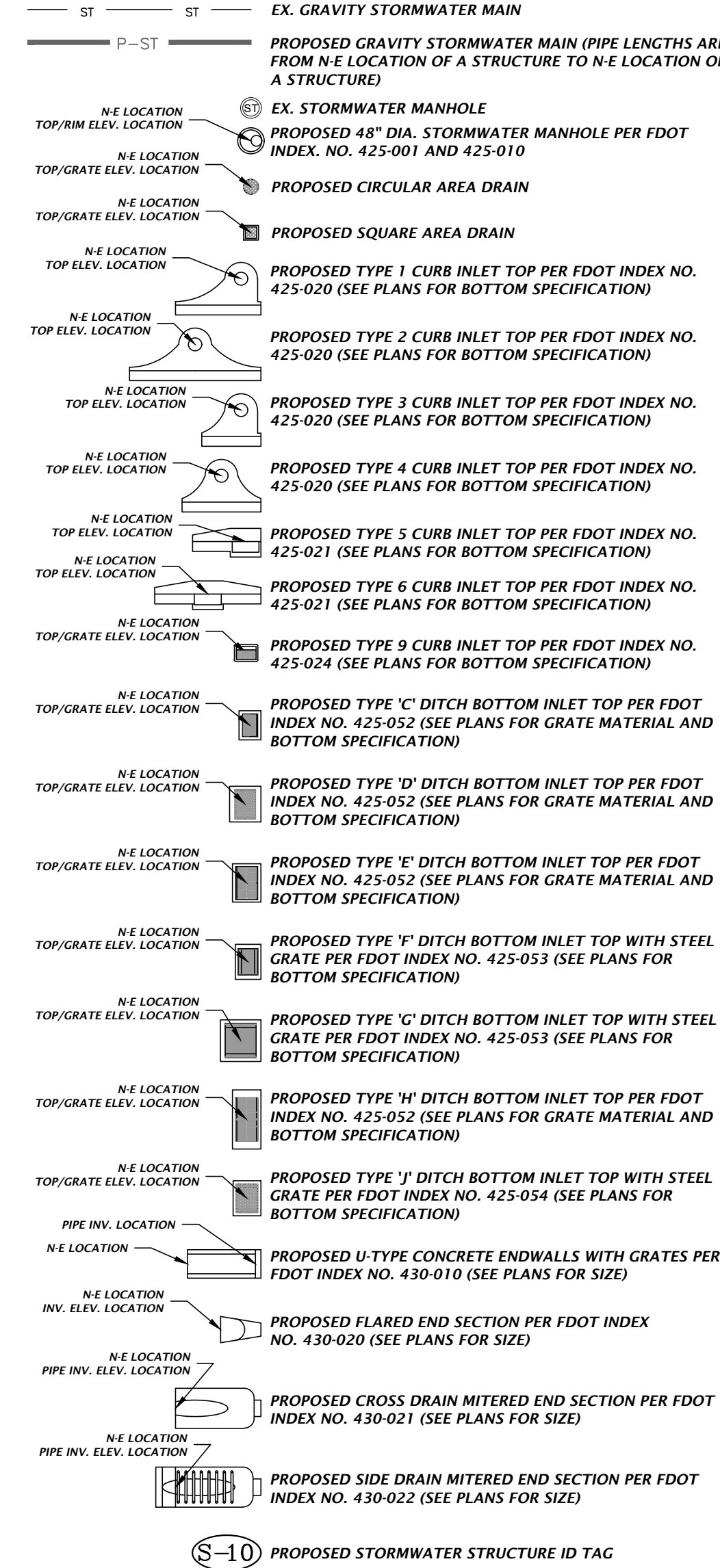
R1-1 "STOP" - SEE PLANS FOR SIZE

SITE INFORMATION

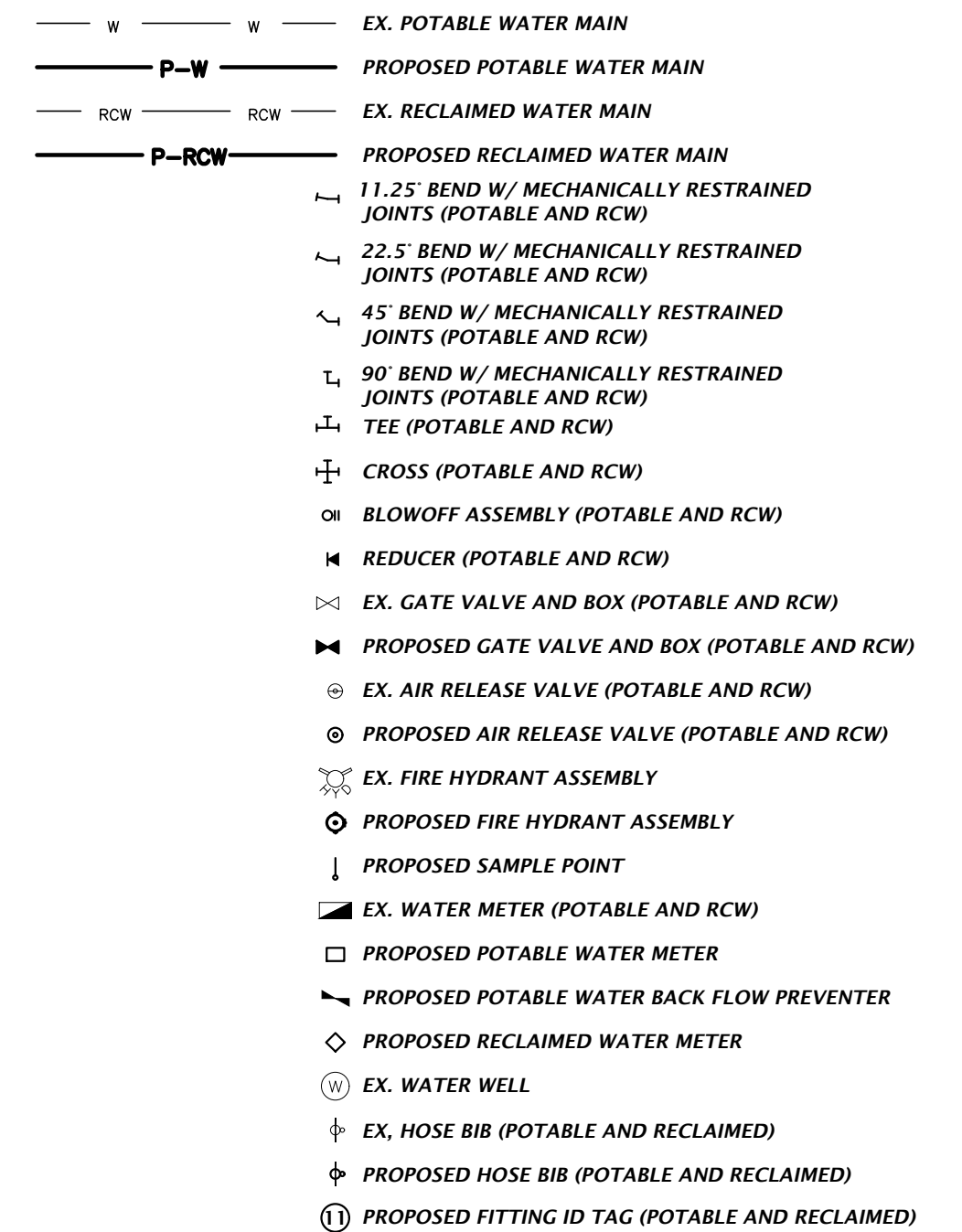


STORMWATER

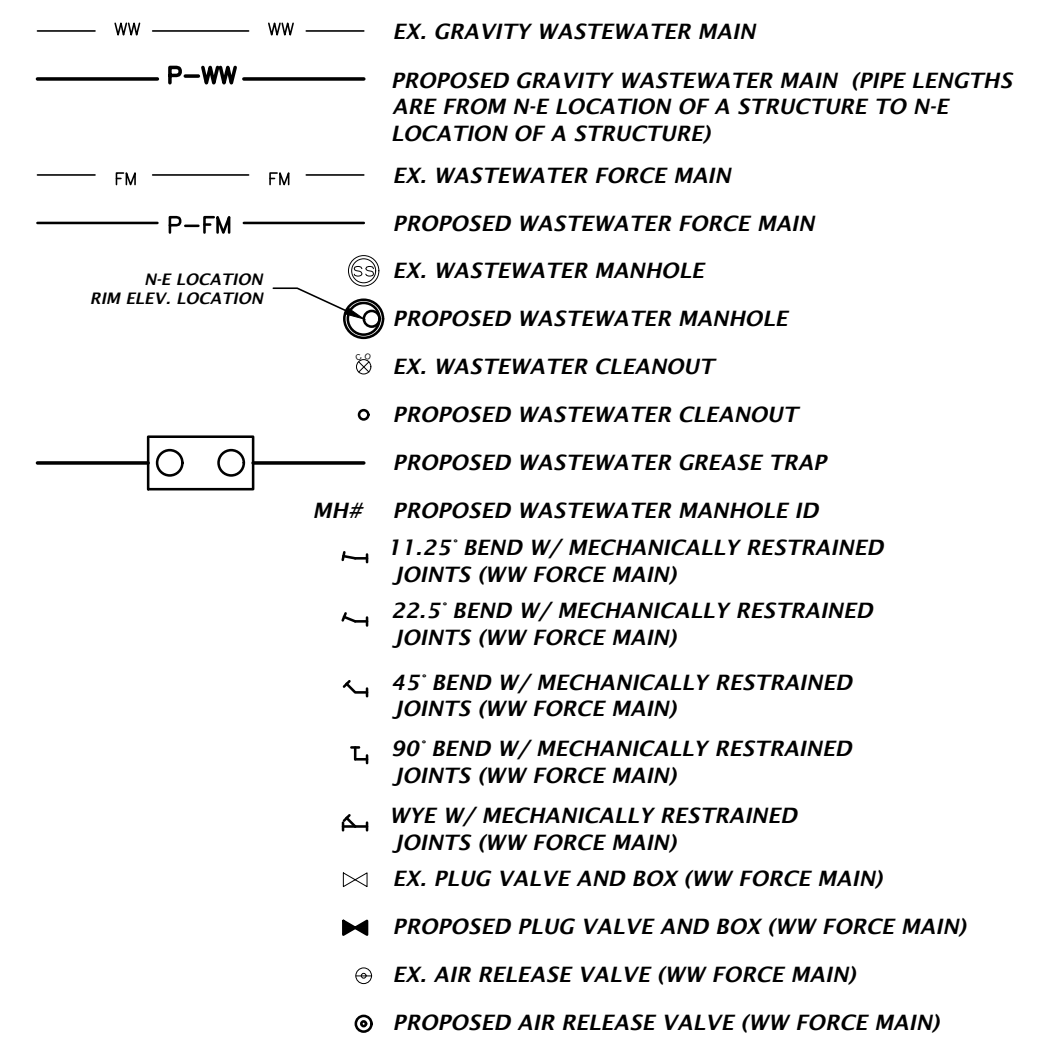
THE PROPOSED STORMWATER STRUCTURES DEPICTED BELOW ARE DRAWN PER FDOT SPECIFICATIONS AND TO SCALE WHEN SHOWN ON THE PLAN SHEETS.



POTABLE AND RECLAIMED WATER

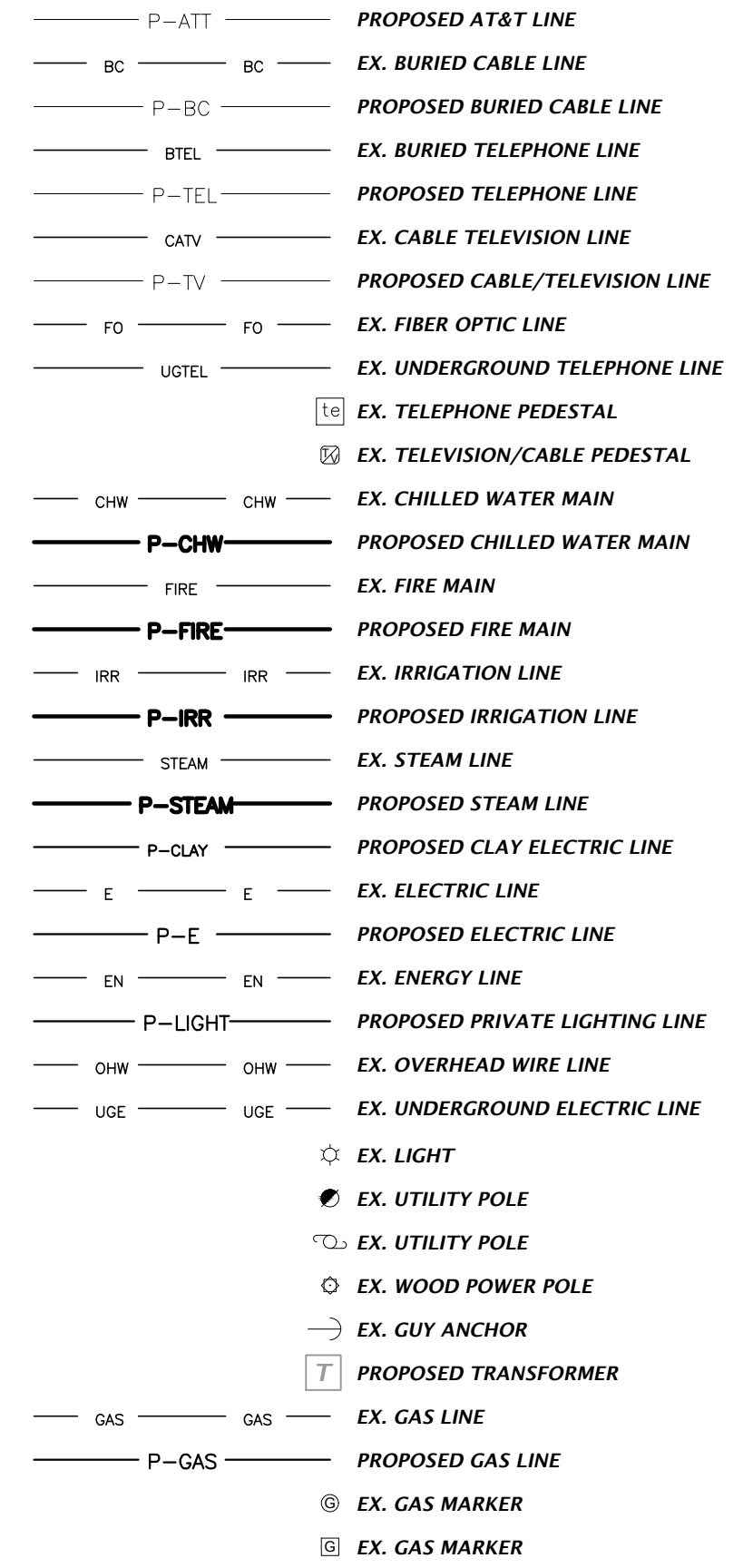


WASTEWATER



MISCELLANEOUS UTILITIES

THE PROPOSED UTILITIES BELOW ARE DESIGN BY OTHERS AND ARE DEPICTED FOR COORDINATION PURPOSES ONLY. REFER TO PLANS BY OTHERS FOR EXACT LOCATIONS, DIMENSION, AND DETAILS.



NOTES: 1. THIS LEGEND IS ALL INCLUSIVE AND MAY INCLUDE ITEMS NOT A PART OF THIS PLAN SET. 2. SYMBOLS SHOWN ON THIS SHEET ARE FOR ILLUSTRATIVE PURPOSES ONLY. UNLESS NOTED OTHERWISE, SYMBOLS IN THESE PLANS MAY NOT BE REPRESENTATIVE OF SIZE.

11801 Research Drive Alachua, Florida 32615 (352) 351-1976 www.chw-inc.com



SCALE: N/A VERIFY ALL DIMENSIONS ON ORIGINAL DRAWING. THIS SHEET, ADJUST SCALES ACCORDINGLY.

CONSTRUCTION INFORMATION: 6/15/23 - ALACHUA COUNTY, GRV, SR100 7/31/23 - ALACHUA COUNTY 9/15/23 - ALACHUA COUNTY

CLIENT: RELIANT REAL ESTATE MANAGEMENT, LLC PROJECT: JONESVILLE COMMERCIAL FDP SHEET NUMBER: 21-0565

DESIGNER: K. HERRITT CHECKER: C. LEDFORD QUALITY CONTROL: R. GILNEY PROJECT NUMBER: 21-0565

WALKER FAIR OWEN

Walker Fair Owen, State of Florida, Professional Engineer, License No. 94201. This item has been digitally signed and sealed by Walker Fair Owen, PE on the date indicated here.

FL PE No. 94201

SHEET NO. C0.11

I. INTRODUCTION

THIS DOCUMENT WAS PREPARED IN ORDER TO ILLUSTRATE COMPLIANCE WITH CHAPTER 62-621.300 (4) OF THE FLORIDA ADMINISTRATIVE CODE, WHICH PERTAINS TO THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES...

II. SITE DESCRIPTION

COUNTY: ALACHUA COUNTY, FLORIDA
SECTION, TOWNSHIP, RANGE: SECTION 3, TOWNSHIP 10 SOUTH, RANGE 18 EAST
COUNTY PARCEL NO.: 04344-001-000
STREET ADDRESS: 273 SW 143RD ST., NEWBERRY, FL 32669

A. NATURE OF CONSTRUCTION ACTIVITY

THE PROPOSED DEVELOPMENT IS THE CONSTRUCTION OF A MULTISTORY STORAGE FACILITY AND ASSOCIATED PAVEMENT FOR DRIVEWAYS AND PARKING, SIDEWALKS, AND UTILITY INFRASTRUCTURE...

B. SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES - CONTRACTOR MUST FILL IN DAYS

- FROM ____ TO ____ PRIOR TO CONSTRUCTION, SILT FENCING AND TREE PROTECTION FENCING SHALL BE INSTALLED AND ALL EXISTING STORM DRAINAGE SWALES AND INLETS SHALL BE PROTECTED IN ACCORDANCE WITH THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWER MANUAL, DATED JULY 2013, AND THESE PLANS.
FROM ____ TO ____ THE CONSTRUCTION SERVICE ENTRANCE SHALL BE STABILIZED TO MINIMIZE THE CREATION OF DUST AND OFF-SITE TRACKING OF SEDIMENTS.

C. SITE DEVELOPMENT DATA:

TOTAL PROJECT SITE AREA: 3.23 ACRES
TOTAL SITE AREA TO BE DISTURBED: 2.37 ACRES
TOTAL IMPERVIOUS AREA (AS SHOWN IN CONSTRUCTION DRAWINGS): 1.77 ACRES
TOTAL OPEN AREA: 1.46 ACRES

D. SOIL CONDITIONS AND STORMWATER QUALITY

THE NRCS DATA FOR THE SITE REVEALS THAT THE SITE SOILS ARE COMPRISED OF MILLHOPPER SAND AND JONESVILLE-CADILLAC-BONNEAU COMPLEX. THE PROJECT SITE WILL ROUTE STORMWATER RUNOFF VIA A STORMWATER PIPE CONVEYANCE SYSTEM TO AN EXISTING OFFSITE STORMWATER MANAGEMENT FACILITY...

E. SITE MAP

PLEASE SEE THE STORMWATER POLLUTION PREVENTION PLAN (CO.21) FOR DETAILS.

F. STORMWATER OUTFALL LOCATION AND RECEIVING WATER BODY

THE STORMWATER MANAGEMENT FACILITY OUTFALL STRUCTURE IS LOCATED AT THE WEST PORTION OF THE PROJECT (29.393.14° N, 82.29°42.26' W) AND THE ASSOCIATED RECEIVING WATER BODY IS THE EXISTING OFFSITE STORMWATER MANAGEMENT FACILITY.

III. CONTROLS TO REDUCE POLLUTION

AS OUTLINED IN THE SUWANNEE RIVER WATER MANAGEMENT DISTRICT (SRWMD) PERMIT, ALL CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN A MANNER AS TO NOT VIOLATE STATE WATER QUALITY STANDARDS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES REQUIRED TO RETAIN SEDIMENT ON-SITE...

IV. EROSION AND SEDIMENT CONTROLS

A. STABILIZATION PRACTICES

EXISTING TREES AND NATURAL VEGETATION TO REMAIN ON-SITE SHALL BE PROTECTED BY TREE BARRICADE FENCING AS DEPICTED ON THE STORMWATER POLLUTION PREVENTION PLAN (CO.21). TYPE III SILT FENCING SHALL PROTECT ALL DRAINAGE STRUCTURES AND SHALL BUFFER AREAS WITH POTENTIAL TO CONTRIBUTE OFF-SITE RUNOFF...

B. STRUCTURE PRACTICES

AS DEPICTED IN THE STORMWATER POLLUTION PREVENTION PLAN (CO.21), A STORMWATER MANAGEMENT SYSTEM WILL BE CONSTRUCTED AND WILL BE COMPRISED OF A STORM PIPE CONVEYANCE SYSTEM THAT DISCHARGES TO AN EXISTING MASTER FACILITY. TO PREVENT EROSION DURING CONSTRUCTION, TYPE III SILT FENCING WILL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLANS...

C. DRAINAGE LOCATIONS THAT SERVE AREAS WITH LESS THAN 10 DISTURBED ACRES

AS SPECIFIED IN THE "SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES," THE SMF(S) WILL BE CONSTRUCTED PRIOR TO CLEARING AND GRUBBING OUTSIDE OF THE SMF(S) AREAS AND CONSTRUCTION OF THE PERMANENT PAVED AREAS. THE TOTAL CONTRIBUTING DRAINAGE AREA TO THE STORMWATER MANAGEMENT SYSTEM IS APPROXIMATELY 3.23 ACRES AND WILL CONSIST OF APPROXIMATELY 2.37 ACRES OF DISTURBED CONSTRUCTION AREA...

D. DRAINAGE LOCATIONS THAT SERVE AREAS WITH MORE THAN 10 DISTURBED ACRES

NOT APPLICABLE, SEE SECTION C, ABOVE.

V. STORMWATER MANAGEMENT

A. BEST MANAGEMENT PRACTICES

AFTER CONSTRUCTION, THE STORMWATER MANAGEMENT SYSTEM SHALL BE MAINTAINED IN ACCORDANCE WITH THE SPECIFIED STORMWATER MAINTENANCE NOTES IN THE INCLUDED CONSTRUCTION DRAWINGS AND/OR RESPECTIVE MAINTENANCE REPORTS. SPECIFICALLY, THE PROPOSED SMF(S) SHALL BE MOWED REGULARLY IN THE SPECIFIED AREAS...

B. VEGETATED SWALES

WHEN VEGETATED SWALES ARE UTILIZED, SILT FENCING OR EQUIVALENT SEDIMENT CONTROLS SHALL BE INSTALLED AT ADEQUATE INTERVALS TO COLLECT SEDIMENT ALONG THE SWALE. THE SEDIMENT SHALL BE REMOVED WHEN SEDIMENT REACHES ONE-THIRD OF THE HEIGHT OF THE SILT FENCING...

C. VELOCITY DISSIPATION DEVICES AT DISCHARGE POINTS

WHEN DISCHARGE POINTS ARE NOT LOCATED UNDER WATER, RIP RAP PADS HAVE BEEN PROVIDED AT LOCATIONS WHERE NECESSARY DUE TO ANTICIPATED DISCHARGE VELOCITIES. PLEASE SEE THE CONSTRUCTION PLANS FOR DETAILS AND LOCATIONS, AS NEEDED.

VI. CONTROLS FOR OTHER POTENTIAL POLLUTANTS

A. WASTE DISPOSAL

THE CONTRACTOR SHALL PROVIDE LITTER COLLECTION CONTAINERS WITHIN THE PROJECT BOUNDARIES DURING CONSTRUCTION. CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIALS AND CONSTRUCTION DEBRIS IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.

B. DUST CONTROL

TO PREVENT OFF-SITE VEHICULAR TRACKING OF SEDIMENTS AND DUST GENERATION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE ESTABLISHED BY THE SITE CONTRACTOR. PLEASE SEE THE STORMWATER POLLUTION PREVENTION PLAN (CO.21) FOR DETAILS AND LOCATIONS.

C. EXISTING VERSUS PROPOSED POTABLE AND SANITARY SEWER SYSTEMS

THERE ARE EXISTING SANITARY SEWER AND POTABLE WATER SYSTEMS LOCATED ON THE PROJECT SITE. EXTENSION AND UPGRADES ARE PROPOSED. IF TEMPORARY SANITARY SYSTEMS ARE UTILIZED DURING CONSTRUCTION, THE CONTRACTOR SHALL PROPERLY CONTROL AND DISCHARGE ANY SANITARY WASTE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

D. FERTILIZER & PESTICIDES

THE USE OF FERTILIZERS, HERBICIDES, AND PESTICIDES ON THE PROJECT SITE, WILL BE DIRECTED BY THE LANDSCAPE PLAN AND THE FDOT STANDARD SPECIFICATIONS SECTION 570, TO SUPPORT THE GROWTH OF THE PROPOSED VEGETATION. ESTABLISHING THIS VEGETATION WILL AID IN THE STABILIZATION OF THE PROJECT SITE AND REDUCE EROSION...

E. TOXIC MATERIAL

THE CONSTRUCTION SITE WILL BE IN FULL COMPLIANCE WITH STATE AND FEDERAL REQUIREMENTS. A PLASTIC MAT, TAR PAPER, OR OTHER IMPERVIOUS MATERIAL SHALL BE PLACED UNDER AREAS WHERE TOXIC LIQUIDS ARE TO BE OPENED AND STORED.

F. HAZARDOUS MATERIALS

ALL HAZARDOUS MATERIALS SHALL BE STORED IN A SECURE LOCATION, UNDER COVER, AND IN APPROPRIATE TIGHTLY SEALED CONTAINERS WHEN NOT IN USE. ALL PRODUCTS SHALL BE STORED IN AND USED FROM THE ORIGINAL CONTAINER WITH THE ORIGINAL PRODUCT LABEL...

ALL PRODUCTS SHALL BE USED IN STRICT COMPLIANCE WITH THE INSTRUCTIONS ON THE PRODUCT LABEL.

SUFFICIENT EQUIPMENT AND/OR MATERIALS SHALL BE KEPT ONSITE TO CONTAIN AND CLEAN UP SPILLS OF HAZARDOUS MATERIALS IN THE AREAS WHERE THESE MATERIALS ARE STORED OR USED. SPILL CONTROL AND CONTAINMENT KIT SUPPLIES SHALL BE OF SUFFICIENT QUANTITIES AND APPROPRIATE CONTENT TO CONTAIN A SPILL FROM THE LARGEST ANTICIPATED PIECE OF EQUIPMENT AND FROM THE LARGEST ANTICIPATED QUANTITIES OF PRODUCTS STORED ON THE SITE AT ANY GIVEN TIME.

CONTRACTOR TO CONTAIN AND CLEAN UP ANY SPILLS IMMEDIATELY AFTER THEY OCCUR. ANY SPILLS OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF REPORTABLE QUANTITIES AS DEFINED BY EPA, STATE, OR LOCAL AGENCY REGULATIONS SHALL BE REPORTED TO THE APPROPRIATE AGENCIES...

ALL EXCESS, USED, OR SPILLED PRODUCTS, INCLUDING CONTAMINATED SOIL, SHALL BE DISPOSED OF BY THE CONTRACTOR IN STRICT COMPLIANCE WITH INSTRUCTIONS ON THE PRODUCT LABEL AND ALL APPLICABLE REGULATIONS.

VII. APPROVED STATE AND LOCAL PLANS

THE CONSTRUCTION DRAWINGS FOR THE PROJECT WERE APPROVED AND PERMITTED BY THE FOLLOWING AGENCIES:

- * ALACHUA COUNTY
* SUWANNEE RIVER WATER MANAGEMENT DISTRICT
* GAINESVILLE REGIONAL UTILITIES
* FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

VIII. CONSTRUCTION ACTIVITY DISCHARGES

IN ACCORDANCE WITH THIS PLAN, THERE ARE NO ANTICIPATED DISCHARGES OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.

IX. CHANGES TO THE POLLUTION PREVENTION PLAN

THIS STORMWATER POLLUTION PREVENTION PLAN SHALL BE AMENDED TO REFLECT ANY APPLICABLE CHANGE IN A STATE, REGIONAL, OR LOCAL PERMIT FOR WHICH THE PERMITTEE RECEIVES WRITTEN NOTICE. WHEN WRITTEN NOTICE IS RECEIVED, THE PERMITTEE SHALL PROVIDE A RE-CERTIFICATION OF THIS POLLUTION PREVENTION PLAN, WHICH HAS BEEN REVISED TO ADDRESS SUCH CHANGES...

X. ALTERNATIVE PERMIT REQUIREMENTS

NO ALTERNATIVE PERMIT REQUIREMENTS ARE REQUESTED.

XI. MAINTENANCE

THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE, INSPECTION SCHEDULE, AND REPAIRS OUTLINED IN THIS PLAN. MAINTENANCE SHALL CONTINUE THROUGHOUT THE PROJECT UNTIL WORK IS COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER CONSTRUCTION IS COMPLETE...

XII. INSPECTIONS

THE CONTRACTOR SHALL INSPECT ALL POINTS OF POTENTIAL DISCHARGE FROM THE PROJECT SITE FOR ALL DISTURBED AREAS ON THE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.50 INCHES OR GREATER. FOR POINTS OF DISCHARGE INTO SURFACE WATERS OF THE STATE OR AN MS4, A QUALIFIED INSPECTOR (PROVIDED BY THE OPERATOR) SHALL PERFORM THE REQUIRED INSPECTIONS...

A. DISTURBED AREAS

ALL DISTURBED AREAS AND AREAS USED FOR MATERIAL STORAGE SHALL BE INSPECTED FOR POLLUTANTS ENTERING THE STORMWATER SYSTEM. THE STORMWATER MANAGEMENT SYSTEM AND EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE INSPECTED TO ENSURE THEY ARE OPERATING CORRECTLY...

B. MAINTENANCE PERFORMANCE

BASED ON THE RESULTS OF THE INSPECTION, ALL MAINTENANCE OPERATIONS NEEDED TO ASSURE PROPER COMPLIANCE WITH THIS PLAN SHALL BE DONE IN A TIMELY MANNER, BUT IN NO CASE LATER THAN 7 DAYS FOLLOWING THE INSPECTION.

C. REPORTING REQUIREMENTS

ALL INSPECTIONS SHALL BE RECORDED ON THE CONSTRUCTION INSPECTION FORM. THIS FORM IS CREATED TO SUMMARIZE THE SCOPE OF THE INSPECTION, THE NAME(S) AND QUALIFICATION OF THE INSPECTOR(S), THE DATE OF INSPECTION, RAINFALL DATA, OBSERVATIONS, THE ACTIONS TAKEN TO CORRECT INCIDENTS OF NON-COMPLIANCE WITH THE PROVISIONS OF THIS PLAN...

XIII. NON-STORMWATER DISCHARGES

IN ADDITION TO STORMWATER RUNOFF, THIS PLAN APPLIES TO RUNOFF FROM IRRIGATION OPERATIONS AND CONSTRUCTION PRACTICES. THIS PLAN DOES NOT PERTAIN TO DISCHARGES FROM FIRE FIGHTING ACTIVITIES.

XIV. CONTRACTORS CERTIFICATION

THE CONTRACTORS OR SUB-CONTRACTORS SHALL PHOTOCOPY AND COMPLETE THE FORM ON THIS PAGE. IT SHALL BE PROVIDED TO THE OWNER AND KEPT ON FILE PURSUANT TO SECTION XV REGARDING PROJECT RECORDS.

XV. RETENTION OF RECORDS

THE PERMITTEE SHALL RETAIN COPIES OF STORMWATER POLLUTION PREVENTION PLANS AND ALL REPORTS REQUIRED BY THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT, FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED.

THE PERMITTEE SHALL RETAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN AND ALL REPORTS, RECORDS, AND DOCUMENTATION REQUIRED BY THIS PERMIT AT THE CONSTRUCTION SITE, OR AN APPROPRIATE ALTERNATIVE LOCATION AS SPECIFIED IN THE NOTICE OF INTENT, FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

XVI. NOTICE OF TERMINATION

NOTICE OF TERMINATION:

- 1. WHERE A SITE HAS BEEN FINALLY STABILIZED AND ALL STORMWATER DISCHARGES AUTHORIZED BY THIS PERMIT ARE ELIMINATED, THE PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION (DEP FORM 62-621.300(6)), SIGNED IN ACCORDANCE WITH PART VII.C OF DEP DOCUMENT NO. 62-621.300(4)(a), WITHIN 14 DAYS OF FINAL STABILIZATION OF THE SITE TO TERMINATE COVERAGE UNDER THIS PERMIT.
2. ELIMINATION OF STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY MEANS THAT ALL DISTURBED SOILS AT THE SITE HAVE BEEN FINALLY STABILIZED AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR WILL BE REMOVED AT AN APPROPRIATE TIME...

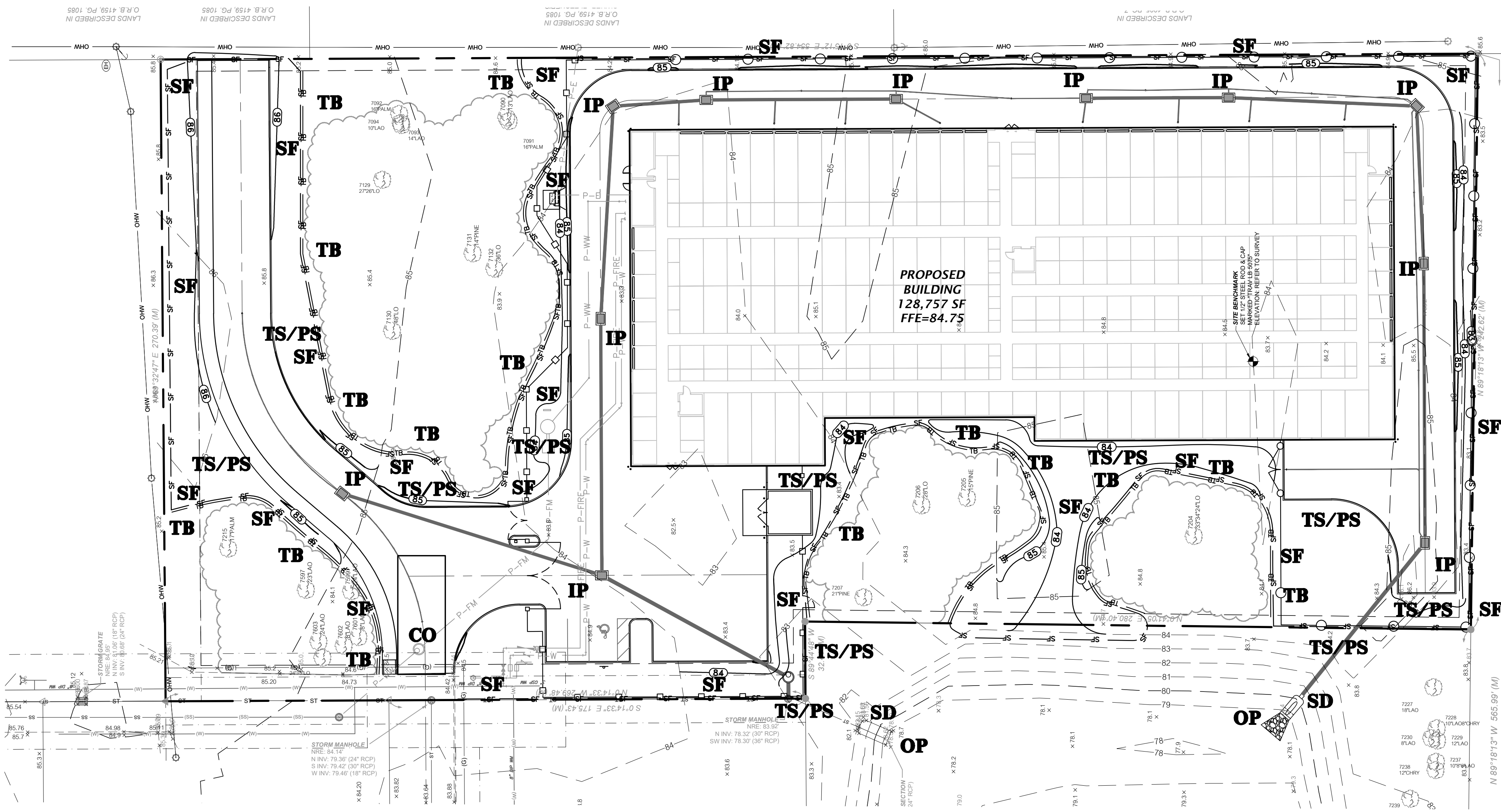
THE PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE FOLLOWING ADDRESS:

NPDES STORMWATER NOTICES CENTER, MS# 2510
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
2600 BLAIR STONE ROAD
TALLAHASSEE, FLORIDA 32399-2400

PROJECTS THAT DISCHARGED STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY TO A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4) SHALL SUBMIT A COPY OF THE N.O.T. TO THE OPERATOR OF THE MS4.

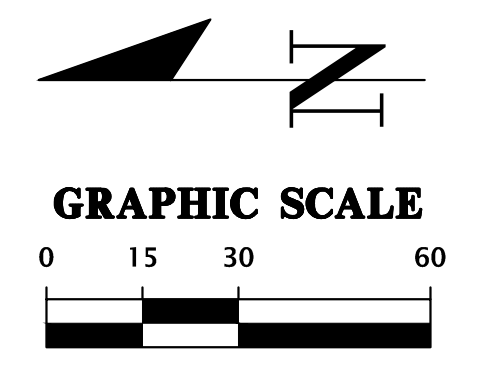
Vertical text on the left margin: Title Block, Date, Scale, and other project information.

Title block containing project title 'Contractor/Subcontractor Certification Statement Stormwater Pollution Prevention Plan', sheet number 'C0.20', date '11/28/2023', and various certification signatures and stamps.



STORMWATER POLLUTION PREVENTION LEGEND

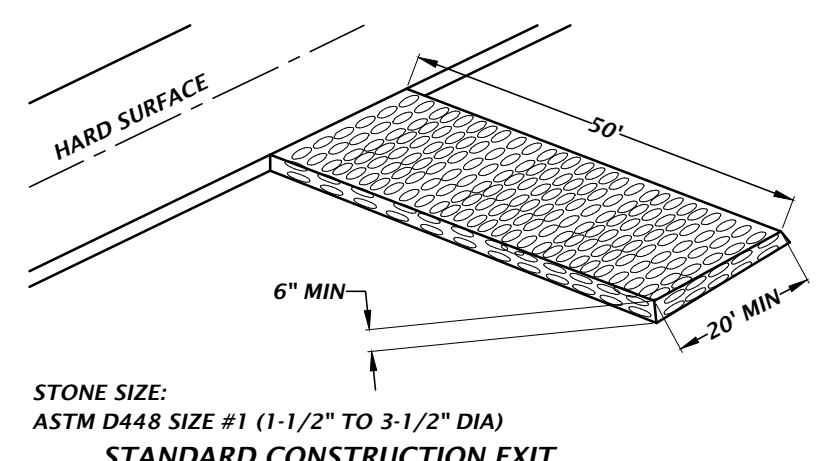
- TS = TEMPORARY SEEDING
- PS = PERMANENT SEEDING
- ML = MULCHING
- SD = SOD STABILIZATION
- SF = SILT BARRIER
- TB = TREE BARRIER
- IP = INLET PROTECTION
- OP = OUTLET PROTECTION
- CO = CONSTRUCTION ENTRANCE/EXIT



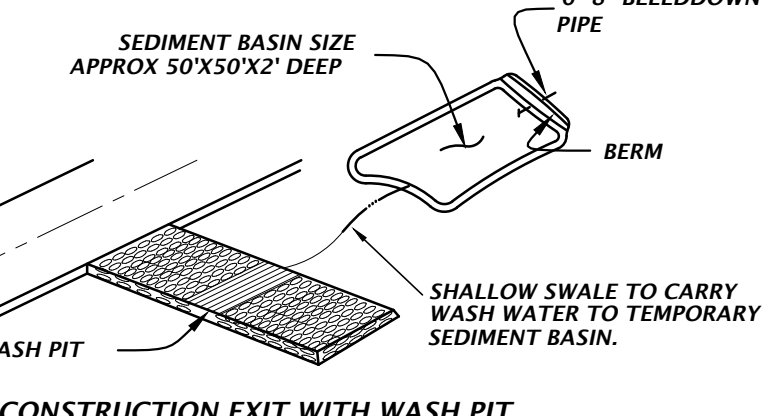
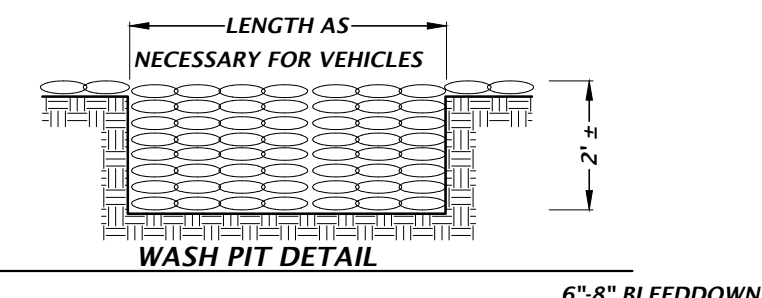
BASIN EROSION & SEDIMENTATION CONTROL

1. SILT FENCING AND/OR STAKED HAYBALES SHALL BE CONSTRUCTED WHERE SHOWN ON THE DRAWINGS PRIOR TO STARTING CONSTRUCTION.
2. ALL STORMDRAIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION IN ACCORDANCE WITH FDOT STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWER MANUAL.
3. THE DRAINAGE BASINS SHALL BE ROUGH GRADED PRIOR TO CONSTRUCTING THE LIMEROCK BASE. THE RETENTION BASINS SHALL BE FINE GRADED AND GRASSED PRIOR TO PAVING AND SITE CLEANUP.
4. THE STORMDRAIN SYSTEM SHALL BE FLUSHED OUT TO REMOVE ALL ACCUMULATED DEBRIS AND SEDIMENT UPON COMPLETION OF CONSTRUCTION.
5. THE DRAINAGE BASIN BOTTOM SHALL BE SCRAPED CLEAN OF ALL ACCUMULATED SEDIMENT UPON COMPLETION OF CONSTRUCTION AFTER THE STORMDRAIN SYSTEM IS COMPLETELY FLUSHED OUT. THIS ACTIVITY SHALL ONLY OCCUR IN A DRY STATE.
6. ALL DISTURBED AREAS IN THE CONSTRUCTION AREA SHALL BE COMPLETELY STABILIZED BY COMPLETION OF CONSTRUCTION. GRASS SEEDING RATES AND MIXTURES SHALL BE PER SECTION 570 OF THE STANDARD SPECIFICATIONS. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO FINAL RELEASE.
7. REFER TO THE SWPPP PLAN FOR COMPLETE EROSION CONTROL MEASURES.
8. WHERE POND TOP OF BANK IS IN CUT TO EXISTING GRADE, CONTRACTOR SHALL SOD 5-FT BEYOND TOP OF BANK FOR EROSION PROTECTION.

NOTE:
1. CONSTRUCTION EXIT INSTALLATION SHALL REMOVE MUD/SOILS FROM TIRES TO PREVENT TRACKING ONTO PUBLIC ROADS.
2. TOP DRESSING WITH 2" STONE MAY BE REQ'D AS DETERMINED BY THE USE AND FUNCTION OF THE SYSTEM.
3. THE WASH PIT SHOULD BE INSTALLED IF THE STANDARD CONSTRUCTION EXIT DOES NOT SUFFICIENTLY REMOVE SOILS AND WASHING IS REQ'D.



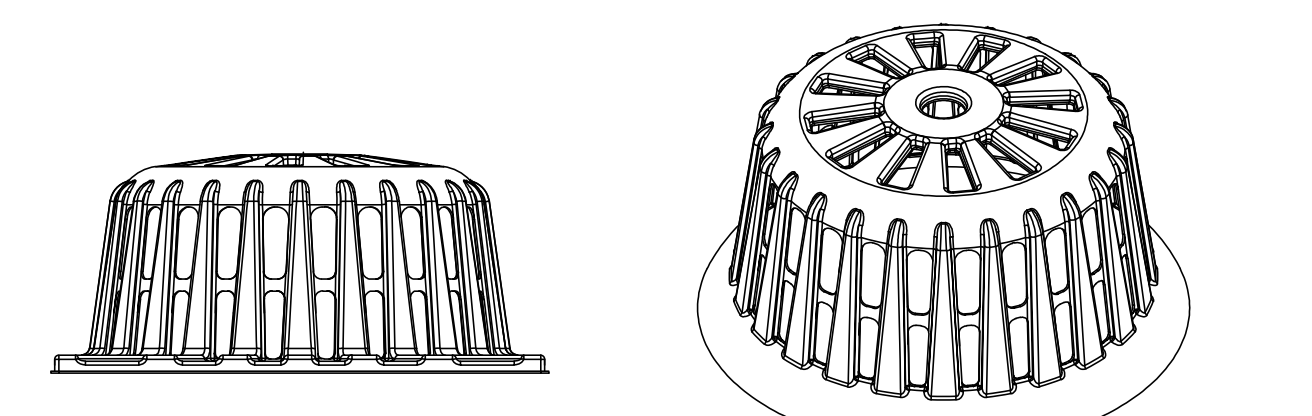
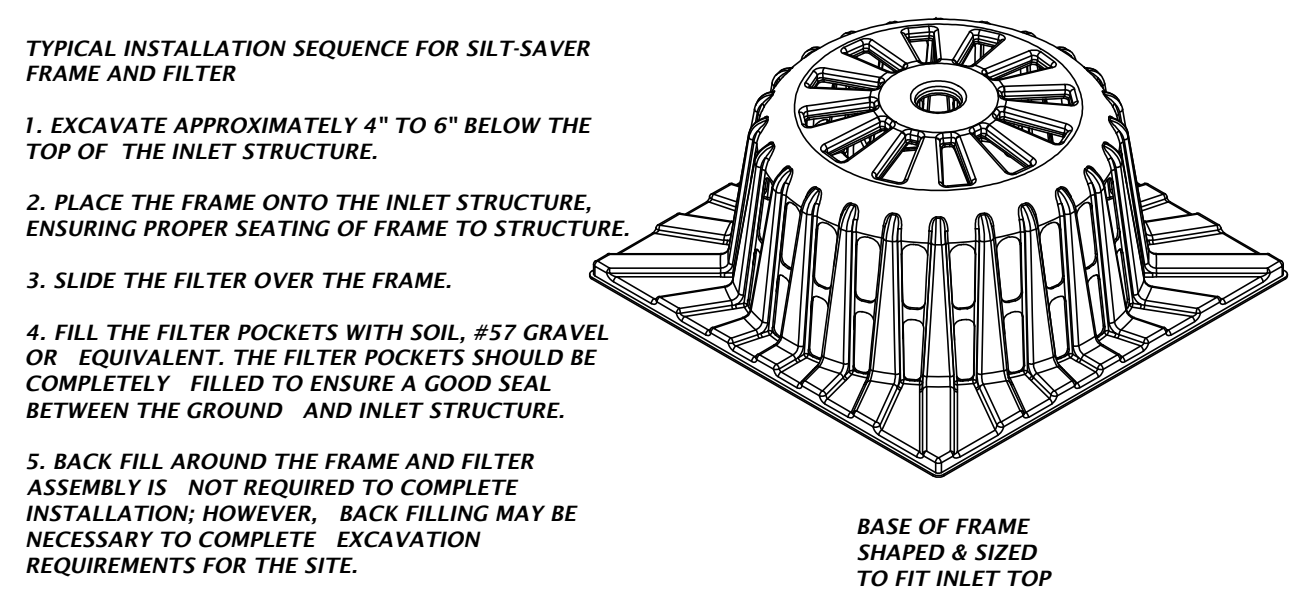
TEMPORARY CONSTRUCTION EXIT DETAIL



CONSTRUCTION EXIT WITH WASH PIT

TYPICAL INSTALLATION SEQUENCE FOR SILT SAVER FRAME AND FILTER

1. EXCAVATE APPROXIMATELY 4" TO 6" BELOW THE TOP OF THE INLET STRUCTURE.
2. PLACE THE FRAME ONTO THE INLET STRUCTURE, ENSURING PROPER SEATING OF FRAME TO STRUCTURE.
3. SLIDE THE FILTER OVER THE FRAME.
4. FILL THE FILTER POCKETS WITH SOIL, #57 GRAVEL OR EQUIVALENT. THE FILTER POCKETS SHOULD BE COMPLETELY FILLED TO ENSURE A GOOD SEAL BETWEEN THE GROUND AND INLET STRUCTURE.
5. BACK FILL AROUND THE FRAME AND FILTER ASSEMBLY IS NOT REQUIRED TO COMPLETE INSTALLATION; HOWEVER, BACK FILLING MAY BE NECESSARY TO COMPLETE EXCAVATION REQUIREMENTS FOR THE SITE.



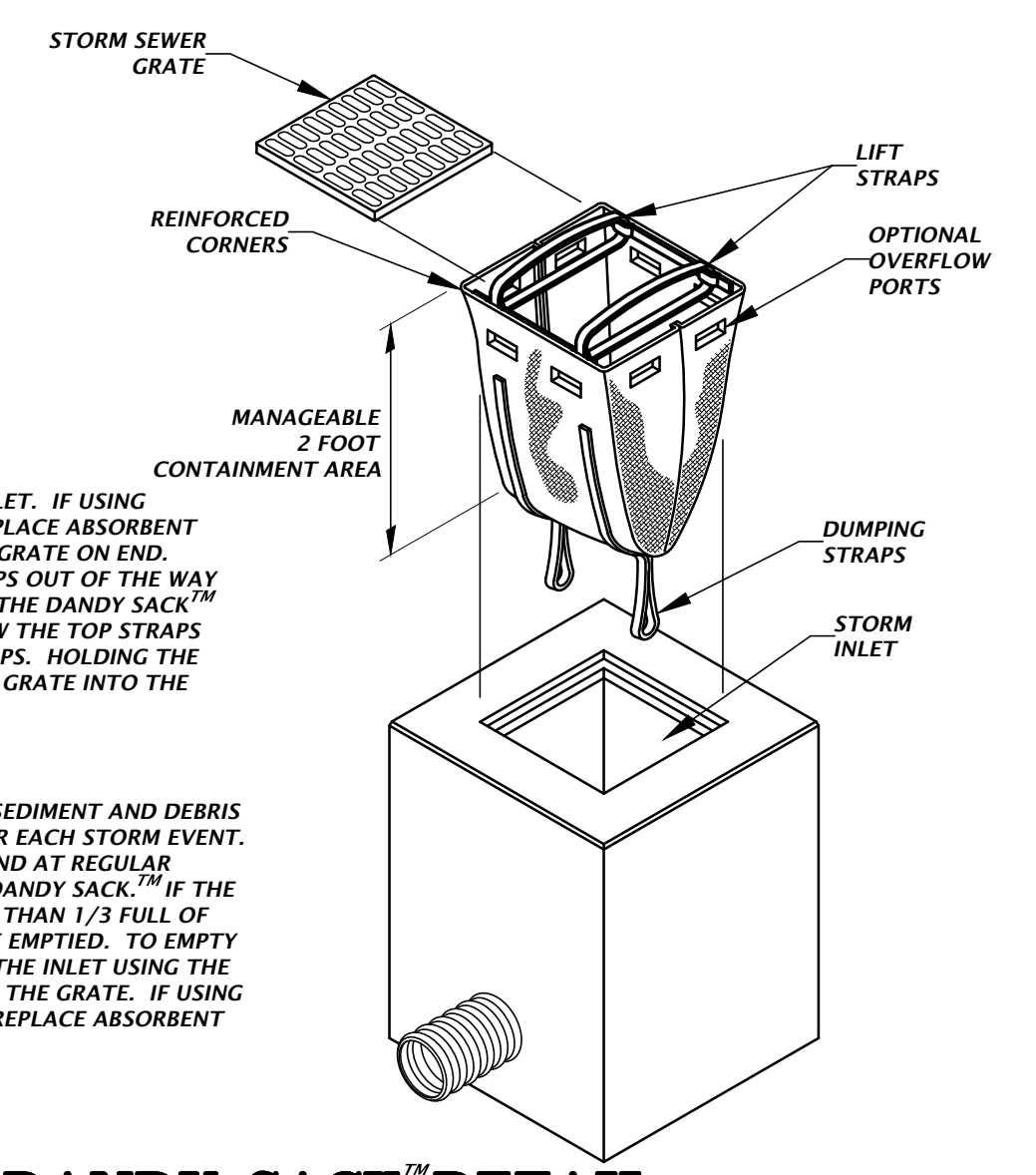
SILT-SAVER® DETAIL

INSTALLATION:

REMOVE THE GRATE FROM INLET. IF USING OPTIONAL OIL ABSORBENTS; PLACE ABSORBENT PILLOW IN UNIT. STAND THE GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE DANDY SACK™ SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

MAINTENANCE:

REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY SACK™. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS; REPLACE ABSORBENT WHEN NEAR SATURATION.



DANDY SACK™ DETAIL

INLET PROTECTION OPTIONS DETAIL

11801 Research Drive
Alachua, Florida 32615
(352) 331-1976
www.chw-inc.com
est. 1988 FLORIDA CA-5075

CHW
Professional Consultants

SCALE: 1"=30'
VERIFY SCALE ON ORIGINAL DRAWING
0 15 30 60
THIS SHEET, ADJUST SCALES ACCORDINGLY.

CONSTRUCTION AND EROSION CONTROL
6/5/23 - ALACHUA COUNTY, GRU, SRWMD
7/31/23 - ALACHUA COUNTY
9/5/23 - ALACHUA COUNTY

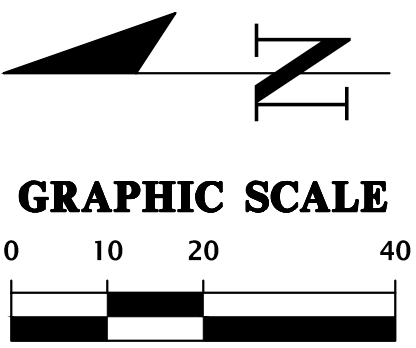
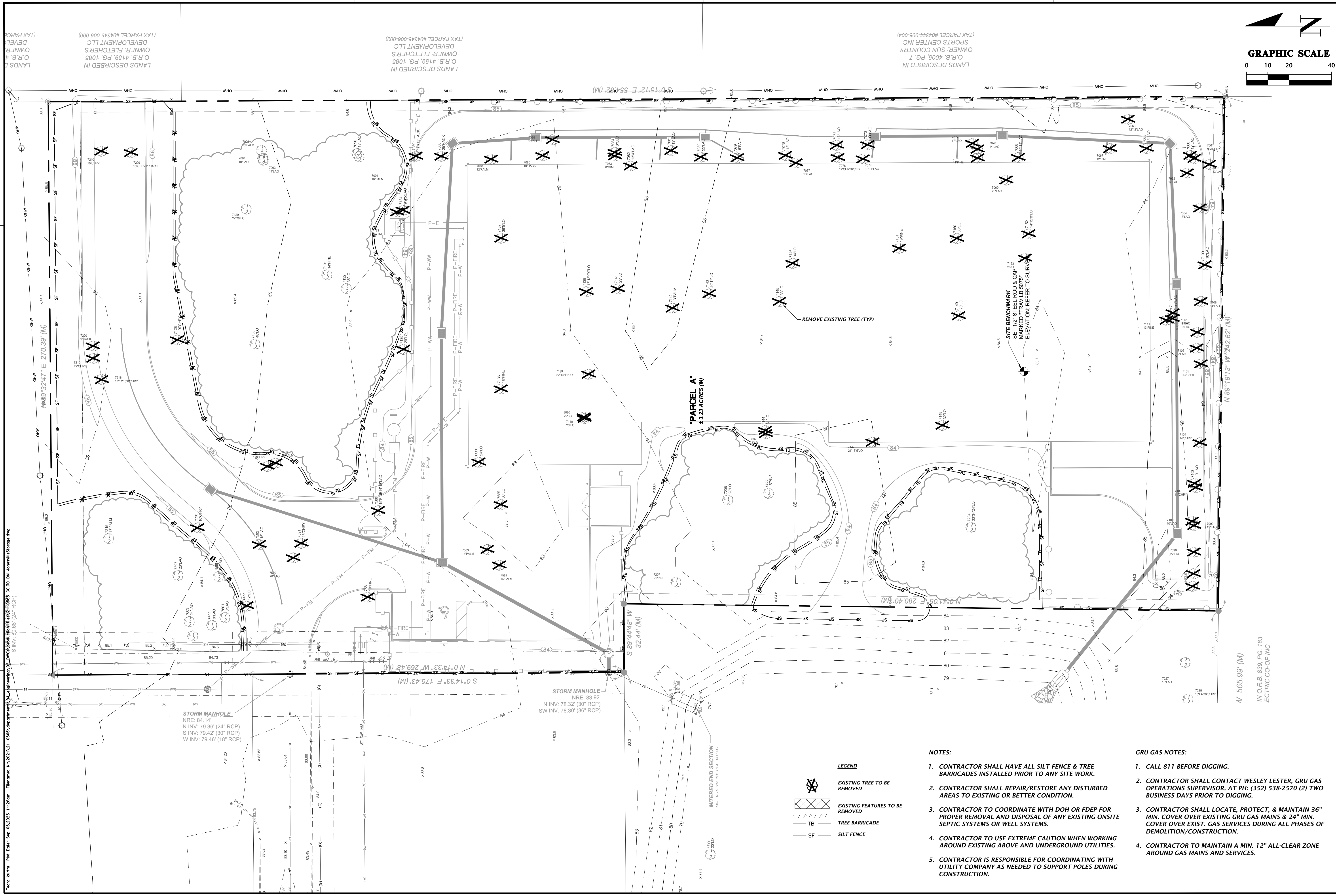
CLIENT:
RELIANT REAL ESTATE MANAGEMENT, LLC
PROJECT:
JONESVILLE COMMERCIAL FDP
SHEET TITLE:
STORMWATER POLLUTION PREVENTION PLAN

DESIGNED BY:
K. MERRITT
CHECKED BY:
C. LEDFORD
QUALITY CONTROL:
R. GILNEY
PROJECT NUMBER:
21-0565

Walker Fain Owen
State of Florida, Professional Engineer, License No. 94201
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Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

FL PE No. 94201
SHEET NO.
C0.21

Text: mufm For Date: Sep 05, 2023 11:25am Theme: N:\2021\21-0565\4\partimemh\04_eng\drawing\02_dwgs\production\file\21-0565_C0.21_SWPPP_JonesvilleStorage.dwg



LANDS DESCRIBED IN O.R.B. 4159, PG. 1085
OWNER: FLETCHERS DEVELOPMENT LLC
(TAX PARCEL #04345-006-000)

LANDS DESCRIBED IN O.R.B. 4159, PG. 1085
OWNER: FLETCHERS DEVELOPMENT LLC
(TAX PARCEL #04345-006-002)

LANDS DESCRIBED IN O.R.B. 4005, PG. 7
OWNER: SUN COUNTRY SPORTS CENTER INC
(TAX PARCEL #04344-005-004)

Text: hufm For Date Sep 03, 2023 11:28am Theme: N:\2021\21-0565\Information\02-DWG\addition final\21-0565 CO.30 DM Jowers\Storage.dwg
S INV: 80.08 (24" RCP)

LEGEND

	EXISTING TREE TO BE REMOVED
	EXISTING FEATURES TO BE REMOVED
	TREE BARRICADE
	SILT FENCE

NOTES:

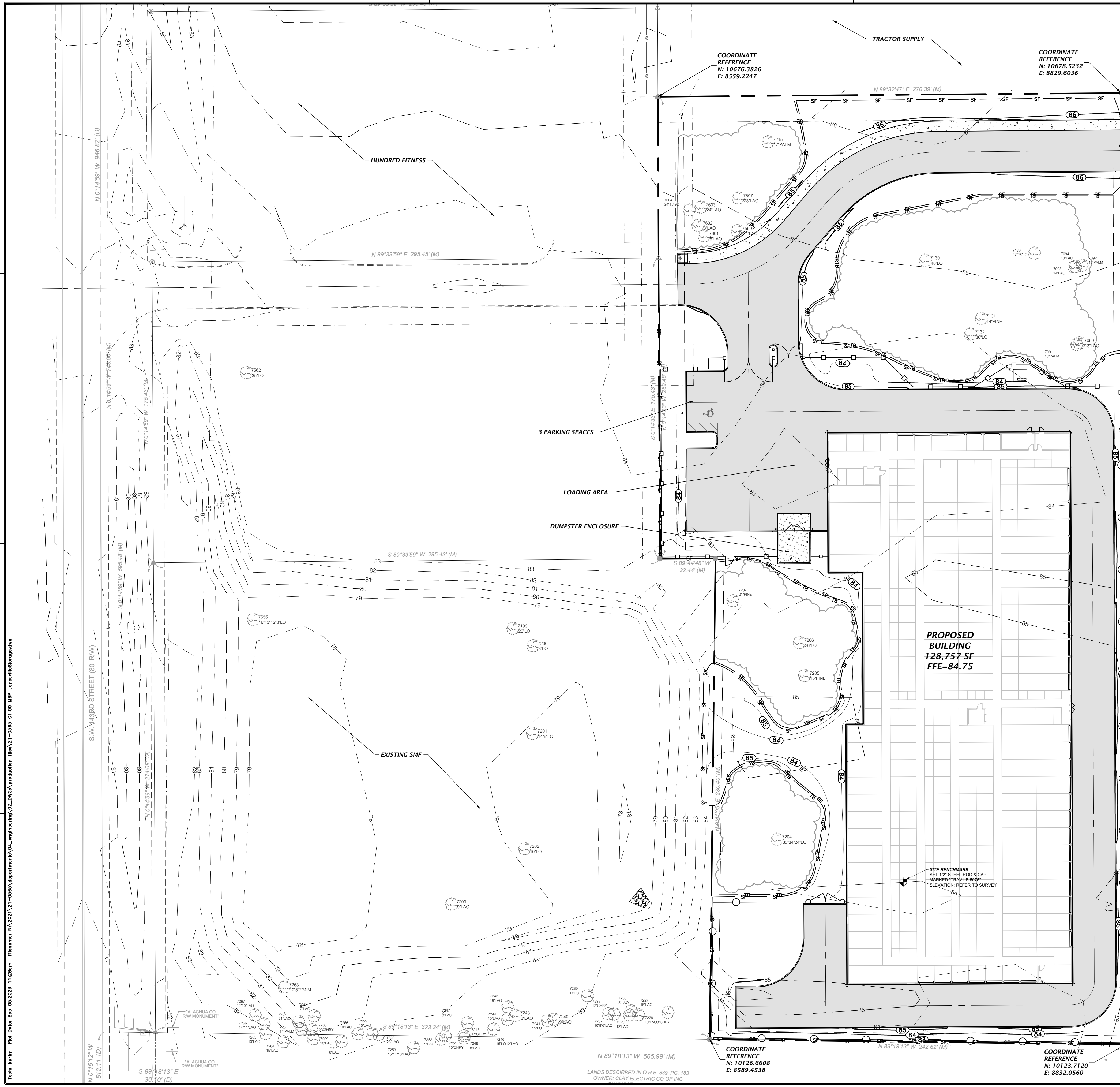
- CONTRACTOR SHALL HAVE ALL SILT FENCE & TREE BARRICADES INSTALLED PRIOR TO ANY SITE WORK.
- CONTRACTOR SHALL REPAIR/RESTORE ANY DISTURBED AREAS TO EXISTING OR BETTER CONDITION.
- CONTRACTOR TO COORDINATE WITH DOH OR FDEP FOR PROPER REMOVAL AND DISPOSAL OF ANY EXISTING ONSITE SEPTIC SYSTEMS OR WELL SYSTEMS.
- CONTRACTOR TO USE EXTREME CAUTION WHEN WORKING AROUND EXISTING ABOVE AND UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH UTILITY COMPANY AS NEEDED TO SUPPORT POLES DURING CONSTRUCTION.

GRU GAS NOTES:

- CALL 811 BEFORE DIGGING.
- CONTRACTOR SHALL CONTACT WESLEY LESTER, GRU GAS OPERATIONS SUPERVISOR, AT PH: (352) 538-2570 (2) TWO BUSINESS DAYS PRIOR TO DIGGING.
- CONTRACTOR SHALL LOCATE, PROTECT, & MAINTAIN 36" MIN. COVER OVER EXISTING GRU GAS MAINS & 24" MIN. COVER OVER EXIST. GAS SERVICES DURING ALL PHASES OF DEMOLITION/CONSTRUCTION.
- CONTRACTOR TO MAINTAIN A MIN. 12" ALL-CLEAR ZONE AROUND GAS MAINS AND SERVICES.

N 565.99' (M)
IN O.R.B. 839, PG. 183
ELECTRIC CO-OP, INC

<p>1801 Research Drive Alachua, Florida 32615 (352) 331-1976 www.chw-inc.com est. 1988 FLORIDA CA-5075</p>	
<p>CHW Professional Consultants</p>	
<p>SCALE: 1"=20'</p> <p>VERIFY SCALE ON ORIGINAL DRAWING 0"=10' (SEE SCALE BAR) THIS SHEET, ADJUST SCALES ACCORDINGLY.</p>	<p>CONSTRUCTION INFORMATION</p>
<p>CLIENT:</p> <p>RELIANT REAL ESTATE MANAGEMENT, LLC PROJECT: JONESVILLE COMMERCIAL FDP SHEET TITLE: DEMOLITION AND TREE PROTECTION PLAN</p>	<p>DATE: 9/3/23 - ALACHUA COUNTY, GRU, SRWWD 7/31/23 - ALACHUA COUNTY 9/5/23 - ALACHUA COUNTY</p>
<p>DESIGNER: K. HERRITT CHECKER: C. LEDDARD QUALITY CONTROL: R. GILNEY PROJECT NUMBER: 21-0565</p>	<p>FL PE No. 94201 C0.30</p>

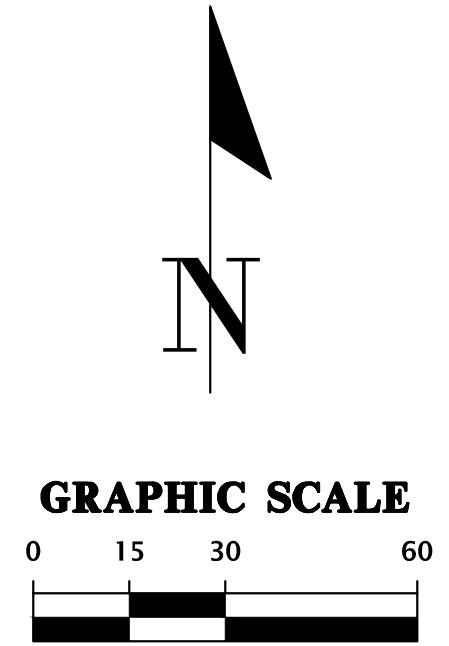


LANDS DESCRIBED IN O.R.B. 839, PG. 183
OWNER: CLAY ELECTRIC CO-OP, INC.
(P&P PARCELS: 80434-00000)

LANDS DESCRIBED IN O.R.B. 1056A, PG. 105
OWNER: FLETCHERS DEVELOPMENT, LLC.
(P&P PARCELS: 80434-00000)

LANDS DESCRIBED IN O.R.B. 1056A, PG. 105
OWNER: FLETCHERS DEVELOPMENT, LLC.
(P&P PARCELS: 80434-00000)

LANDS DESCRIBED IN O.R.B. 1056A, PG. 105
OWNER: FLETCHERS DEVELOPMENT, LLC.
(P&P PARCELS: 80434-00000)



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est. 1988 FLORIDA
CA-5075

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Professional Consultants

SCALE: 1"=30'
VERIFY SCALE ON ORIGINAL DRAWING
0"=1"=30"=60"
THIS SHEET, INCLUDING THIS SCALE, ADJUST SCALES ACCORDINGLY.

CONSTRUCTION AND REVISIONS

DATE: 6/15/23 - ALACHUA COUNTY, GRU, SRWWD
7/31/23 - ALACHUA COUNTY
9/15/23 - ALACHUA COUNTY

CLIENT: RELIANT REAL ESTATE MANAGEMENT, LLC
PROJECT: JONESVILLE COMMERCIAL FDP

DESIGNER: K. MERRITT
CHECKER: C. LEDFORD
PROJECT NUMBER: 21-0565

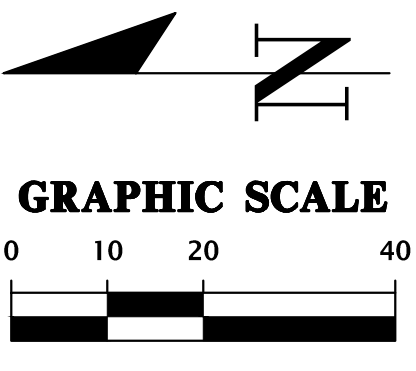
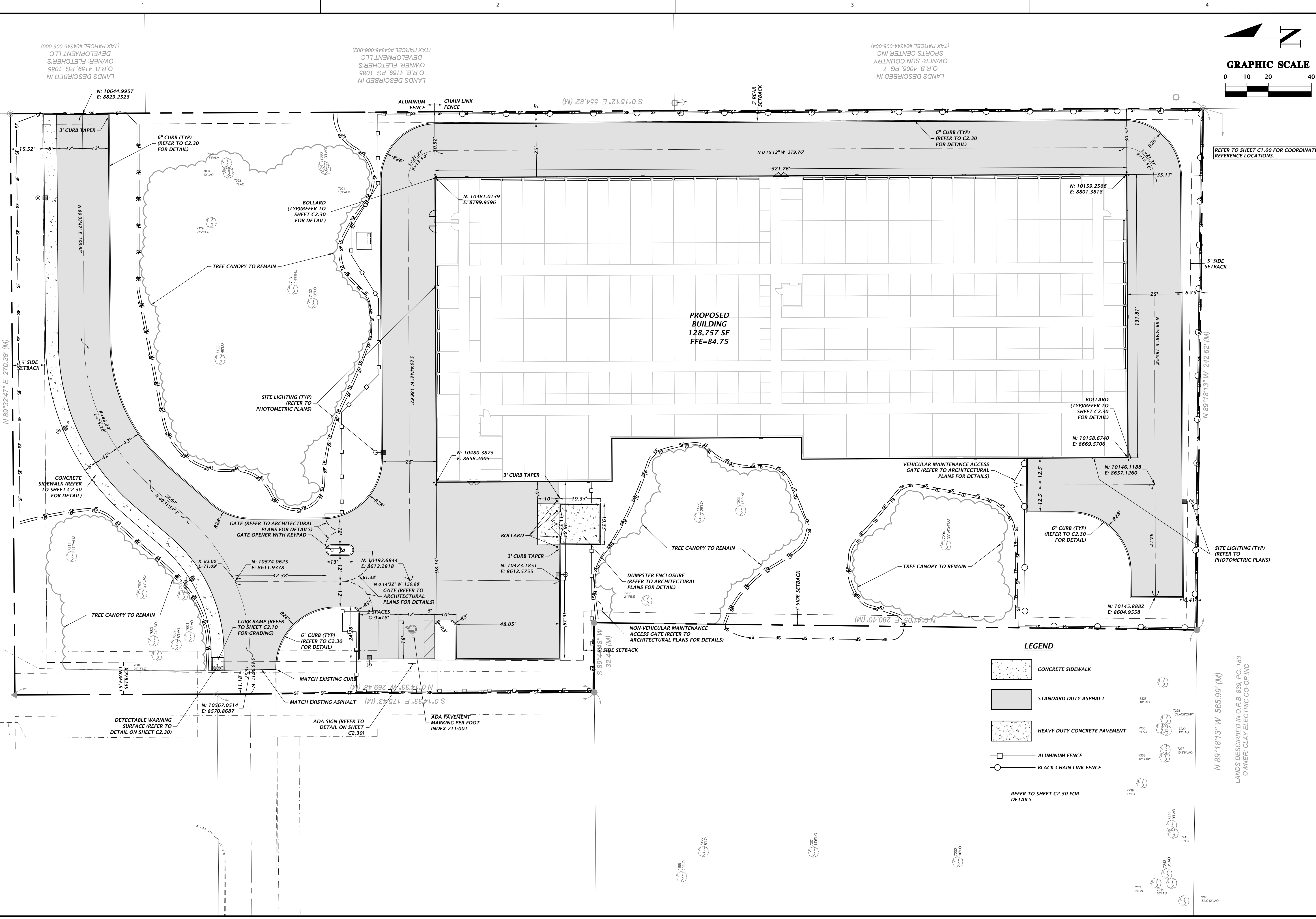
QUALITY CONTROL: R. OLNEY
SHEET TITLE: MASTER SITE PLAN

Walker Fain Owen
State of Florida, Professional Engineer, License No. 94201
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FL PE No. 94201
SHEET NO. **C1.00**

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REFER TO SHEET C1.00 FOR COORDINATE REFERENCE LOCATIONS.

LEGEND

	CONCRETE SIDEWALK
	STANDARD DUTY ASPHALT
	HEAVY DUTY CONCRETE PAVEMENT
	ALUMINUM FENCE
	BLACK CHAIN LINK FENCE

REFER TO SHEET C2.30 FOR DETAILS

N 89°18'13" W 565.99' (M)
LANDS DESCRIBED IN O.R.B. 839, PG. 183
OWNER: CLAY ELECTRIC CO-OP, INC.

1801 Research Drive
Alachua, Florida 32615
(352) 351-1976
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est. 1988 FLORIDA CA-5075

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SCALE: 1"=20'
VERIFY SCALE ON ORIGINAL DRAWING
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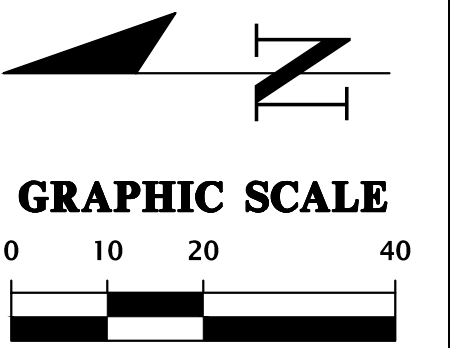
CONSTRUCTION INFORMATION:
SCALE: 1"=20'
VERIFY SCALE ON ORIGINAL DRAWING
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THIS SHEET SHALL BE ADJUSTED TO THIS SCALE ACCORDINGLY.

CLIENT: RELIANT REAL ESTATE MANAGEMENT, LLC
PROJECT: JONESVILLE COMMERCIAL FDP
SHEET TITLE: DETAILED HORIZONTAL CONTROL AND SITE PLAN

DESIGNER: K. MERRITT
CHECKER: C. LEDFORD
QUALITY CONTROL: R. OLNEY
PROJECT NUMBER: 21-0565
WALKER FAIN OWEN

Walker Fain Owen
State of Florida, Professional Engineer, License No. 94201
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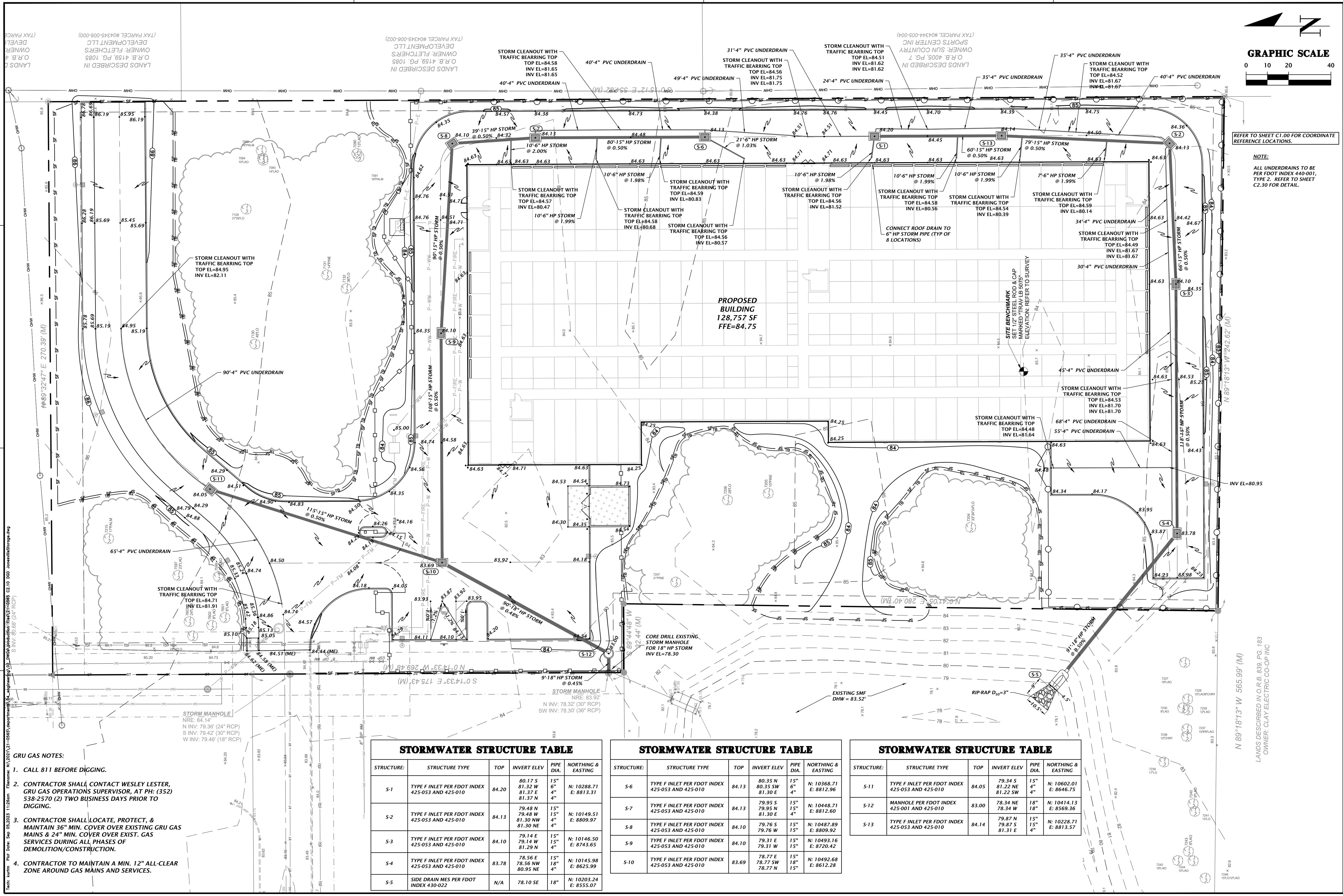
FL PE No. 94201
SHEET NO. **C1.10**



REFER TO SHEET C1.00 FOR COORDINATE REFERENCE LOCATIONS.

NOTE:
ALL UNDERDRAINS TO BE PER FOOT INDEX 440-001, TYPE 2. REFER TO SHEET C2.30 FOR DETAIL.

PROPOSED BUILDING
128,757 SF
FFE=84.75



- GRU GAS NOTES:**
- CALL 811 BEFORE DIGGING.
 - CONTRACTOR SHALL CONTACT WESLEY LESTER, GRU GAS OPERATIONS SUPERVISOR, AT PH: (352) 538-2570 (2) TWO BUSINESS DAYS PRIOR TO DIGGING.
 - CONTRACTOR SHALL LOCATE, PROTECT, & MAINTAIN 36" MIN. COVER OVER EXISTING GRU GAS MAINS & 24" MIN. COVER OVER EXIST. GAS SERVICES DURING ALL PHASES OF DEMOLITION/CONSTRUCTION.
 - CONTRACTOR TO MAINTAIN A MIN. 12" ALL-CLEAR ZONE AROUND GAS MAINS AND SERVICES.

STORMWATER STRUCTURE TABLE					
STRUCTURE:	STRUCTURE TYPE	TOP	INVERT ELEV.	PIPE DIA.	NORTHING & EASTING
S-1	TYPE F INLET PER FDOT INDEX 425-053 AND 425-010	84.20	80.17 S 81.32 W 81.37 E 81.37 N	15" 6" 4" 4"	N: 10288.71 E: 8813.31
S-2	TYPE F INLET PER FDOT INDEX 425-053 AND 425-010	84.13	79.48 N 79.48 W 81.30 NW 81.30 NE	15" 15" 4" 4"	N: 10149.51 E: 8809.97
S-3	TYPE F INLET PER FDOT INDEX 425-053 AND 425-010	84.10	79.14 E 79.14 W 81.29 N	15" 15" 4"	N: 10146.50 E: 8743.65
S-4	TYPE F INLET PER FDOT INDEX 425-053 AND 425-010	83.78	78.56 E 78.56 NW 80.95 NE	15" 18" 4"	N: 10145.98 E: 8625.99
S-5	SIDE DRAIN MES PER FDOT INDEX 430-022	N/A	78.10 SE	18"	N: 10203.24 E: 8555.07

STORMWATER STRUCTURE TABLE					
STRUCTURE:	STRUCTURE TYPE	TOP	INVERT ELEV.	PIPE DIA.	NORTHING & EASTING
S-6	TYPE F INLET PER FDOT INDEX 425-053 AND 425-010	84.13	80.35 N 80.35 SW 81.30 E	15" 6" 4"	N: 10368.71 E: 8812.96
S-7	TYPE F INLET PER FDOT INDEX 425-053 AND 425-010	84.13	79.95 S 79.95 N 81.30 E	15" 15" 4"	N: 10448.71 E: 8812.60
S-8	TYPE F INLET PER FDOT INDEX 425-053 AND 425-010	84.10	79.76 S 79.76 W	15" 15"	N: 10487.89 E: 8809.92
S-9	TYPE F INLET PER FDOT INDEX 425-053 AND 425-010	84.10	79.31 E 79.31 W	15" 15"	N: 10493.16 E: 8720.42
S-10	TYPE F INLET PER FDOT INDEX 425-053 AND 425-010	83.69	78.77 E 78.77 SW 78.77 N	15" 18" 15"	N: 10492.68 E: 8612.28

STORMWATER STRUCTURE TABLE					
STRUCTURE:	STRUCTURE TYPE	TOP	INVERT ELEV.	PIPE DIA.	NORTHING & EASTING
S-11	TYPE F INLET PER FDOT INDEX 425-053 AND 425-010	84.05	79.34 S 81.22 NE 81.22 SW	15" 4" 4"	N: 10602.01 E: 8646.75
S-12	MANHOLE PER FDOT INDEX 425-001 AND 425-010	83.00	78.34 NE 78.34 W	18" 18"	N: 10414.13 E: 8569.36
S-13	TYPE F INLET PER FDOT INDEX 425-053 AND 425-010	84.14	79.87 N 79.87 S 81.31 E	15" 15" 4"	N: 10228.71 E: 8813.57

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SCALE: 1"=20'
VERIFY ALL DIMENSIONS ON ORIGINAL DRAWING
0 = MEASURED DIMENSION
1" = THIS SHEET, ADJUST SCALES ACCORDINGLY.

CONSTRUCTION AND RECORDS

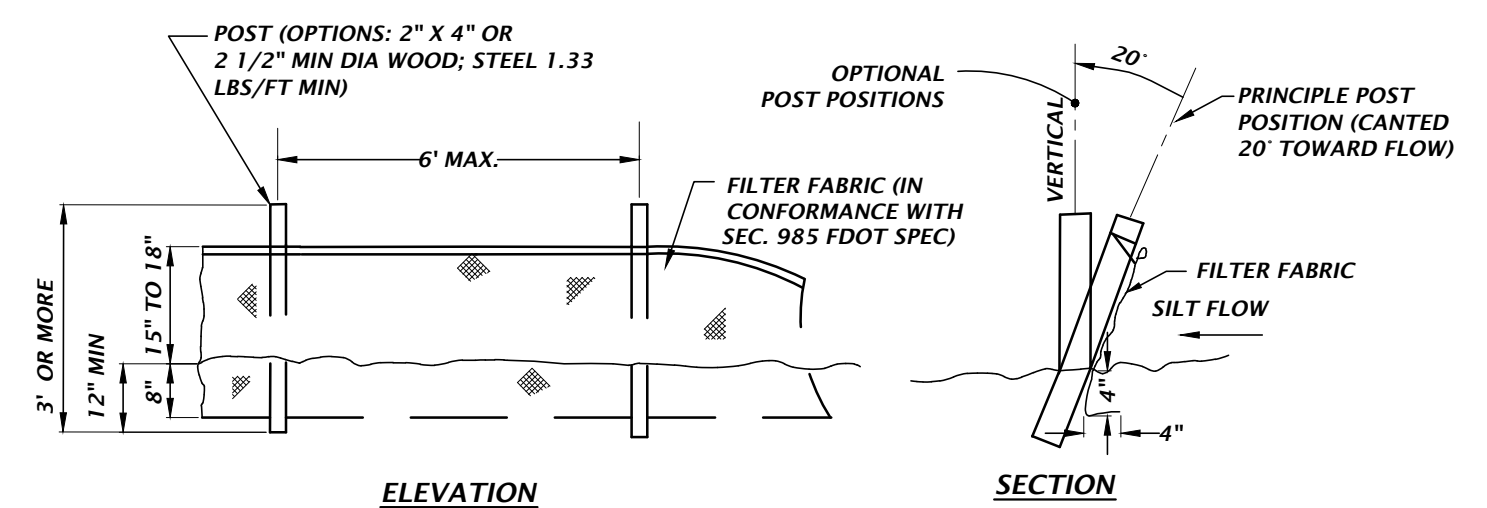
6/15/23 - ALACHUA COUNTY, GRU, SRWMD
7/31/23 - ALACHUA COUNTY
9/15/23 - ALACHUA COUNTY

CLIENT:
RELANT REAL ESTATE
MANAGEMENT, LLC
PROJECT:
JONESVILLE COMMERCIAL
FDP

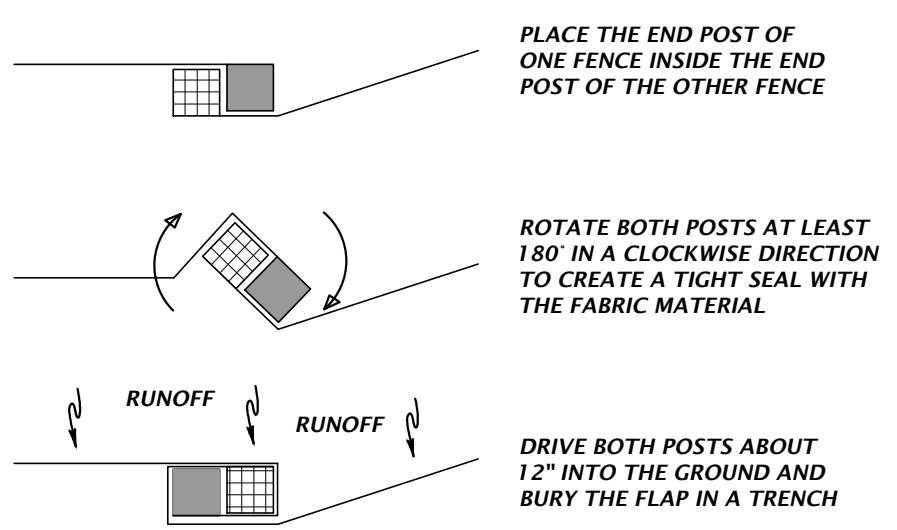
DESIGNER:
K. MERRITT
CHECKER:
C. LEDFORD
QUALITY CONTROL:
R. CALNEY

DATE:
WALKER FAIR OWEN
PROJECT NUMBER:
21-0565

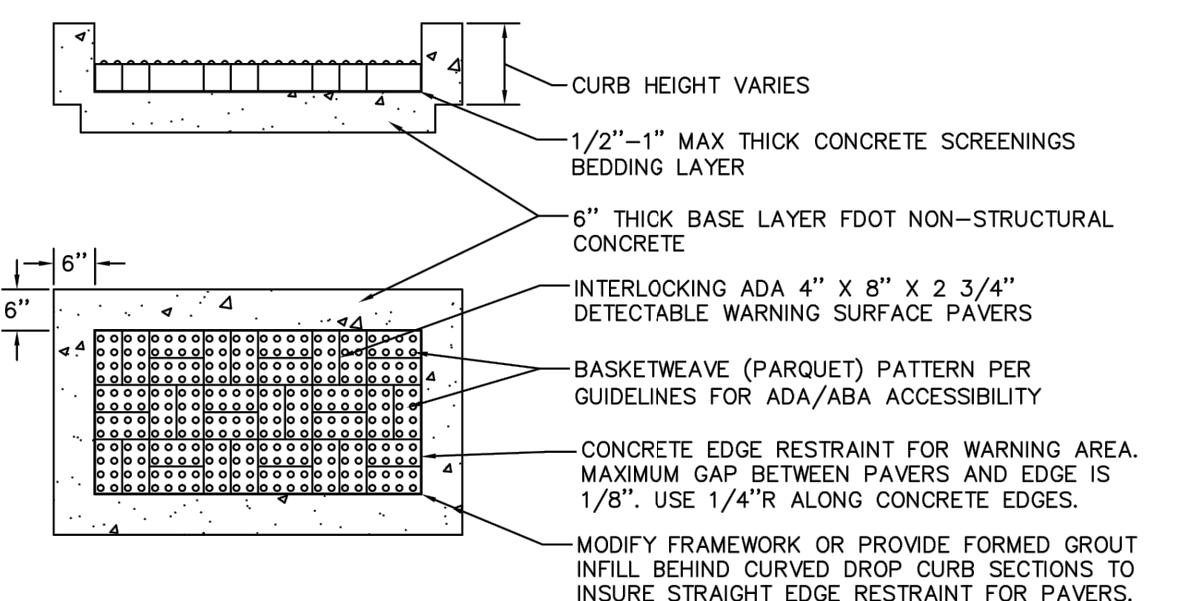
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FL PE No. 94201
SHEET NO.
C2.10



TYPE III SILT FENCE DETAIL
NTS



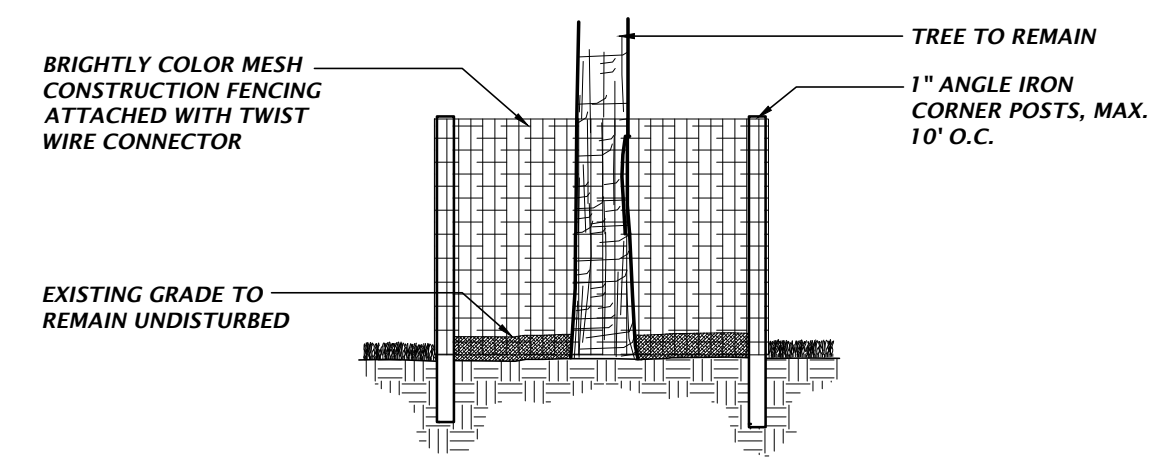
FOR ATTACHING TWO SILT FENCES WHEN TRENCHING IS USED
TYPE III SILT FENCE WRAPPING DETAIL
NTS



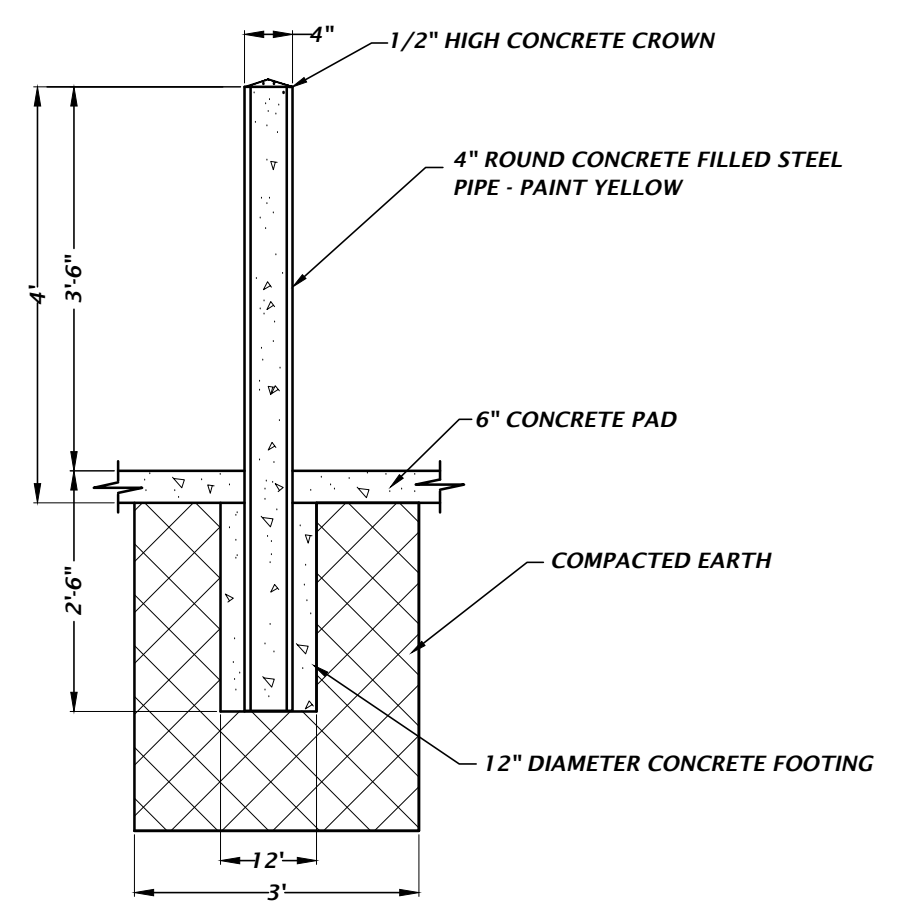
DETECTABLE WARNING DETAIL

- DETECTABLE WARNING NOTES:
1. DETECTABLE WARNING SURFACE FOR THE RAMPS SHALL CONSIST OF INTERLOCKING 4"X8"X2 1/4" ADA DETECTABLE WARNING SURFACE PAVERS HAVING A MINIMUM DEPTH OF 2" WITH RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES, AND CENTER-TO-CENTER SPACING OF NOMINAL 2.35 INCHES. CONCRETE PAVERS ARE TO MEET ASTM C902, CLASS SX, TYPE I AND THE COLOR OF THE BRICK SHALL BE BRICK RED. ALL OTHER COLOR SCHEMES SHALL BE APPROVED BY THE CITY ENGINEER.
 2. ALL UNITS SHALL BE SOUND AND FREE OF DEFECTS THAT WOULD INTERFERE WITH THE APPEARANCE OR PROPER PLACEMENT OF THE UNIT OR IMPAIR THE STRENGTH OR LONGEVITY OF THE FINAL STRUCTURE. ANY UNITS THAT ARE STRUCTURALLY DAMAGED DURING THE WORK SHALL BE IMMEDIATELY REMOVED AND REPLACED. THE PAVERS ARE TO BE LAID IN A TWO BY TWO BASKETWEAVE PATTERN, FLUSH WITH THE FINISH GRADE OF THE DOME SURFACE AND HAVE GAPS BETWEEN 1/16" AND 1/8". CUT PAVERS (MASONRY SAW ONLY) SHALL BE NO SMALLER THAN ONE-THIRD OF A WHOLE PAVER.

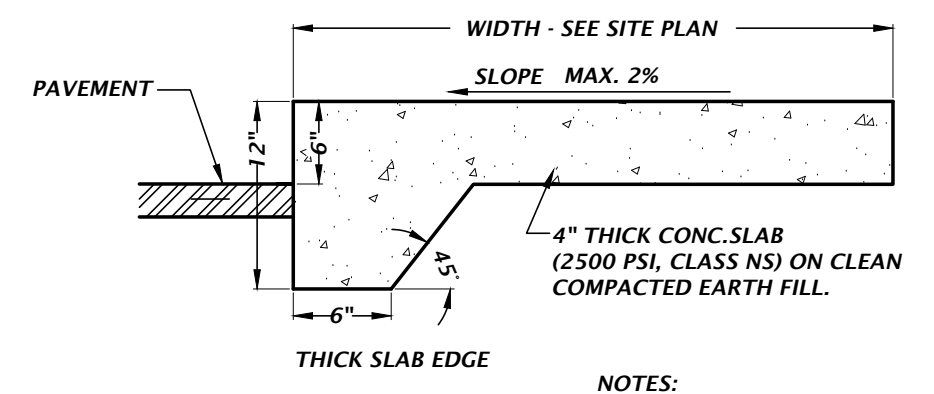
- NOTE:
- 1) PROTECTIVE BARRIERS SHALL BE CONSTRUCTED, AS NECESSARY, TO PREVENT THE DESTRUCTION OR DAMAGING OF REGULATED TREES THAT ARE LOCATED WITHIN 50 FEET OF ANY CONSTRUCTION ACTIVITY OR STORAGE OF EQUIPMENT AND MATERIALS.
 - 2) PROTECTIVE BARRIERS SHALL BE PLAINLY VISIBLE AND SHALL CREATE A CONTINUOUS BOUNDARY AROUND TREES OR VEGETATION CLUSTERS IN ORDER TO PREVENT ENCROACHMENT BY MACHINERY, VEHICLES OR STORED MATERIALS.
 - 3) TREE BARRICADES MUST BE INSPECTED AND APPROVED BY COUNTY STAFF. PRIOR TO ANY CLEARING, DEMOLITION, OR GRUBBING WORK BEGINS, CONTACT GROWTH MANAGEMENT, 352-374-5249.
 - 4) PROTECTIVE BARRIERS SHALL REMAIN IN PLACE AND INTACT UNTIL SUCH TIME AS LANDSCAPE OPERATIONS BEGIN.
 - 5) ALL CONSTRUCTION ACTIVITIES SHALL BE PROHIBITED WITHIN THE UNDISTURBED AREA INCLUDING ALL DIGGING, TRENCHING, CONSTRUCTION LAY-DOWN AREAS, PLACEMENT OF HAZARDOUS MATERIALS, INCLUDING FUELS AND SOLVENTS, PLACEMENT OF FILL OR SOILS, AND PARKING OF VEHICLES.
 - 6) NO ATTACHMENT OR WIRES SHALL BE ATTACHED TO ANY TREE.
 - 7) NO GRADE CHANGES SHALL BE MADE WITHIN ANY UNDISTURBED AREA WITHOUT PRIOR APPROVAL BY THE COUNTY INSPECTOR. IF A GRADE CHANGE IS MADE AND ROOTS LARGER THAN ONE INCH IN DIAMETER ARE DAMAGED OR EXPOSED, THEY SHALL BE CUT CLEANLY AND RE-COVERED WITH SOIL.



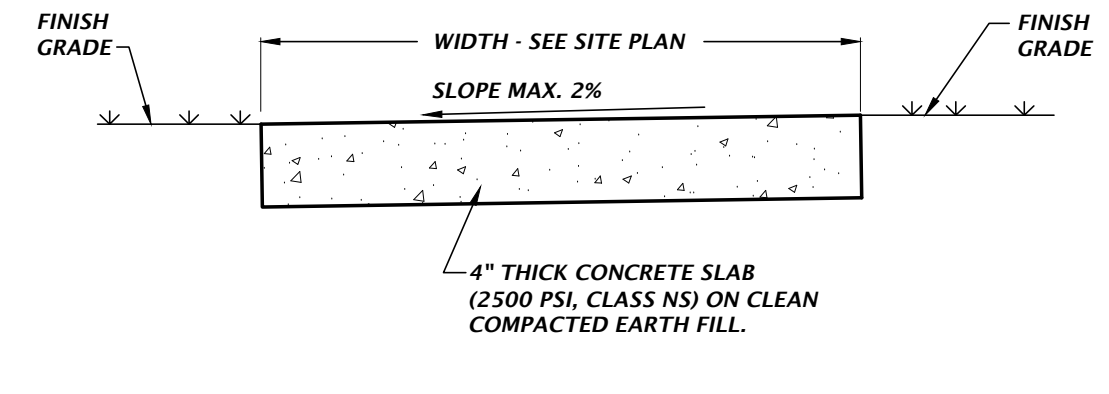
TREE PROTECTION DETAIL
NTS



PIPE BOLLARD DETAIL
NTS



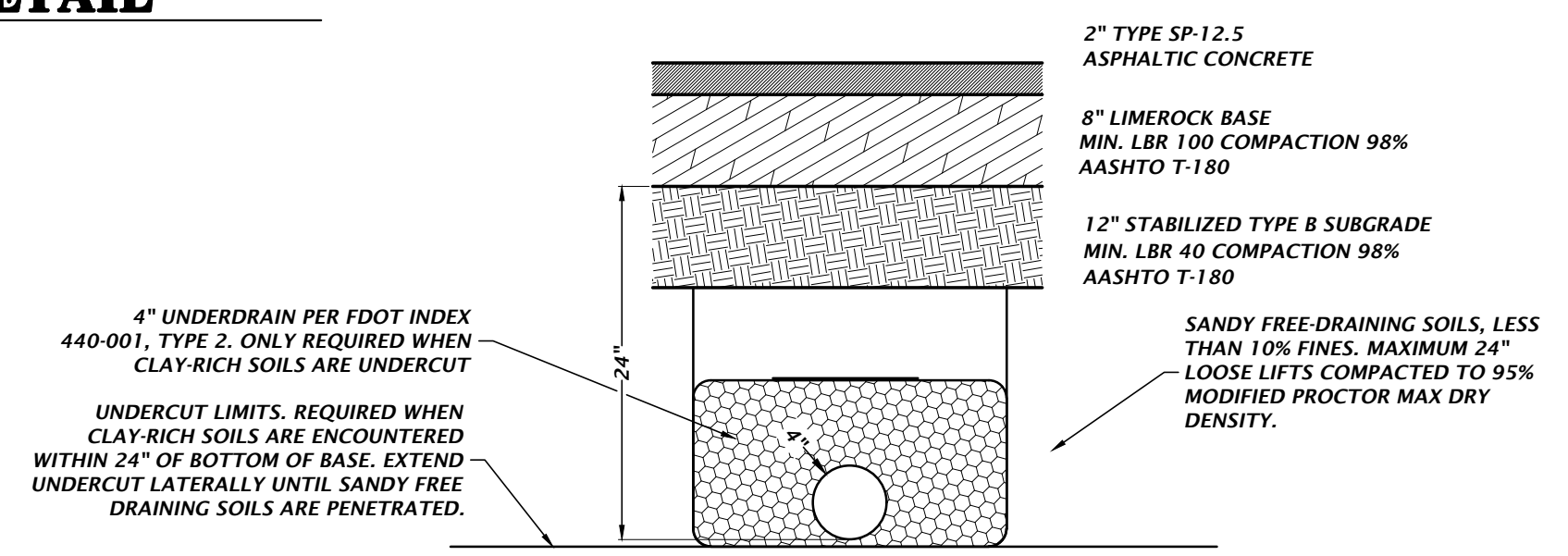
ADJACENT TO PAVEMENT
NTS



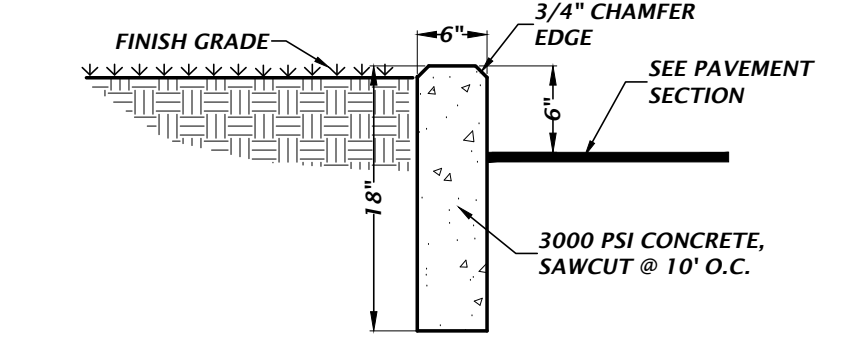
NOT ADJACENT TO PAVEMENT
NTS

CONCRETE SIDEWALK DETAILS

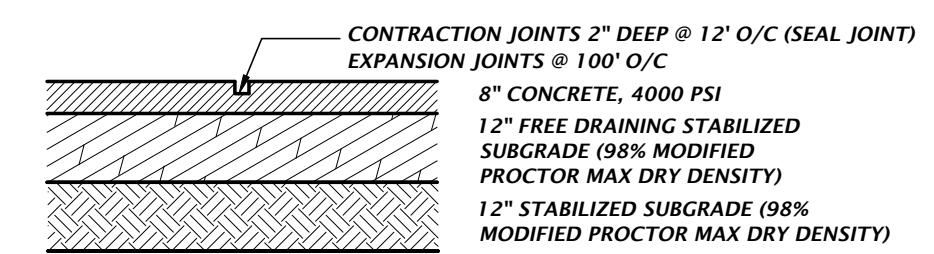
- NOTES:
1. SAWCUT CONTROL JOINTS SHALL BE CONSTRUCTED 5 FEET ON CENTER.
 2. EXPANSION JOINTS WITH PREFORMED JOINT FILLER SHALL BE CONSTRUCTED BETWEEN ALL FIXED OBJECTS AND WALK AND AT CONSTRUCTION JOINTS.



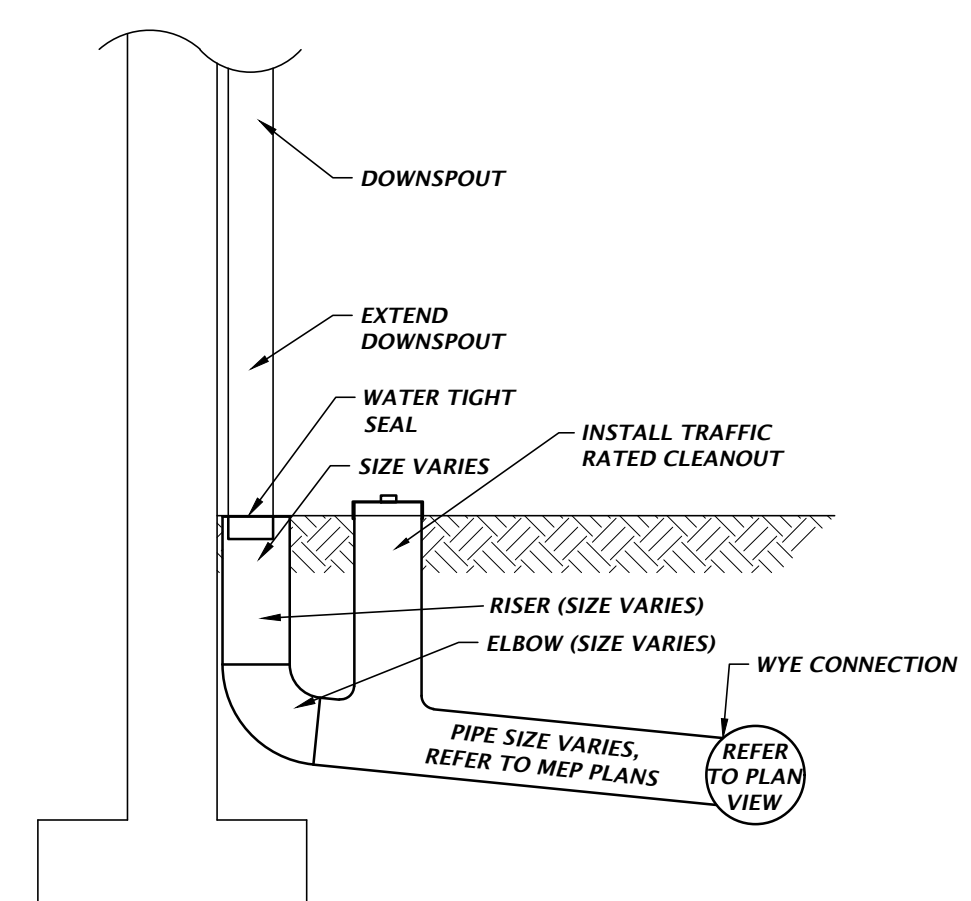
TYPICAL ASPHALT PAVEMENT DETAIL
NTS



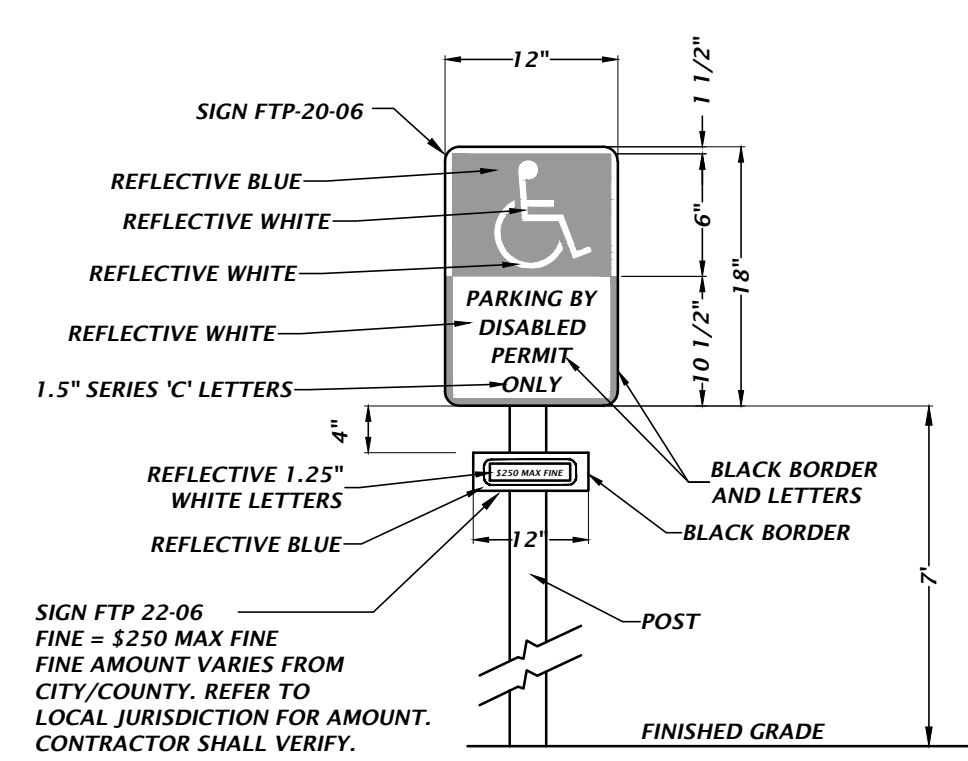
TYPICAL 6\"/>



HEAVY DUTY CONCRETE DETAIL
NTS



DOWNSPOUT CONNECTION DETAIL
NTS



ACCESSIBLE PARKING SIGN DETAIL
NTS

- SIGN NOTES:
1. SIGN CONSTRUCTION, DESIGN AND PLACEMENT SHALL COMPLY WITH STATE AND LOCAL STATUTES.

Title: Null; For Date: Sep 05, 2023 11:28am; Filename: N:\2021\21-0565\Information\04_engineering\02_DWGS\production\file_21-0565_C2.30_DT_JohnnieShroppe.dwg

1801 Research Drive
Alachua, Florida 32615
(352) 351-1976
www.chw-inc.com
est. 1988 FLORIDA
CA-5075

CHW
Professional Consultants

SCALE: N/A
VERIFY SCALE ON ORIGINAL DRAWING
0 = 1\"/>

CONSTRUCTION AND REVISIONS

DATE: 6/15/23 - ALACHUA COUNTY, GRI, SRWWD
7/31/23 - ALACHUA COUNTY
9/15/23 - ALACHUA COUNTY

CLIENT: RELIANT REAL ESTATE MANAGEMENT, LLC
PROJECT: JONESVILLE COMMERCIAL FDP
SHEET TITLE: CONSTRUCTION DETAILS

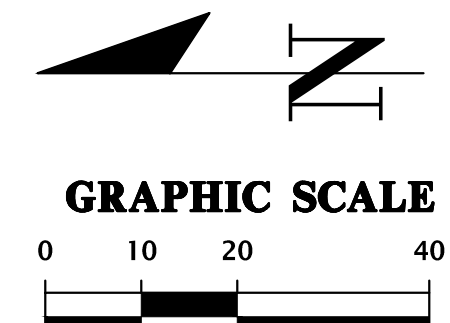
DESIGNER: M. HERRITT
CHECKER: C. LEDFORD
PROJECT CONTROL: R. CALNEY
PROJECT NUMBER: 21-0565

Walker Fain Owen
State of Florida, Professional Engineer, License No. 94201
This item has been digitally signed and sealed by Walker Fain Owen, PE on the date indicated here.
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

FL PE No. 94201
SHEET NO. **C2.30**

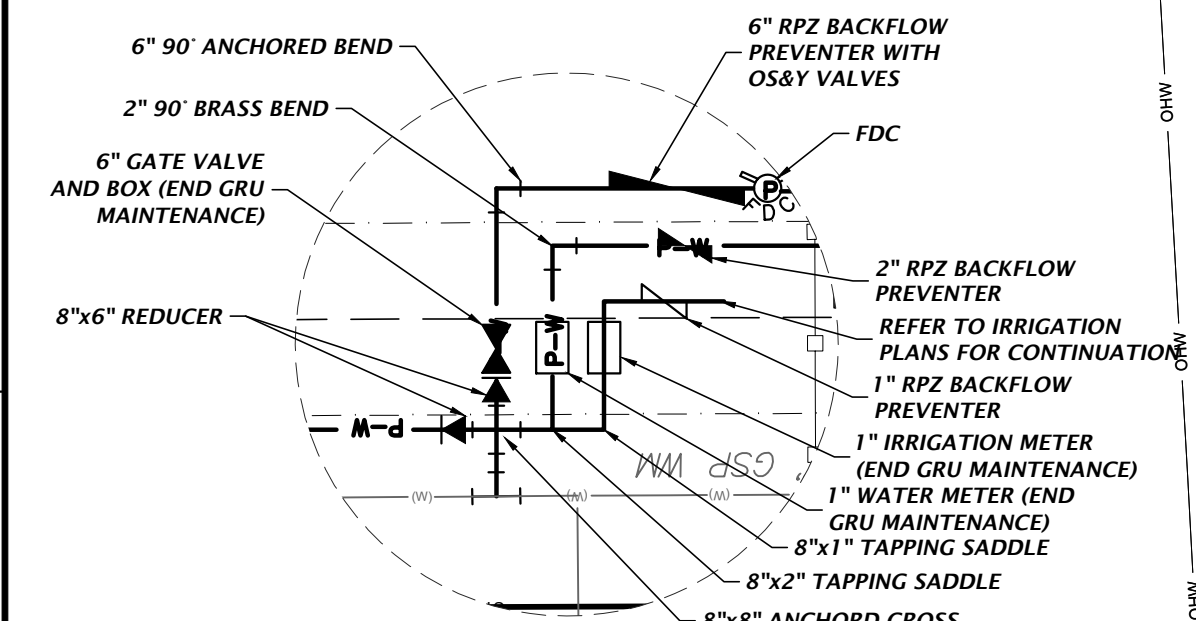
GRU GAS NOTES:

- CALL 811 BEFORE DIGGING.
- CONTRACTOR SHALL CONTACT WESLEY LESTER, GRU GAS OPERATIONS SUPERVISOR, AT PH: (352) 538-2570 (2) TWO BUSINESS DAYS PRIOR TO DIGGING.
- CONTRACTOR SHALL LOCATE, PROTECT, & MAINTAIN 36" MIN. COVER OVER EXISTING GRU GAS MAINS & 24" MIN. COVER OVER EXIST. GAS SERVICES DURING ALL PHASES OF DEMOLITION/CONSTRUCTION.
- CONTRACTOR TO MAINTAIN A MIN. 12" ALL-CLEAR ZONE AROUND GAS MAINS AND SERVICES.

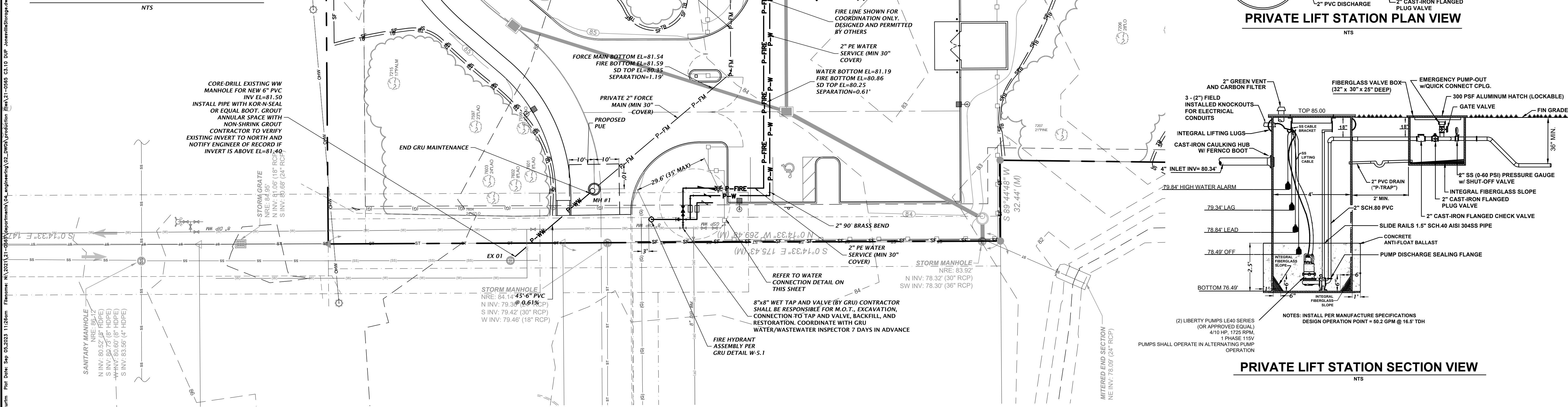
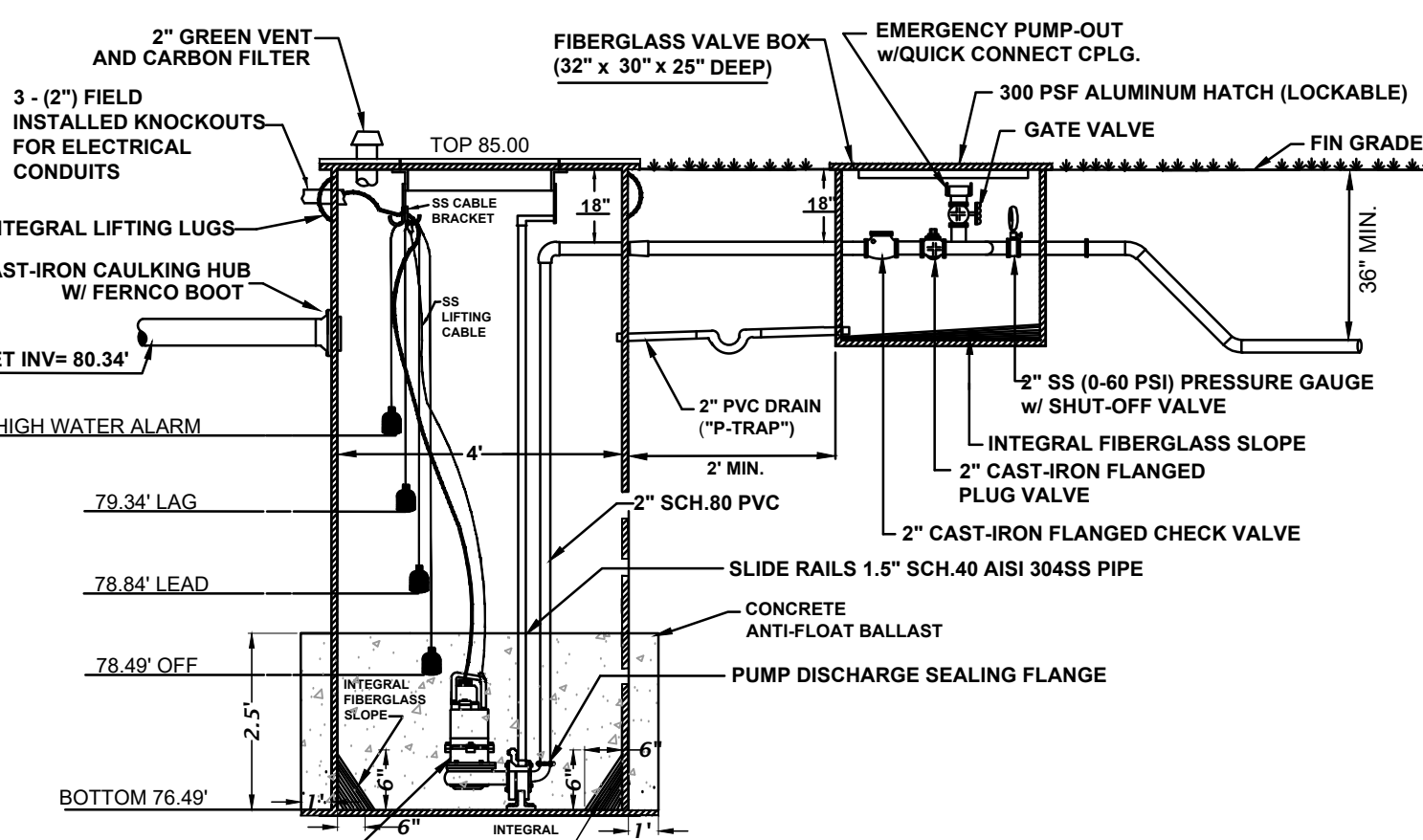
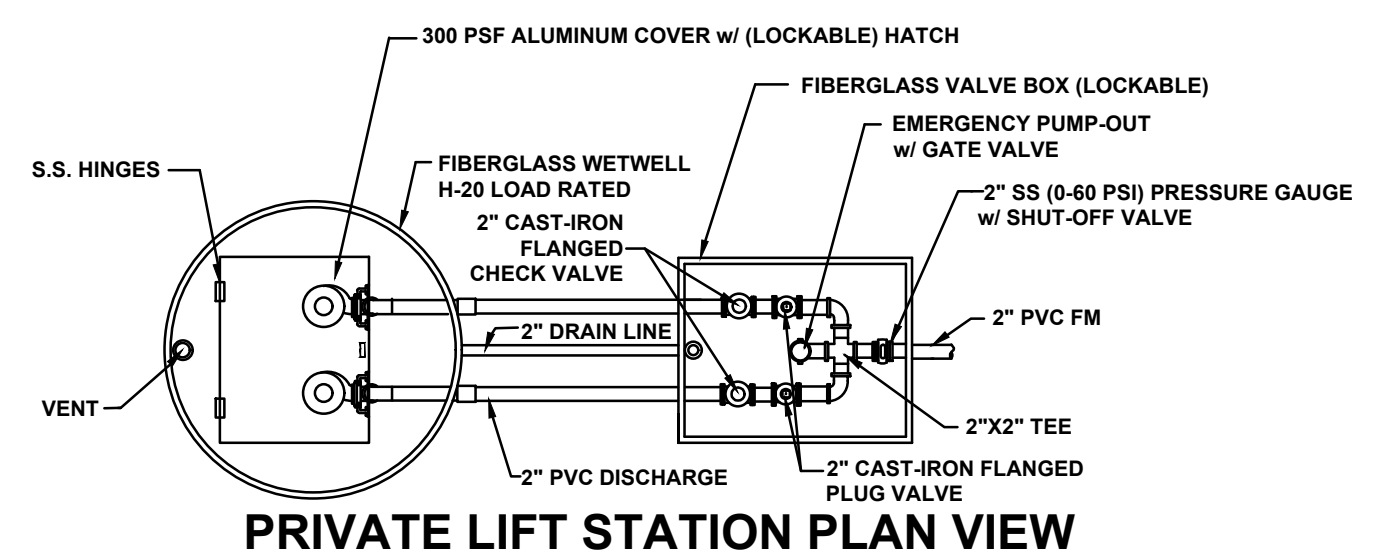


REFER TO SHEET C1.00 FOR COORDINATE REFERENCE LOCATIONS.

SANITARY SEWER STRUCTURE TABLE				
STRUCTURE NAME:	STRUCTURE TYPE	TOP	INVERT ELEV	EASTING & NORTHING
EX 01	EXISTING WW MANHOLE	84.83	81.50 (6" SE) 81.39 (8" N/E)	N: 10603.34 E: 8552.54
MH #1	WW MANHOLE PER GRU STANDARDS	84.71	81.77 (6" NW) 81.77 (2" NW)	N: 10569.68 E: 8581.17



WATER CONNECTION DETAIL



Sanitary Manhole
NRE: 85.12
N INV: 80.52 (8" HDPE)
S INV: 80.77 (8" HDPE)
S INV: 83.50 (4" HDPE)

CORE-DRILL EXISTING WW MANHOLE FOR NEW 6" PVC
INV EL=81.50
INSTALL PIPE WITH KOR-N-SEAL OR EQUAL BOOT. GROUT ANNUAL SPACE WITH NON-SHRINK GROUT
CONTRACTOR TO VERIFY EXISTING INVERT TO NORTH AND NOTIFY ENGINEER OF RECORD IF INVERT IS ABOVE EL=81.40

8"x8" WET TAP AND VALVE (BY GRU) CONTRACTOR SHALL BE RESPONSIBLE FOR M.O.T., EXCAVATION, CONNECTION TO TAP AND VALVE, BACKFILL, AND RESTORATION. COORDINATE WITH GRU WATER/WASTEWATER INSPECTOR 7 DAYS IN ADVANCE

NOTES: INSTALL PER MANUFACTURE SPECIFICATIONS
DESIGN OPERATION POINT = 60.2 GPM @ 16.5' TDH
(2) LIBERTY PUMPS LEAD SERIES (OR APPROVED EQUAL)
4/10 HP, 1725 RPM,
1 PHASE 115V
PUMPS SHALL OPERATE IN ALTERNATING PUMP OPERATION

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est. 1988 FLORIDA
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Professional Consultants

SCALE: 1"=20'
VERIFY SCALE ON ORIGINAL DRAWING
0"=1"=20' SCALE
THIS SHEET, ADJUST SCALES ACCORDINGLY.

CONSTRUCTION INFORMATION
DATE: 6/5/23 - ALACHUA COUNTY, GRU, SRWWD
7/31/23 - ALACHUA COUNTY
9/5/23 - ALACHUA COUNTY

CLIENT: RELIANT REAL ESTATE MANAGEMENT, LLC
PROJECT: JONESVILLE COMMERCIAL FDP
SHEET TITLE: DETAILED UTILITY PLAN

DESIGNER: K. HERRITT
CHECKER: C. LEDDARD
QUALITY CONTROL: R. GILNEY
PROJECT NUMBER: 21-0565
WALKER FAIN OWEN

Walker Fain Owen
State of Florida, Professional Engineer, License No. 94201
This item has been digitally signed and sealed by Walker Fain Owen, PE on the date indicated here.
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

FL PE No. 94201
SHEET NO. **C3.10**